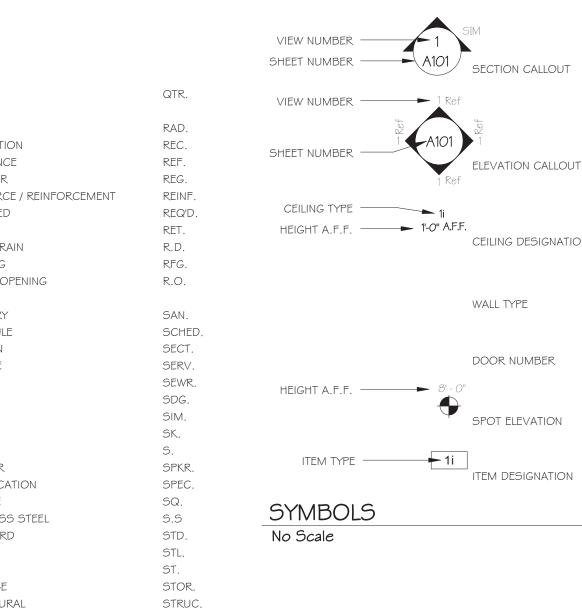
### LIST OF ABBREVIATIONS

ABOVE FINISHED FLOOP	A.F.F.	G GALVANIZED	GALV.	Q QUATER
ABOVE FINISHED FLOOR  ACOUSTIC CEILING TILE	A.F.F. A.C.T.	GAUGE GAUGE	GALV. GA.	
ACTUAL	A.C.T.	GENERAL CONTRACTOR	GA. G.C.	R RADIUS
ADJACENT	ACT. ADJ.	GLASS	G.C. GL.	RECREATION
ALTERNATE	ALT.	GROUND	GL. GND.	REFERENCE
ALUMINUM	ALUM.	GYPSUM	GYP.	REGISTER
ANODIZED	ANOD.	GYPSUM WALLBOARD	G.W.B.	REINFORCE / REINFO
APPROXIMATE	APPROX.	H	O.W.D.	REQUIRED
ARCHITECT OF RECORD	A.O.R.	HARDWARE	HDWR.	RETURN
AUTHORITY	AUTH.	HARDWOOD	HDWD.	ROOF DRAIN
AUTHORITY HAVING JURISDICTION	A.H.J.	HEATER	HTR.	ROOFING
AUTOMATIC	AUTO.	HIGH PRESSURE	H.P.	ROUGH OPENING
AVERAGE	AVG.	HIGH PRESSURE LAMINATE	H.P.L.	S
В	, , , , ,	HOLLOW METAL	H.M.	SANITARY
BEDROOM	B.R.	HORIZONTAL	HORIZ.	SCHEDULE
BENCH MARK	В.М.	1		SECTION
BLOCKING	BLKG	INCH	IN.	SERVICE
BOARD	BD	INCLUDE	INCL.	SEWER
ВОТТОМ	вот.	INSIDE DIAMETER	I.D.	SIDING
BOTTOM OF	В.О.	INSULATE / INSULATION	INSUL.	SIMILAR
BOTTOM OF BEAM	B.O.B.	INTERIOR	INT.	SKETCH
BRASS	BRS.	J		SOUTH
BRITISH THERMAL UNIT	B.T.U.	JOINT	JT.	SPEAKER
BRONZE	BNZ.	JUNCTION	JCT.	SPECIFICATION
BUILDING	BLDG.	K		SQUARE
BUILT-UP ROOFING	B.U.R.	KITCHEN	KIT.	STAINLESS STEEL
С		KNOCK DOWN	K.D.	STANDARD
CABINET	CAB.	KNOCK OUT	K.O.	STEEL
CABLE TELEVISION	CATV.	L		STONE
CARBON MONOXIDE DETECTOR	C.O.2	LAMINATE	LAM.	STORAGE
CARPET	CPT.	LAMINATED VENEER LUMBER	LVL	STRUCTURAL
CAST IRON	C.I.	LAVATORY	LAV.	SYSTEM
CAST-IN PLACE	C.I.P.	LEAD-COATED COPPER	L.C.C.	T
CEILING	CLG.	LEADER	LDR.	TANGENT
CEILING HEIGHT	CLG. HGT.	LENGTH / LONG	LG.	TECHNICAL
CEMENT BOARD	C.B.	LIGHT	LGT.	TELEPHONE
CENTER	CTR.	LINEAR	LIN.	TELEVISION
CENTERLINE	C.L.	LIVING ROOM	L.R.	TEMPERATURE
CERAMIC	CER.	LOCKERS	LKR.	TEMPORARY
CERAMIC TILE	C.T.	LOW PRESSURE	L.P.	TERRAZZO
CLASSROOM	C.R.	LUMBER	LMB.	THICK
CLEANOUT	C.O.	М		TOILET
CLEAR	CLR.	MANHOLE	M.H.	TONGUE AND GROO
COATED	CTD.	MANUAL	MAN.	TOP OF
COLD ROLLED	C.R.	MANUFACTURER	MANUF.	TOP OF BEAM
COMPOSITION	COMP.	MASONRY OPENING	M.O.	TOP OF PLATE
CONCRETE	CONC.	MASTER BATHROOM	M.BATH.	TOTAL
CONCRETE MASONRY UNIT	C.M.U.	MASTER BEDROOM	M.B.R.	TYPICAL
CONSTRUCTION	CONST.	MASTER CLOSET	M.CLOS.	U
CONTINUE / CONTINUOUS	CONT.	MATERIAL	MAT.	ULTIMATE
CONTRACTOR	CONTR.	MAXIMUM	MAX.	UNDERSIDE OF
COORDINATE	COORD.	MECHANICAL	MECH.	UNDERWRITERS LAE
COPPER	CPR.	MEDIUM	MED.	UNITED STATE GAU
CORRUGATED	CORR.	MEMBRANE	MMB.	UNLESS NOTED OT
COUNTERSINK	CSK.	METAL	MTL.	V
COURSE / COURSES	CS.	MEZZANINE	MEZZ.	VACUUM
D		MINIMUM	MIN.	VAIRIABLE AIR VOL
DEGREE	DEG.	MISCELLANEOUS	MISC.	VALVE
DETAIL	DET.	N		VENT PIPE
DIAMETER	DIA.	NOMINAL	NOM.	VERIFY IN FIELD
DIMENSION	DIM.	NORTH	N.	VERTICAL
DINING ROOM	DR.	NOT IN CONTRACT	N.I.C.	VESTIBULE
DOUBLE	DBL.	NOT TO SCALE	N.T.S.	VINYL BASE
DOWN	DN	NUMBER	NO.	VINYL COMPOSITIO
DRAIN	DRN.	O	ORCC	VITREOUS
DRAWING FOLINTAIN	DWG.	OBSCURE	OBSC.	VOLUME
DRINKING FOUNTAIN	D.F.	OBSOLETE	OBS.	W
E	ΕΛ	OFFICE	OFF.	WATER PROOFING
EACH	EA.	ON CENTER	O.C.	WATERCLOSET
EAST	E.	OPENING	OPG.	WEIGHT
ELECTRIC	ELEC.	OPPOSITE	OPP.	WELDED WIRE FABR
ELEVATION	ELEV.	OR APPROVED EQUAL	O.A.E.	WEST
ELEVATOR	ELVTR.	OUNCE OUTSIDE DIAMETER	OZ. O.D.	WIDTH WITH
ENGINEER OF RECORD	E.O.R.			
EQUAL EQUIPMENT	EQ. EQUIP.	OVER ALL P	O.A.	WITHOUT WOOD
			PNIT	
EXHAUST EXISTING	EXH. EXIST.	PAINT PAIR	PNT. PR.	WROUGHT IRON Y
EXPANSION JOINT	E.J.	PARALLEL	PAR.	Y YARD
EXPANSION JOINT EXTERIOR	E.J. EXTR.	PARALLEL PARALLEL STRAND LUMBER	PAR. P.S.L.	YEAR YEAR
EXTERIOR  EXTRUDED	EXT.	PARTITION	P.S.L. PTN.	ILAN
EXTRUDED F	LAI.		PIN. PERP.	
	FAB.	PERPENDICULAR PIPE VENT	PERP. P.V.	
FABRICATE  FACTORY MUTUAL	FAB. F.M.	PIPE VENT	P.V. PL.	
FACTORY MUTUAL		PLATE		
FAHRENHEIGHT FANALY BOOM	F.	PLUMBING	PLBG.	
FAMILY ROOM	F.R.	POINT	PT.	
FEET / FOOT	FT.	PORCELAIN THE	PORC.	
FINISH / FINISHED	FIN.	PORCELAIN TILE	P.T.	
FIRE EXTINGUISHER	F.E. F.E.C.	POUND / POUNDS POUNDS PER CUBIC FOOT	LBS. P.C.F.	
FIRE EXTINGUISHER CABINET	F F /	ELILINGUES EL ELILIES CONTROL CONTROL	1 1 1	



### SS STEEL SYS. TECH. TEL. T.V. TEMP. FINISHED WOOD TERR. THK. AND GROOVE ROUGH LUMBER T.O. T.O.B. T.O.P. TOT. ULT. IDE OF U.O. RITERS LABORATORY U.L. SAND OR GYPSUM STATE GAUGE U.S.G. NOTED OTHERWISE U.N.O. PLYWOOD E AIR VOLUME V.P. CONCRETE BLOCK VERT. VEST. V.B. MPOSITION TILE PROOFING W.P. LOSET W.C. RIGID INSULATION WGT. WIRE FABRIC W.W.F. BATT INSULATION

GRAPHICS LEGEND

EXISTING TO

EXISTING TO BE DEMOLISHED

PROPOSED

WALL LEGEND

No Scale

No Scale

# CEILING DESIGNATION

### NEW YORK STATE BUILDING CODE NOTES

### BUILDING INFORMATION

CONSTRUCTION TYPE: II-B CURRENT USE: B - BUSINESS (COLLEGE) PROPOSED USE: A-2 (ASSEMBLY) I STORY PLUS BASEMENT **HEIGHT:** OCCUPANCY: 15 n.s.f. / OCCUPANT (TABLES & CHAIRS)

CLASSIFICATION OF WORK: 2010 EXISTING BUILDING CODE OF NEW YORK STATE: CHANGE OF OCCUPANCY - CHAPTER

1. Scope of work is considered a change of occupancy per 901.1.

SECTION 902 - SPECIAL USE AND OCCUPANCY

### Not applicable.

SECTION 903 - BUILDING ELEMENTS AND MATERIALS I. All new building elements and materials shall conform with the applicable portions of the Building Code of New York State.

### SECTION 904 - FIRE AND LIFE-SAFETY PROTECTION

1. Smoke detection system is proposed. 2. Altered space to be outfitted with a new sprinkler system in accordance to 903.3.1.1 (NFPA 13 sprinkler system).

- SECTION 905 MEANS OF EGRESS 1. Existing means of egress supplemented with an additional egress point to conform with current portions of Chapter 11 of
- the Building Code of New York State. 2. Proposed scope of work meets the requirements of Chapter 10.
- 3. No reduction in the required means of egress proposed.
- 4. Distance between two exist access locations are in excess of 33% diagonal distance per 1015.2.1 Exception #2.
- Overall approximate diagonal distance is 65-feet. distance between celterline of doors is approximately 33-feet.

I. Proposed scope of work does not conflict with any requirements of Chapter II of the Building Code of New York State. 2. Proposed toilet rooms meet the minimum requirements for handicap accessibility.

1. Scope of work does does impose minor increase in loads to some existing structural systems. Existing system still capable

### of meeting the code requirements. 2. Scope of work does not increase any gravity, snow, or seismic loads.

I. All new electrical work shall conform to the requirements of the Building Code of New York State, the National Electrical

### Code and all other codes and regulations having jurisdiction.

SECTION 909 - MECHANICAL 1. New HVAC being installed throughout altered space - some existing mechanical equipment proposed to remain. 2. All new HVAC work shall conform to the requirements of the Building Code of New York State and all other codes and

### regulations having jurisdiction.

1. All new plumbing work shall conform to the requirements of the Building Code of New York State and all other codes and

### 2. Proposed scope of work provides toilet facilities in conformance with the Building Code and the Plumbing Code of New

### SECTION 911 - OTHER REQUIREMENTS

I. No reduction in existing natural light and ventilation proposed.

### SECTION 912 - CHANGE OF OCCUPANCY CLASSIFICATION

 $\hbox{1.} \quad 9\,\hbox{12.1 - Proposed scope of work conforms with chapter 8 of The Existing Building Code of New York State.}$ 

### 2. 912.2 - Altered space will be equipped throughout with a sprinkler system. 3. 912.3 - Interior finishes shall conform with the New York State Building Code.

- 4. 912.4 Existing means of egress is not being altered: currently conforms with the requirements of Chapter 11 of the Building Code of New York State. Existing means of egress currently meets the requirements of Chapter 10 of the Building
- 5. 912.5 Current building assembly, construction, height and area are in conformance with the Building Code of New York
- 6. 912.6 Existing building and proposed occupancy do not require opening protectives or exterior fire resistance ratings. conformance with this section not required.
- 7. 912.7 No vertical shafts exist. Conformance with this section not required. 8. 912.8 - Accessibility for the proposed work is in conformance with this section.

USE: A-2 AREA: 1,585 N.S.F. OCC: 1/15 = 106 PERSONS USE: B AREA: 475 G.S.F. OCC: 1/200= 3 PERSONS

### SPACE OCCUPANCY CALCULATION: 109 PERSONS

PER USE CALCULATION: A-2 - DINING AREA - UNCONCENTRATED TABLES & CHAIRS 1,585 N.S.F. / 15 N.S.F. PER OCCUPANT = 106 PROVIDED)

### 73 N.S.F. / 100 G.S.F. PER OCCUPANT = 1

B - PREPARATION AREA 402 G.S.F. / 200 G.S.F. PER OCCUPANT = 2 THAN 1/3 DIAGONAL DISTANCE. SEE

### EGRESS CALCULATIONS BCNYS 1004.1.1 - FLOOR AREA PER OCCUPANT OCCUPANCY: 109 PERSONS

EGRESS WIDTH REQ'D (SPRINKLED

### <u>JILDING)</u> TAIR WIDTH: 0.2 IN. / OCCUPANT COMPONENTS: 0.15 IN. / OCCUPANT

DOORS: $109 \times 0.15 = 17$ " (144" MIN.

### 1015.1 REQUIRES 2 MEANS OF EGRESS. J.S. PROV.: 2 MEANS PROVIDED DISTANCE BETWEEN TWO EXITS ARE GREATER

EXCEPTION IN CODE NOTES ON THIS TRAVEL DISTANCE (SPRINKLERED)
TABLE 1016.1 - MAX. 200 FEET

ACTUAL TRAVEL DISTANCE (LONGEST MEASUREMENT): FIRST FLOOR: 65 FEET

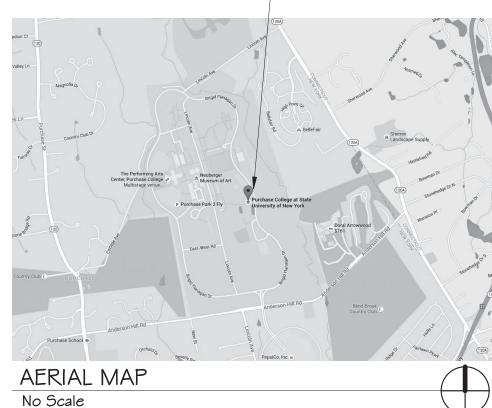
# Sargo tea.

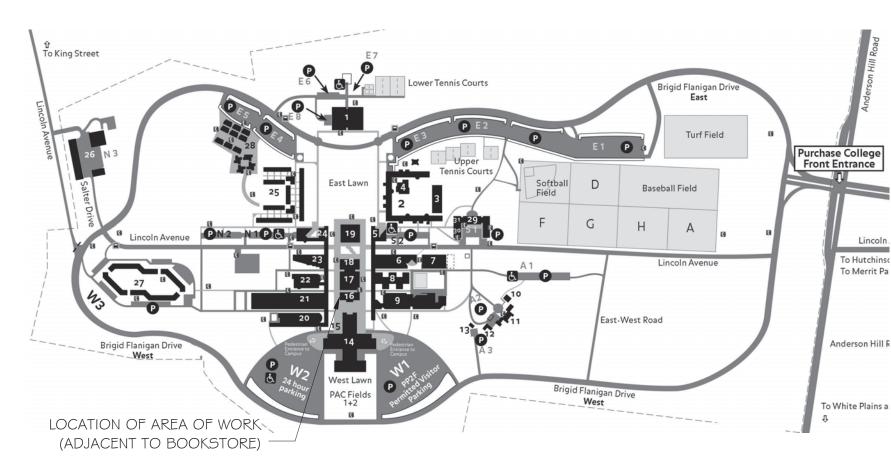
# Purchase College

STATE UNIVERSITY OF NEW YORK

735 Anderson Hill Road Purchase, NY 10577

### LOCATION OF PROJECT





LOCATION MAP No Scale



### ITEMS NOT IN CONTRACT (N. I. C.) FOR GENERAL CONTRACTOR

- I. MILLWORK FOR THE ARGO TEA SPACE. FOOD SERVICE EQUIPMENT.
- 3. ASBESTOS ABATEMENT.

G.C. TO COORDINATE ITEMS NOT IN CONTRACT WITH REMAINDER OF WORK WITH OWNER (OR OTHERS THAT ARE SUPPLYING AND/OR INSTALLING SUCH ITEMS).

N.I.C. ITEMS HAVE BEEN INCLUDED WITHIN THIS SET FOR COORDINATION PURPOSES ACROSS ALL TRADES. G.C. TO COORDINATE ELECTRICAL, PLUMBING, ETC. WITH N.I.C. ITEMS.

# Revisions & Issues Date Description Do not scale drawings. Each Contractor shall be responsible for all field measurements

FOUND.

FLOOR

FOOTING

FLOOR DRAIN

FOUNDATION



P.S.F.

P.S.I.

PREFAB.

**Purchase College** STATE UNIVERSITY OF NEW YORK

## SUNY PURCHASE

Purchase, NY 10577

735 Anderson Hill Road

# TECHNOLOGY SOLUTIONS

244 FIFTH AVE - SUITE M230 - NEW YORK, N.Y. 10001 MORAIS C. MIRANDA, RCDD - 917-533-3689

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32 Old Slip, 10th Floor

New York, NY 10005

Southport Associates **Southport Engineering Associates, PC** 

PLUMBING FIXTURE CALCULATIONS

PCNYS 403.1 - MINIMUM PLUMBING FIXTURES

110 PERSONS (75 PER GENDER)

J.S. REQ'D: 1 TOTAL

PROVIDED FIXTURES:

TOILET PROV: 2

LAV. PROV.:

LAV. REQ'D: 1/75 (1 PER GENDER)

OCCUPANTS: 109

11 Bailey Avenue Tel.: (203) 431-6844 Ridgefield, CT 06877 Fax: (203) 431-6877



It is a violation of the New York State Education Law to alter these documents in any way once the seal and signature have been affixed by the Architect.



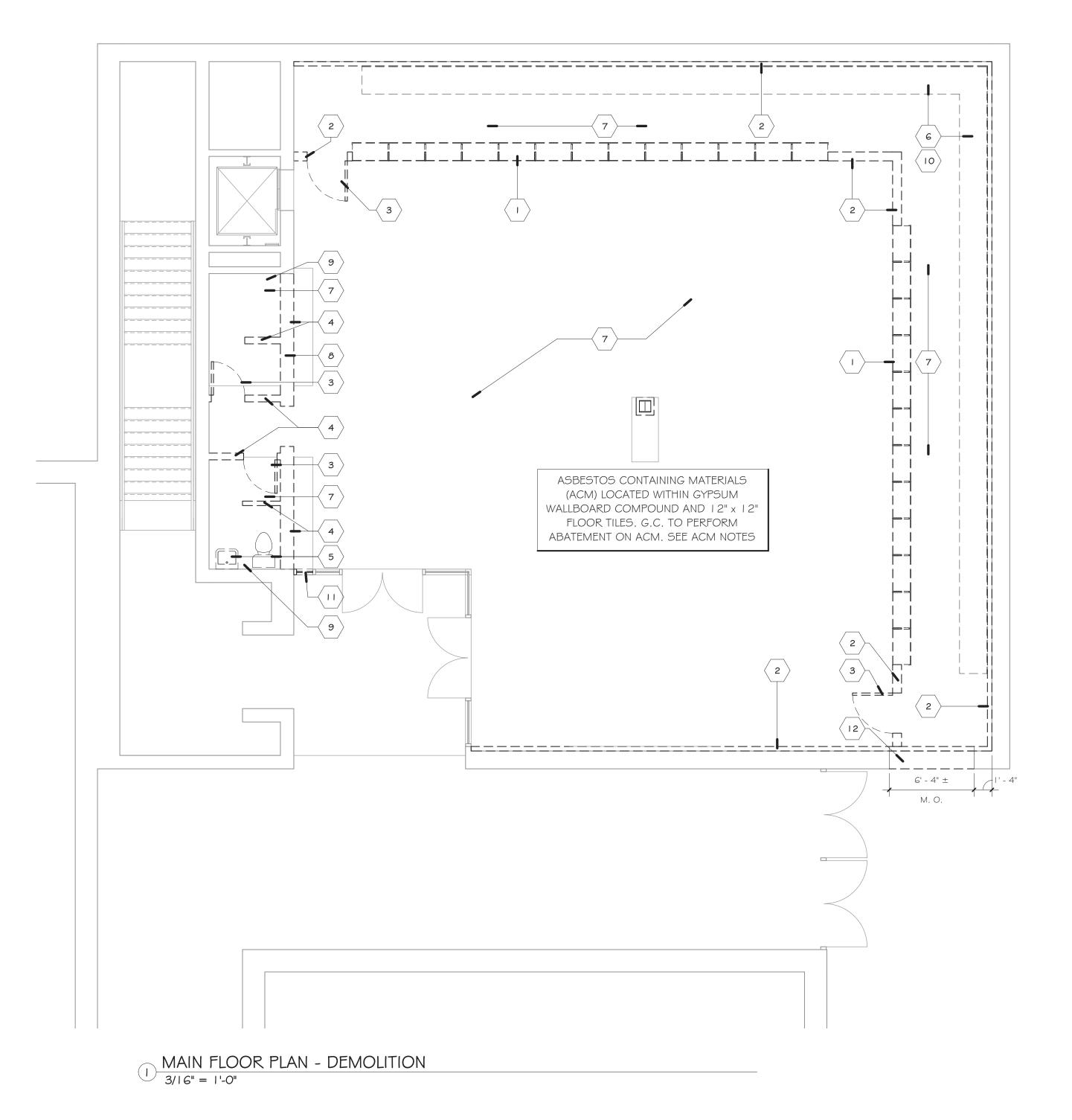
ARCHITECT P.C. AIA - LEED A.P. - NCARB

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DAVID A. TETRO

June 7, 2016 A-1.0 15.44

PROJECT INFORMATION



**ASBESTOS ABATEMENT** (N. I. C.)

Purchase, NY 10577

CONTRACT TIME.

MORAIS C. MIRANDA, RCDD - 917-533-3689

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302 Lewis Avenue

15.44

June 7, 2016

**DEMOLITION FLOOR** PLAN AND NOTES

A-1.1

100% ARCHITECTURAL SUBMISSION: FOR REVIEW

### DEMOLITION KEY I > SYMBOL ON PLAN REFERENCES KEYNOTES BELOW

- I REMOVE ALL EXISTING MAILBOXES: COORDINATE RE-USE OR STORAGE WITH OWNER: PROTECT UNITS AND AVOID DAMAGING UNITS DURING REMOVAL AND STORAGE
- 2 REMOVE INTERIOR NON LOAD-BEARING WALL AND ALL ASSOCIATED FRAMING AND BLOCKING AND SUPPORTS
- 3 REMOVE DOOR, FRAME AND ALL ASSOCIATED HARDWARE
- REMOVE INTERIOR NON LOAD-BEARING CMU WALL AND ALL ASSOCIATED FRAMING AND BLOCKING AND SUPPORTS
- 5 REMOVE TOILET FIXTURES AND ALL ASSOCIATED HARDWARE AND ASSOCIATED PLUMBING AND CARRIERS: PREP FOR NEW FIXTURES IN RELOCATED AREAS: PATCH AREAS AS NECESSARY TO MATCH ADJACENT FINISHES
- 6 REMOVE ALL CASEWORK AND BUILT-INS THROUGHOUT WORK AREA
- 7 REMOVE ALL FLOORING AND PREP FOR NEW FLOOR FINISH
- 8 PROTECT EXISTING BEAM OVER WALL DURING DEMOLITION OF WALL: MAINTAIN EXISTING
- FIREPROOFING AND PROVIDE NEW FIREPROOFING AT BOTTOM OF BEAM 9 REMOVE ALL EXISTING TOILET ROOM ACCESSORIES, PARTITIONS, ETC.
- 10 REMOVE ALL EXISTING WALL-MOUNTED ACCESSORIES AND ITEMS: PATCH AS NECESSARY FOR NEW CONSTRUCTION
- I REMOVE GLASS, MODIFY EXISTING MULLIONS FOR NEW WALL AND PROVIDE NEW TEMPERED GLASS TO MATCH EXISTING AT MODIFIED OPENING
- 12 REMOVE PORTION OF EXISTING EXTERIOR WALL ASSEMBLY FOR NEW DOOR AND LINTEL: CUT PLUMB
- 13 REMOVE EXISTING CEILING TILE AND GRID AND SUSPENSION SYSTEM ALONG WITH ALL LIGHTING, DIFFUSERS, REGISTERS AND ACCESSORIES: VERIFY MAINTAINING OF EXISTING ALARM SYSTEM DURING CONSTRUCTION WITH AUTHORITY HAVING JURISDICTION
- 14 EXISTING EXIT SIGN TO REMAIN DURING DEMOLITION: TO BE REPLACED WITH NEW AT APPROPRIATE TIME DURING CONSTRUCTION

### **ACM NOTES**

- I. AN ASBESTOS INSPECTION WAS PERFORMED BY QUALITY ENVIROMENTAL SOLUTIONS \$ TECHNOLOGIES, INC. (QUEST) AND THE FINDINGS WERE DOCUMENTED IN A LETTER DATED AUGUST 31, 2015. ASBESTOS CONTAINING MATERIALS (ACM) WERE GENERALLY FOUND WITHIN THE AREA OF WORK.
- 2. LOCATIONS OF ACM, WHICH MAY BE SHOWN ON THESE CONSTRUCTION DOCUMENTS, ARE APPROXIMATE. CONTRACTOR SHALL REFER TO THE ASBESTOS REPORT FOR LOCATIONS OF ACM AND OTHER RELATED HAZARDOUS MATERIALS THAT REQUIRE ABATEMENT.
- 3. OWNER SHALL RETAIN A QUALIFIED AND LICENSED EXPERT TO SAFELY REMOVE OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE IN ACCORDANCE WITH ALL LAWS, RULES, AND REGULATIONS OF THE AUTHORTIES HAVING JURISDICTION.
- 4. OWNER AND/OR ACM REMOVAL CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY THE ARCHITECT, ENGINEER, AND OTHER PROFESSIONAL CONSULTANTS RELATED TO THIS PROJECT, AGAINST ANY CLAIMS FOR DAMAGES BY ANY PARTY, INCLUDING LEGAL FEES AND RELATED EXPENSES, WHICH MAY RESULT IN ANY WAY FROM SUBSTANCE EXPOSURE ON THE PROJECT.
- 5. THE REMOVAL AND DISPOSAL OF ANY EXISTING ASBESTOS CONTAINING MATERIAL FROM THE PREMISES SHALL BE PERFORMED IN STRICT ACCORDANCE WITH NY STATE, FEDERAL AND
- 6. ADDITIONAL ACM MAY BE PRESENT IN THE AREA ADJACENT TO THE PROJECT AREA. CARE MUST BE TAKEN BY THE CONTRACTOR NOT TO DISTURB ANY BUILDING MATERIALS OUTSIDE THE LIMITS OF THE WORK WITHOUT PRIOR APPROVAL FROM SUNY PURCHASE.
- 7. THIS PROJECT IS A RENOVATION PROJECT AND NOT A COMPLETE DEMOLITION OF THE BUILDING'S ACM. THEREFORE, THE CONTRACTOR WILL NOT BE REMOVING THE ENTIRETY OF HAZARDOUS MATERIALS FROM THE BUILDING. THE ONLY HAZARDOUS MATERIALS REMOVED SHALL BE LIMITED TO THOSE WITHIN THE AREA OF THIS PARTICULAR PROJECT, UNLESS DIRECTED OTHERWISE BY THE OWNER OR THE AUTHORITY HAVING JURISDICTION.
- 8. THE ACM REMOVAL CONTRACTOR SHALL FURNISH ALL MATERIALS, TOOLS, EQUIPMENT, PROTECTION MEASURES, SIGNAGE, ETC. AS REQUIRED FOR A COMPLETE AND COMPLIANT DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS.
- 9. ACM DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY THE ABATEMENT ACTIVITIES TO ANY BUILDING COMPONENTS OR SYSTEMS THAT ARE TO REMAIN, INCLUDING BUT NOT LIMITED TO EXISTING WALLS, FLOORS, CEILINGS, FIREPROOFING, BUILDING STRUCTURE OR SYSTEMS, MEP SYSTEMS, ETC. ANY DAMAGE MUST BE REMEDIED BY THE ACM CONTRACTOR TO THE ORIGINAL CONDITIONS BY THE COMPLETION OF ABATEMENT ACTIVITIES AT THEIR OWN EXPENSE AND WITHOUT AFFECTING THE OVERALL
- 10. THE ACM CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DEMOLISH FLOORING, CEILINGS, BUILT-INS, ETC. IN ORDER TO ACCESS AND REMOVE THE HAZARDOUS MATERIALS. ACM CONTRACTOR TO COORDINATE WITH G.C. ON ITEMS REQUIRING REMOVAL TO ACCESS THE HAZARDOUS MATERIALS.
- II. OWNER SHALL RETAIN A QUALIFIED AIR TESTING AGENCY TO MONITOR ABATEMENT PROCEEDURES ACCORDINGLY.
- 12. THE ARCHITECT HAS NOT BEEN RETAINED FOR THE DISCOVERY OF ANY ASBESTOS CONTAINING MATERIALS, NOR FOR ANY OTHER HAZARDOUS MATERIALS, NOR HAS BEEN RETAINED FOR THE LOCATION OR REMOVAL OF ANY SUCH ITEMS AND THEREFORE SHALL NOT BE HELD LIABLE OR RESPONSIBLE FOR ANY DISCOVERY OR REMOVAL OF SAME. ANY ADDITIONAL HAZARDOUS MATERIALS LOCATED OR DISCOVERED DURING THE COURSE OF THE DEMOLITION WORK SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY.

- 1. The General Contractor / Sub-Contractors shall perform all demolition work as necessary in order to carry out the Work within this Contract. The contractor shall not consider these demolition notes to be all-inclusive. It is the Contractor's responsibility to inspect and assess each area and to fulfill the intent of the design indicated by the contract documents. Contractor shall coordinate demolition work with HVAC, electrical, fire protection and plumbing trades and proposed work and carry out such work accordingly. All necessary disconnetes of eeguipment and systems shall be included.
- 2. The General Contractor shall visually inspect all existing conditions and shall coordinate any outstanding demo issues with the Architect prior to beginning work. Notify Architect of discrepancies between existing conditions and Drawings before proceeding with any Work. Some portions of the Work may not specifically or graphically be shown on the plans but shall still remain as a requirement for Work to be performed (i.e. electrical wiring, ductwork, some partitions, etc.)
- 3. In the event that this project requires, or the Owner requests, a separate Demolition Permit, it shall be the responsibility of the Contractor to apply for, pay for, and obtain such permit. All applicable permits, inspections, approvals, etc. shall be applied for and paid for by the trade Contractor(s) required to do so in the field of his Work. Contractor shall be responsible for the coordination of inspections and approvals of said Work. A copy of the municipality approved plans, stamped with the permit number, shall be kept at site together with any revisions and addenda made during construction.
- 4. Architect is not retained for supervision of construction demolition nor for construction demolition methods, safety procedures and programs, scheduling, delays, or compliance with contract documents. However, the Architect may observe the Work in progress by means of periodic site visits. If requested, the Architect will provide interpretation of the drawings and code requirements as necessary. These observations and interpretations do not relieve the Contractor from any responsibility to carry out the Work in accordance with the Contract Documents or requirements of the Building Code or municipalities having jurisdiction.
- 5. Contractor shall comply with any governing EPA notification regulations before beginning any demolition Work. Comply with hauling and disposal regulations of authorities having jurisdiction. Comply with ANSI A10.6 and NFPA 241 and all standards required by Authorities having Jurisdiction if required for this particular project..
- 6. Any controlled inspections and/or certifications required by governing authorities having jurisdiction over the project shall be performed and certified by a licensed Professional Engineer either retained by the Owner or the General Contractor. This must be coordinated between the two parties prior to the start of the Work..
- 7. Consult Engineering notes for extent of existing building systems to be removed or to be relocated. Removal work is intended to include all associated built-in items such as electrical/data outlets, switches, conduits, controls, piping, mounting blocks, etc. Refer to MEP drawings for procedures concerning these trades in demolition areas or coordinate with associated trades if MEP drawings are not part of the Construction Documents. G.C. shall remove all existing conduit and associated wiring not used back to panel. All existing data wiring and devices shall be removed back to distribution panel..
- 8. G.C. shall be responsible to protect all interior walls, ceiling and floors, MEP systems, etc. that are to remain from damage during demolition and construction and shall be responsible for the replacement of any items that are damaged as a result of demolition.
- 9. Contractor shall maintain all measures of sanitation (HEPA filters, negative pressurized areas, compartmentalization measures, sticky mats, etc.) as required by the New York State Department of Health regulations if applicable for this particular project.
- 10. Provide dumpster for debris removal. Coordinate location with Owner. Remove demolition materials by the end of each work day and vacuum public/common areas before leaving Site. Transport demolished materials off property and legally dispose of them at intervals as necessary to prevent build-up or overflow of demolished material.
- 11. Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them in an EPA-approved landfill.
- 12.. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent. Do not allow demolished materials to accumulate on-site. Do not burn demolished materials. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
- 13. Maintain existing services/systems as necessary to carry out the Work and to maintain services to adjacent properties or tenants. Provide temporary services if existing is insufficient.
- 14. The General Contractor, and/or Plumbing Contractor and Electrical Contractor, must contact the corresponding utility company in advance of any Work requiring removal, modification, or replacement of services and/or meters. Each Contractor is responsible, in a timely manner, for acquiring permits and paying such fees, scheduling inspections and acquiring all approvals and close-out documents and procedures as required by the associated utility company or service.
- 15. Maintain fire-protection facilities in service during course of the Work as required by the local municipality. Coordinate times, locations and zones of any areas where fire protection or life safety (including any system or service lines i.e. oxygen, suction, etc.) services need to be suspended or offline with the Owner in advance of any work that may affect such operation. Do not proceed with any demolition work of these items without obtaining approval and or notice by the Owner.
- 16. All Work in a public Right Of Way is subject to the requirements of the D.P.W. and/or Town Engineer. Contractor shall be responsible for acquiring a permit from D.P.W. for this Work, providing and acquiring bond, adhering to all D.P.W. specifications and obtaining written approval from D.P.W. and/or Town Engineer at completion of Work.
- 17. Conduct demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities. Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain and to ensure safe passage of people around Work area and to and from occupied portions of building.
- 18. Provide temporary weather protection to prevent water leakage and damage to structure and interior areas. Protect walls, ceilings, floors, and other existing finish Work that are to remain or that are exposed during the course of the Work. Cover and protect furniture, furnishings, and equipment that have not been removed.
- 19. General Contractor shall be responsible for all shoring, scaffolding, needle beams, etc. as may be required for this Work and for the support and stability of the structure during demolition, modification, erection Work, or any other Work on this project. The General Contractor, or the scaffolding contractor, shall provide to the Architect and (if required) the Building Inspector, a stamped plan or specification prepared by a New York State Licensed Professional Engineer for any lateral and vertical temporary supports.
- 20. Contractor shall provide all temporary shoring (shoring, needle beams, temporary posts, temporary beams, temporary girders, etc.) for support of load-bearing elements that are to remain in a safe and secure manner. In situations where proposed structure installation cannot occur during the demolition phase, contractor shall provide all required temporary supports and shoring.
- 21. Architect not responsible for the design, designation, location, or assembly of any temporary shoring. In the event that advanced shoring may be required, the Contractor shall provide their own NYS Licensed Structural Engineer to design the appropriate shoring and shall provide signed and sealed drawings for the Building Department as necessary.
- 22. Contractor shall provide and maintain temporary lighting for safety purposes and shall provide temporary electric and plumbing as necessary to carry out the demolition work. Contractor shall provide and maintain fire extinguishers on site during the course of the work. Type of extinguisher shall be determined by the nature of the work. Fire extinguishers shall be readily
- 23. Patch all construction and assemblies that are to remain in accordance with the contract drawings. Where contractor is designated to make removals, disposition of materials is the responsibility of the contractor. Verify with owner, the disposition and removal of any components of salvageable value.
- 24. Clean spaces, surfaces, adjacent structures and improvements of dust, dirt, and debris caused by demolition operations this includes areas of travel, dumpster and carting locations
- 25. Patch or rebuild any areas to remain that have been damaged or disturbed by HVAC, electrical, fire protection and plumbing demolition.

and locations outside the Area of Work. Return adjacent areas to condition existing before selective demolition operations began.

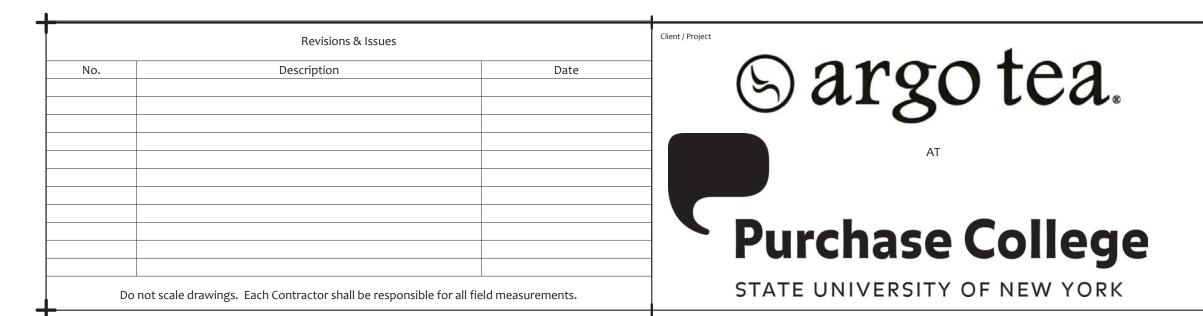
Protect services against damage during course of the Work.

- 26. Architect not retained, nor responsible, to locate or for the identification, removal, testing and / or certification of removal relative to any hazardous substance including, but not limited to, PCB's, petroleum, mold infestation, hazardous waste, asbestos, lead paint, lead piping, and similar substances. If asbestos, or any other toxic substance, or risk to exposure thereto, is discovered during Work on the project, Contractor shall have the duty to inform the Owner and to coordinate and promptly retain a qualified expert to identify and safely remove or supervise the removal and the monitoring of the removal of such asbestos or other toxic substance.
- 27. Owner and Contractor shall indemnify and hold Architect harmless from any and all liability on the part of or damage to such entity, including the costs of any legal fees and expenses, as such fees and expenses are incurred, which may result from asbestos or other toxic substance exposure on the project. Contractor shall hold harmless the Owner, the Architect, Engineers, and Professional Consultants related to this project, against claims for damages by any party, including legal fees, which may result in any way from this Work.
- 28. The removal and disposal of any asbestos containing materials, hazardous materials, or any toxic or controlled materials, from the premises shall be performed and carried out by the Contractor performing such work in strict accordance with New York State, Federal, and Local Government, OSHA and EPA guidelines and requirements.

DAVID A. TETRO

ARCHITECT P.C.

AIA - LEED A.P. - NCARB



**SUNY PURCHASE** 

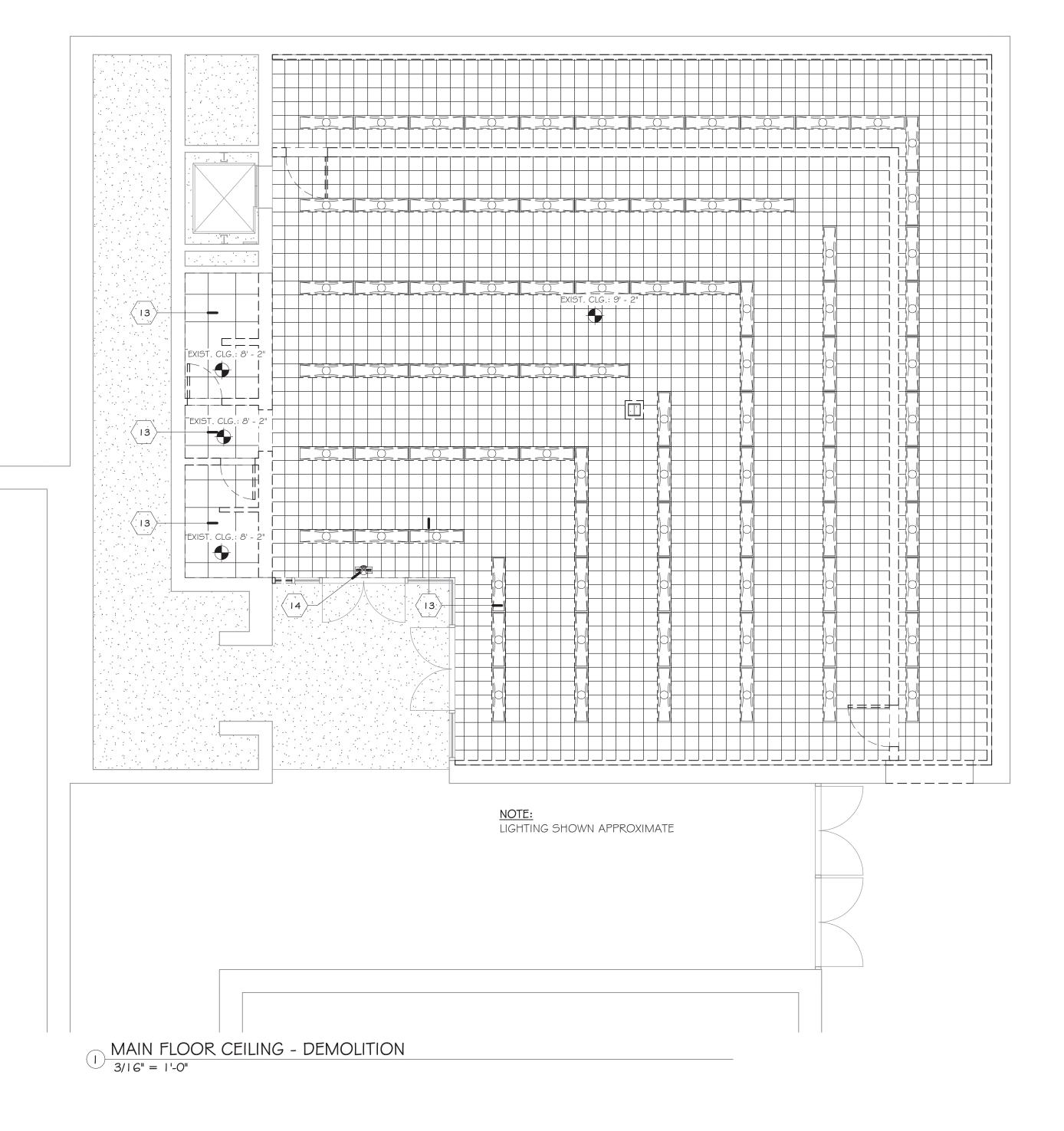
735 Anderson Hill Road

TECHNOLOGY SOLUTIONS 244 FIFTH AVE - SUITE M230 - NEW YORK, N.Y. 1000<sup>.</sup>

### Tel.: (203) 431-6844 11 Bailey Avenue

32 Old Slip, 10th Floor

New York, NY 10005



**ASBESTOS ABATEMENT** (N. I. C.)

735 Anderson Hill Road

Purchase, NY 10577

# TECHNOLOGY SOLUTIONS

244 FIFTH AVE - SUITE M230 - NEW YORK, N.Y. 1000<sup>.</sup> MORAIS C. MIRANDA, RCDD - 917-533-3689

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Tel.: (212) 620-7970

15.44

June 7, 2016

DEMOLITION R.C.P. AND **NOTES** 

> 100% ARCHITECTURAL SUBMISSION: FOR REVIEW

A-1.2



6 REMOVE ALL CASEWORK AND BUILT-INS THROUGHOUT WORK AREA

8 PROTECT EXISTING BEAM OVER WALL DURING DEMOLITION OF WALL: MAINTAIN EXISTING FIREPROOFING AND PROVIDE NEW FIREPROOFING AT BOTTOM OF BEAM

9 REMOVE ALL EXISTING TOILET ROOM ACCESSORIES, PARTITIONS, ETC.

10 REMOVE ALL EXISTING WALL-MOUNTED ACCESSORIES AND ITEMS: PATCH AS NECESSARY FOR NEW CONSTRUCTION

I I REMOVE GLASS, MODIFY EXISTING MULLIONS FOR NEW WALL AND PROVIDE NEW TEMPERED GLASS TO MATCH EXISTING AT MODIFIED OPENING

12 REMOVE PORTION OF EXISTING EXTERIOR WALL ASSEMBLY FOR NEW DOOR AND LINTEL: CUT PLUMB

13 REMOVE EXISTING CEILING TILE AND GRID AND SUSPENSION SYSTEM ALONG WITH ALL LIGHTING, DIFFUSERS, REGISTERS AND ACCESSORIES: VERIFY MAINTAINING OF EXISTING ALARM SYSTEM DURING CONSTRUCTION WITH AUTHORITY HAVING JURISDICTION

14 EXISTING EXIT SIGN TO REMAIN DURING DEMOLITION: TO BE REPLACED WITH NEW AT APPROPRIATE TIME DURING CONSTRUCTION

### ACM NOTES

- I. AN ASBESTOS INSPECTION WAS PERFORMED BY QUALITY ENVIROMENTAL SOLUTIONS \$ TECHNOLOGIES, INC. (QUEST) AND THE FINDINGS WERE DOCUMENTED IN A LETTER DATED AUGUST 31, 2015. ASBESTOS CONTAINING MATERIALS (ACM) WERE GENERALLY FOUND WITHIN THE AREA OF WORK.
- 2. LOCATIONS OF ACM, WHICH MAY BE SHOWN ON THESE CONSTRUCTION DOCUMENTS, ARE APPROXIMATE. CONTRACTOR SHALL REFER TO THE ASBESTOS REPORT FOR LOCATIONS OF ACM AND OTHER RELATED HAZARDOUS MATERIALS THAT REQUIRE ABATEMENT
- 3. OWNER SHALL RETAIN A QUALIFIED AND LICENSED EXPERT TO SAFELY REMOVE OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE IN ACCORDANCE WITH ALL LAWS, RULES, AND REGULATIONS OF THE AUTHORTIES HAVING JURISDICTION.
- OWNER AND/OR ACM REMOVAL CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY THE ARCHITECT, ENGINEER, AND OTHER PROFESSIONAL CONSULTANTS RELATED TO THIS PROJECT, AGAINST ANY CLAIMS FOR DAMAGES BY ANY PARTY, INCLUDING LEGAL FEES AND RELATED EXPENSES, WHICH MAY RESULT IN ANY WAY FROM SUBSTANCE EXPOSURE ON THE PROJECT.
- 5. THE REMOVAL AND DISPOSAL OF ANY EXISTING ASBESTOS CONTAINING MATERIAL FROM THE PREMISES SHALL BE PERFORMED IN STRICT ACCORDANCE WITH NY STATE. FEDERAL AND LOCAL GOVERNMENT, OSHA AND EPA GUIDELINES.
- 6. ADDITIONAL ACM MAY BE PRESENT IN THE AREA ADJACENT TO THE PROJECT AREA. CARE MUST BE TAKEN BY THE CONTRACTOR NOT TO DISTURB ANY BUILDING MATERIALS OUTSIDE THE LIMITS OF THE WORK WITHOUT PRIOR APPROVAL FROM SUNY PURCHASE.
- 7. THIS PROJECT IS A RENOVATION PROJECT AND NOT A COMPLETE DEMOLITION OF THE BUILDING'S ACM. THEREFORE, THE CONTRACTOR WILL NOT BE REMOVING THE ENTIRETY OF HAZARDOUS MATERIALS FROM THE BUILDING. THE ONLY HAZARDOUS MATERIALS REMOVED SHALL BE LIMITED TO THOSE WITHIN THE AREA OF THIS PARTICULAR PROJECT, UNLESS DIRECTED OTHERWISE BY THE OWNER OR THE AUTHORITY HAVING JURISDICTION.
- 8. THE ACM REMOVAL CONTRACTOR SHALL FURNISH ALL MATERIALS, TOOLS, EQUIPMENT, PROTECTION MEASURES, SIGNAGE, ETC. AS REQUIRED FOR A COMPLETE AND COMPLIANT DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS.
- 9. ACM DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY THE ABATEMENT ACTIVITIES TO ANY BUILDING COMPONENTS OR SYSTEMS THAT ARE TO REMAIN, INCLUDING BUT NOT LIMITED TO EXISTING WALLS, FLOORS, CEILINGS, FIREPROOFING, BUILDING STRUCTURE OR SYSTEMS, MEP SYSTEMS, ETC. ANY DAMAGE MUST BE REMEDIED BY THE ACM CONTRACTOR TO THE ORIGINAL CONDITIONS BY THE COMPLETION OF ABATEMENT ACTIVITIES AT THEIR OWN EXPENSE AND WITHOUT AFFECTING THE OVERALL CONTRACT TIME.
- 10. THE ACM CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DEMOLISH FLOORING, CEILINGS, BUILT-INS, ETC. IN ORDER TO ACCESS AND REMOVE THE HAZARDOUS MATERIALS. ACM CONTRACTOR TO COORDINATE WITH G.C. ON ITEMS REQUIRING REMOVAL TO ACCESS THE HAZARDOUS MATERIALS.
- II. OWNER SHALL RETAIN A QUALIFIED AIR TESTING AGENCY TO MONITOR ABATEMENT PROCEEDURES ACCORDINGLY.
- 12. THE ARCHITECT HAS NOT BEEN RETAINED FOR THE DISCOVERY OF ANY ASBESTOS CONTAINING MATERIALS, NOR FOR ANY OTHER HAZARDOUS MATERIALS, NOR HAS BEEN RETAINED FOR THE LOCATION OR REMOVAL OF ANY SUCH ITEMS AND THEREFORE SHALL NOT BE HELD LIABLE OR RESPONSIBLE FOR ANY DISCOVERY OR REMOVAL OF SAME. ANY ADDITIONAL HAZARDOUS MATERIALS LOCATED OR DISCOVERED DURING THE COURSE OF THE DEMOLITION WORK SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY.

### DEMOLITION NOTES

- 1. The General Contractor / Sub-Contractors shall perform all demolition work as necessary in order to carry out the Work within this Contract. The contractor shall not consider these demolition notes to be all-inclusive. It is the Contractor's responsibility to inspect and assess each area and to fulfill the intent of the design indicated by the contract documents. Contractor shall coordinate demolition work with HVAC, electrical, fire protection and plumbing trades and proposed work and carry out such work accordingly. All necessary disconnetes of eequipment and systems shall be included.
- 2. The General Contractor shall visually inspect all existing conditions and shall coordinate any outstanding demo issues with the Architect prior to beginning work. Notify Architect of discrepancies between existing conditions and Drawings before proceeding with any Work. Some portions of the Work may not specifically or graphically be shown on the plans but shall still remain as a requirement for Work to be performed (i.e. electrical wiring, ductwork, some partitions, etc.)
- 3. In the event that this project requires, or the Owner requests, a separate Demolition Permit, it shall be the responsibility of the Contractor to apply for, pay for, and obtain such permit. All applicable permits, inspections, approvals, etc. shall be applied for and paid for by the trade Contractor(s) required to do so in the field of his Work. Contractor shall be responsible for the coordination of inspections and approvals of said Work. A copy of the municipality approved plans, stamped with the permit number, shall be kept at site together with any revisions and addenda made during construction.
- 4. Architect is not retained for supervision of construction demolition nor for construction demolition methods, safety procedures and programs, scheduling, delays, or compliance with contract documents. However, the Architect may observe the Work in progress by means of periodic site visits. If requested, the Architect will provide interpretation of the drawings and code requirements as necessary. These observations and interpretations do not relieve the Contractor from any responsibility to carry out the Work in accordance with the Contract Documents or requirements of the Building Code or municipalities having jurisdiction.
- 5. Contractor shall comply with any governing EPA notification regulations before beginning any demolition Work. Comply with hauling and disposal regulations of authorities having jurisdiction. Comply with ANSI A10.6 and NFPA 241 and all standards required by Authorities having Jurisdiction if required for this particular project.
- 6. Any controlled inspections and/or certifications required by governing authorities having jurisdiction over the project shall be performed and certified by a licensed Professional Engineer either retained by the Owner or the General Contractor. This must be coordinated between the two parties prior to the start of the Work..
- 7. Consult Engineering notes for extent of existing building systems to be removed or to be relocated. Removal work is intended to include all associated built-in items such as electrical/data outlets, switches, conduits, controls, piping, mounting blocks, etc. Refer to MEP drawings for procedures concerning these trades in demolition areas or coordinate with associated trades if MEP drawings are not part of the Construction Documents. G.C. shall remove all existing conduit and associated wiring not used back to panel. All existing data wiring and devices shall be removed back to distribution panel..
- 8. G.C. shall be responsible to protect all interior walls, ceiling and floors, MEP systems, etc. that are to remain from damage during demolition and construction and shall be responsible for the replacement of any items that are damaged as a result of demolition.
- 9. Contractor shall maintain all measures of sanitation (HEPA filters, negative pressurized areas, compartmentalization measures, sticky mats, etc.) as required by the New York State Department of Health regulations if applicable for this particular project.
- 10. Provide dumpster for debris removal. Coordinate location with Owner. Remove demolition materials by the end of each work day and vacuum public/common areas before leaving Site. Transport demolished materials off property and legally dispose of them at intervals as necessary to prevent build-up or overflow of demolished material.
- 11. Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them in an EPA-approved landfill.
- 12.. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent. Do not allow demolished materials to accumulate on-site. Do not burn demolished materials. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
- 13. Maintain existing services/systems as necessary to carry out the Work and to maintain services to adjacent properties or tenants. Provide temporary services if existing is insufficient. Protect services against damage during course of the Work. 14. The General Contractor, and/or Plumbing Contractor and Electrical Contractor, must contact the corresponding utility company in advance of any Work requiring removal, modification, or

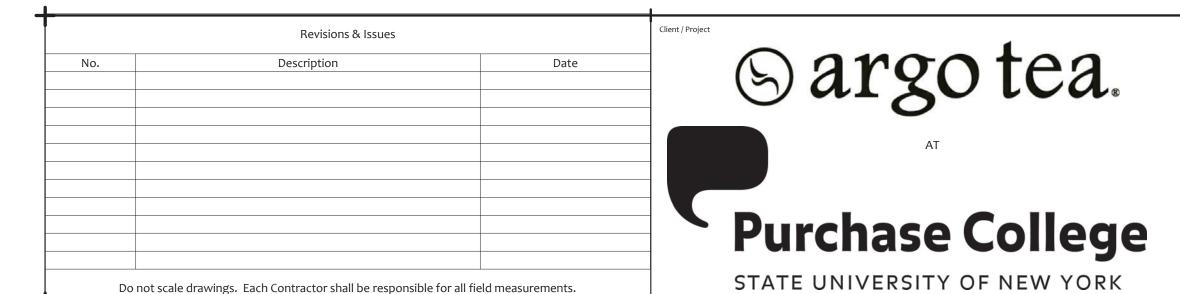
replacement of services and/or meters. Each Contractor is responsible, in a timely manner, for acquiring permits and paying such fees, scheduling inspections and acquiring all approvals

- 15. Maintain fire-protection facilities in service during course of the Work as required by the local municipality. Coordinate times, locations and zones of any areas where fire protection or life safety (including any system or service lines i.e. oxygen, suction, etc.) services need to be suspended or offline with the Owner in advance of any work that may affect such
- 16. All Work in a public Right Of Way is subject to the requirements of the D.P.W. and/or Town Engineer. Contractor shall be responsible for acquiring a permit from D.P.W. for this Work, providing and acquiring bond, adhering to all D.P.W. specifications and obtaining written approval from D.P.W. and/or Town Engineer at completion of Work.
- 17. Conduct demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities. Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain and to ensure safe passage of people around Work area and to and from occupied portions of building.
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- 19. General Contractor shall be responsible for all shoring, scaffolding, needle beams, etc. as may be required for this Work and for the support and stability of the structure during demolition, modification, erection Work, or any other Work on this project. The General Contractor, or the scaffolding contractor, shall provide to the Architect and (if required) the Building Inspector, a stamped plan or specification prepared by a New York State Licensed Professional Engineer for any lateral and vertical temporary supports.
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- 25. Patch or rebuild any areas to remain that have been damaged or disturbed by HVAC, electrical, fire protection and plumbing demolition.

and close-out documents and procedures as required by the associated utility company or service.

operation. Do not proceed with any demolition work of these items without obtaining approval and or notice by the Owner.

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- 27. Owner and Contractor shall indemnify and hold Architect harmless from any and all liability on the part of or damage to such entity, including the costs of any legal fees and expenses, as such fees and expenses are incurred, which may result from asbestos or other toxic substance exposure on the project. Contractor shall hold harmless the Owner, the Architect, Engineers, and Professional Consultants related to this project, against claims for damages by any party, including legal fees, which may result in any way from this Work.
- 28. The removal and disposal of any asbestos containing materials, hazardous materials, or any toxic or controlled materials, from the premises shall be performed and carried out by the Contractor performing such work in strict accordance with New York State, Federal, and Local Government, OSHA and EPA guidelines and requirements.

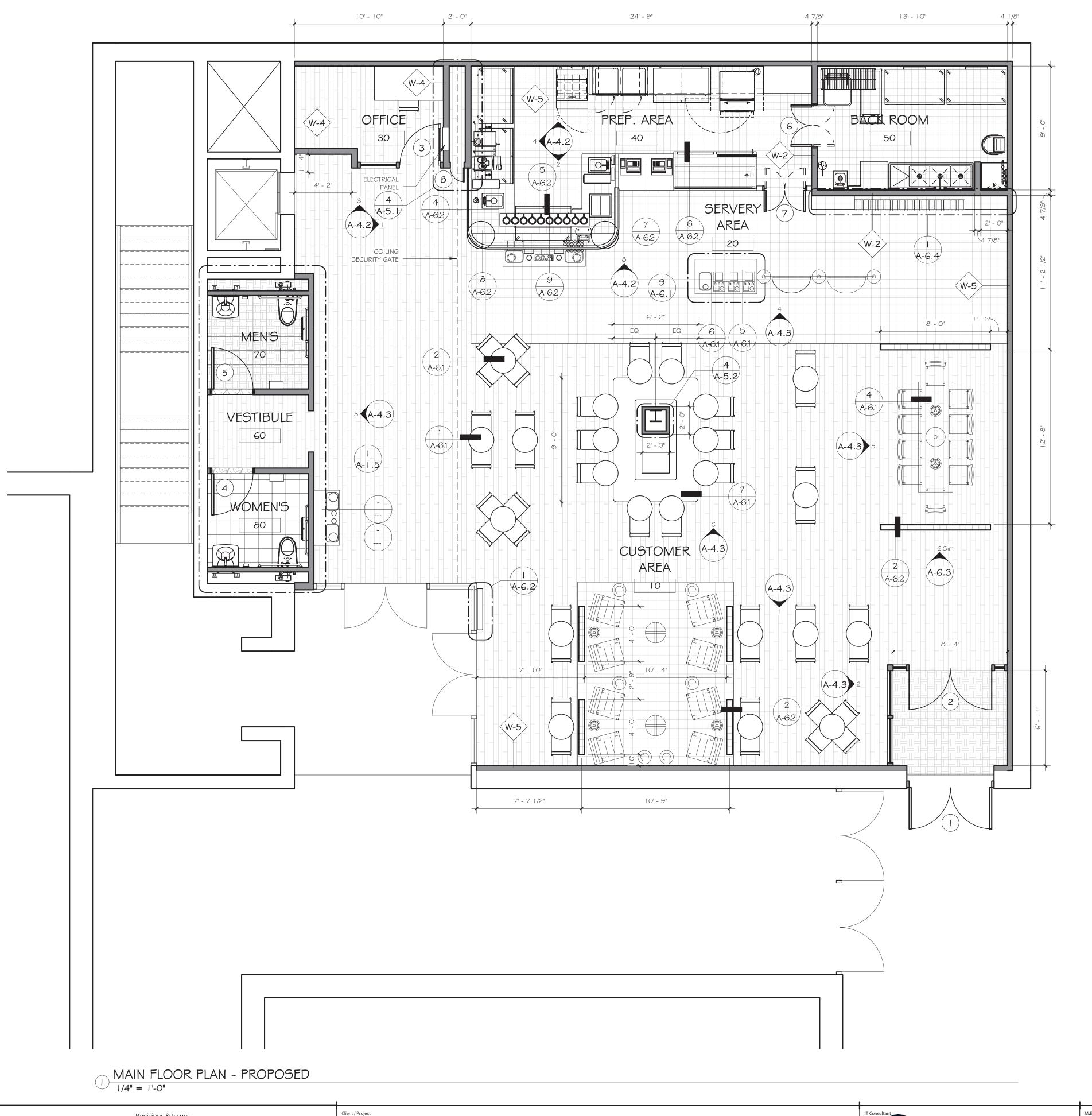


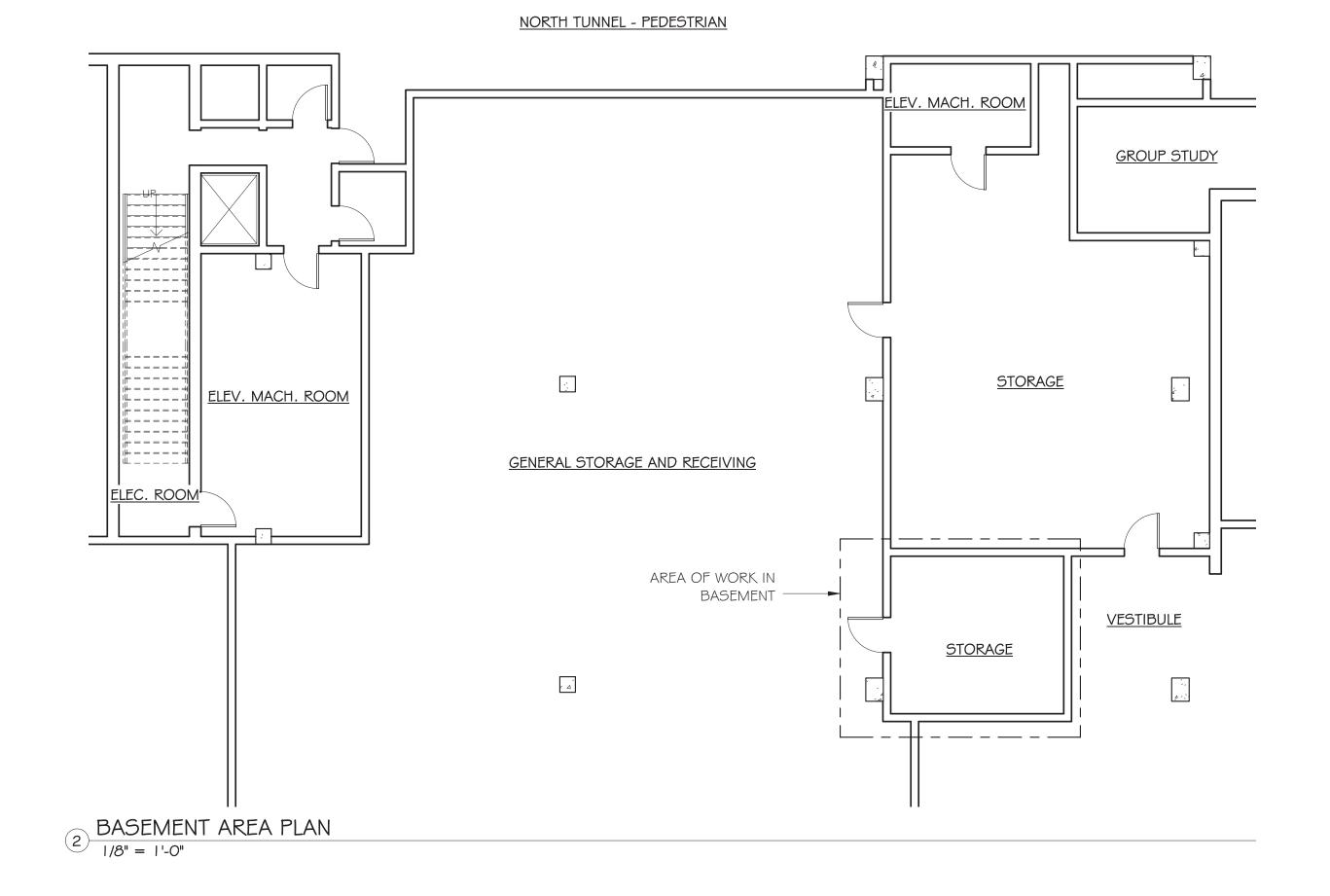
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Yorktown Heights, NY 10598 914.962.3113 - tel. 914.962.3393 - fax dtdesign@verizon.net www.DavidTetroArchitect.com





ROOM AREAS ROOM NAME NET AREA STORAGE 200 SF 10 CUSTOMER AREA 1585 SF 20 SERVERY AREA 272 SF 72 SF OFFICE 40 265 SF PREP. AREA 124 SF BACK ROOM 60 **VESTIBULE** 39 SF 70 MEN'S 50 SF 50 SF

A-1.3

Revisions & Issues Description Date Do not scale drawings. Each Contractor shall be responsible for all field measurements.

Sargo tea.

**Purchase College** 

STATE UNIVERSITY OF NEW YORK

SUNY PURCHASE

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TECHNOLOGY SOLUTIONS design group

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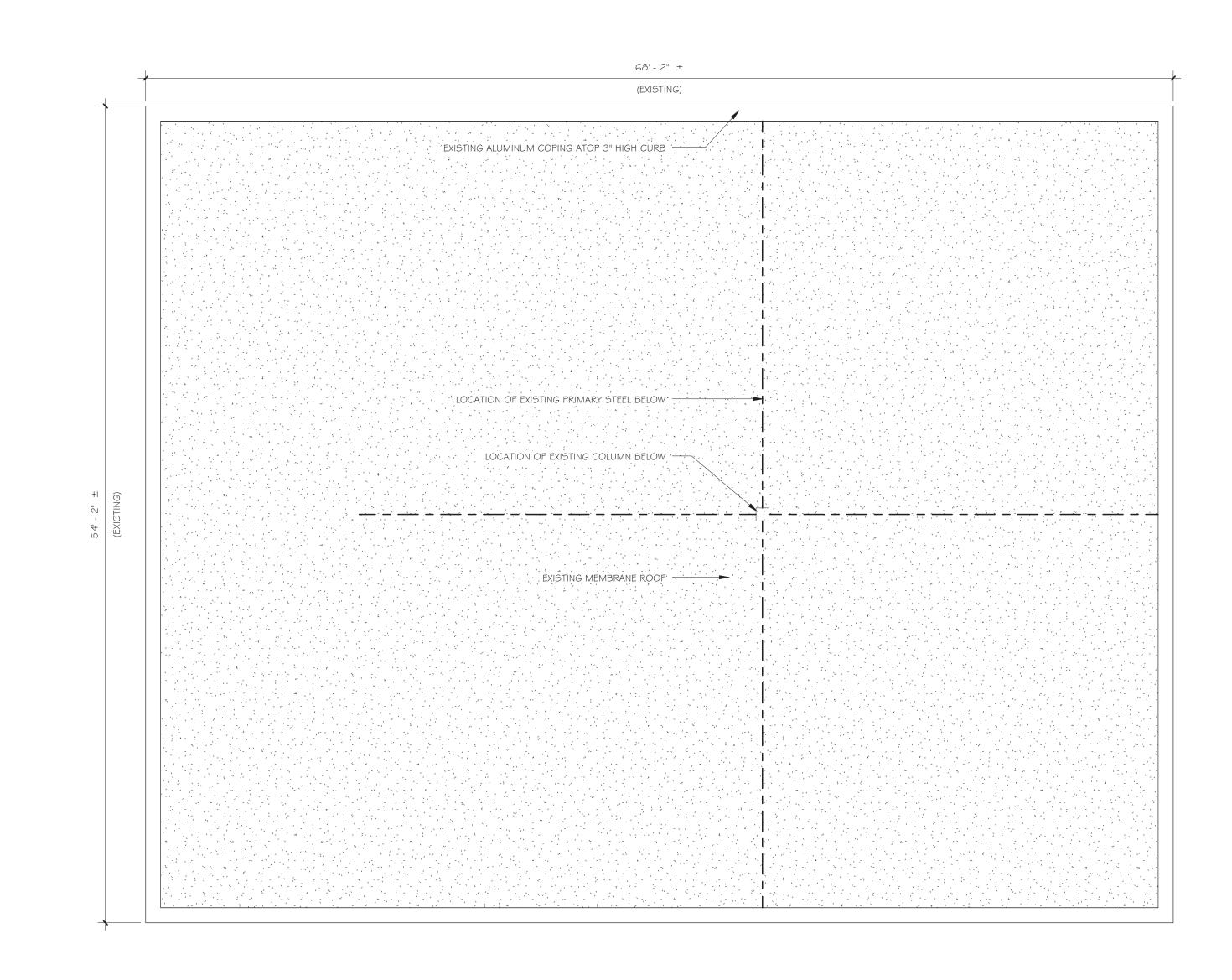
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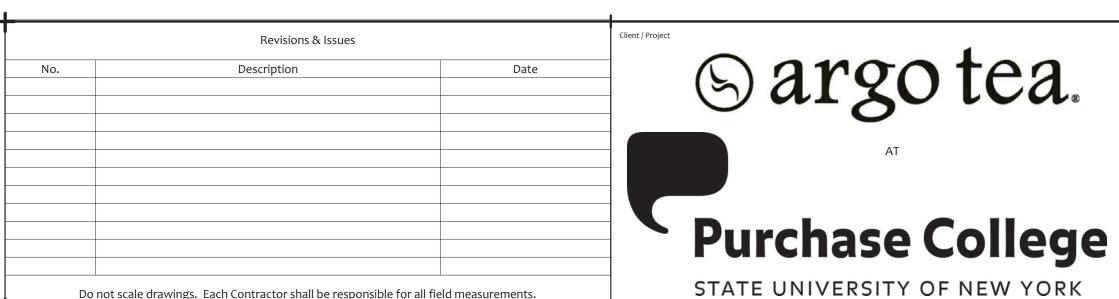
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June 7, 2016





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PART ROOF PLAN
3/16" = 1'-0"

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June 7, 2016 DAVID A. TETRO 15.44

**ROOF PLAN** 

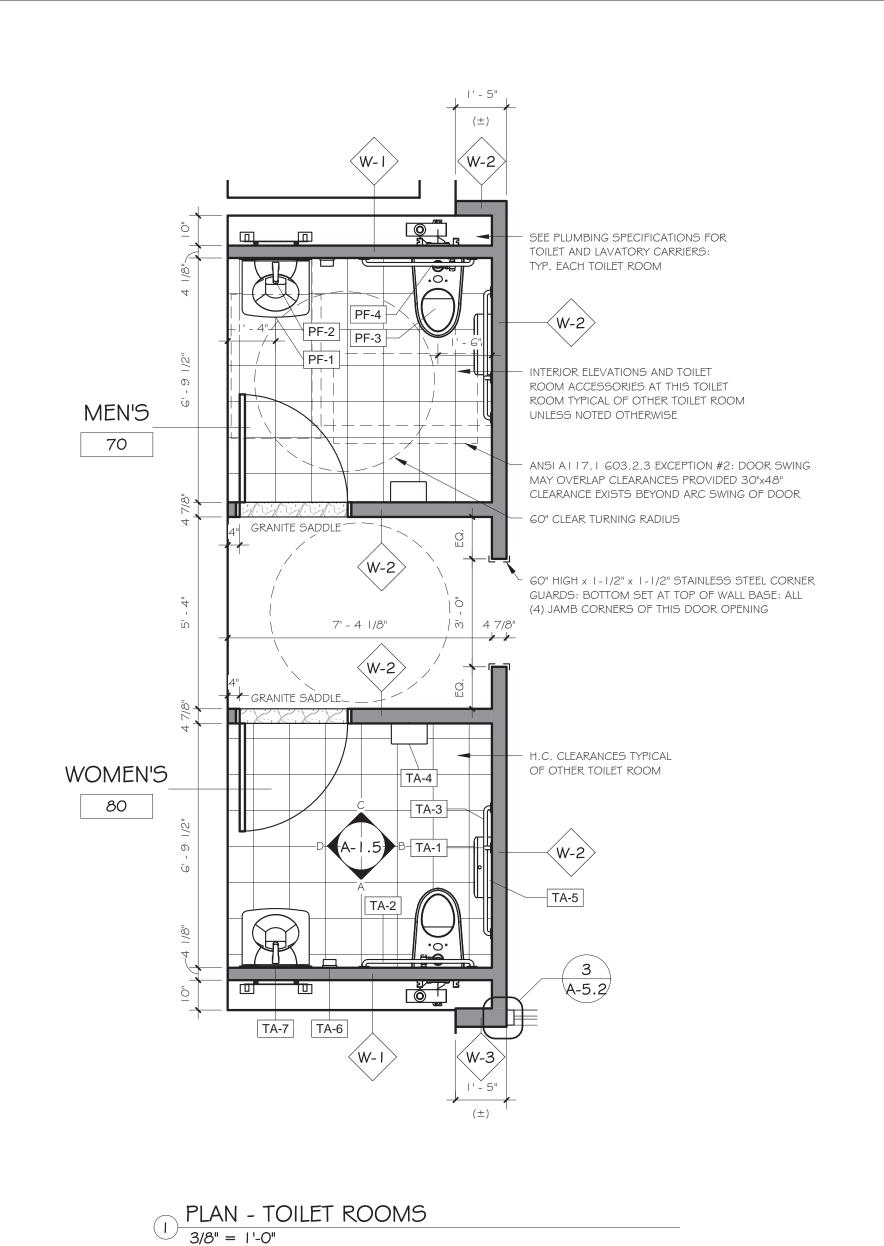
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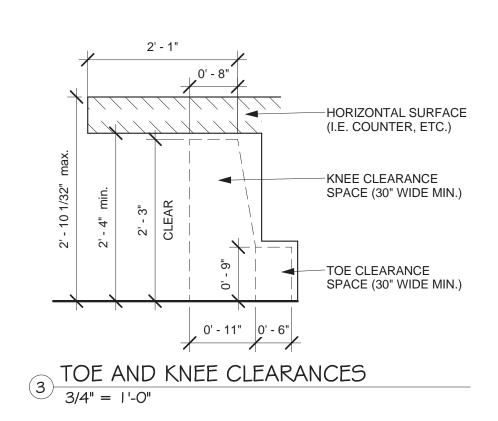
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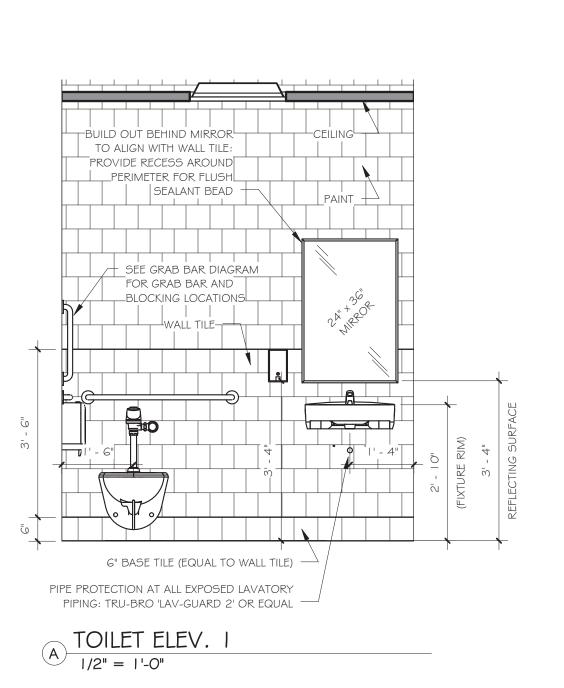
735 Anderson Hill Road Purchase, NY 10577

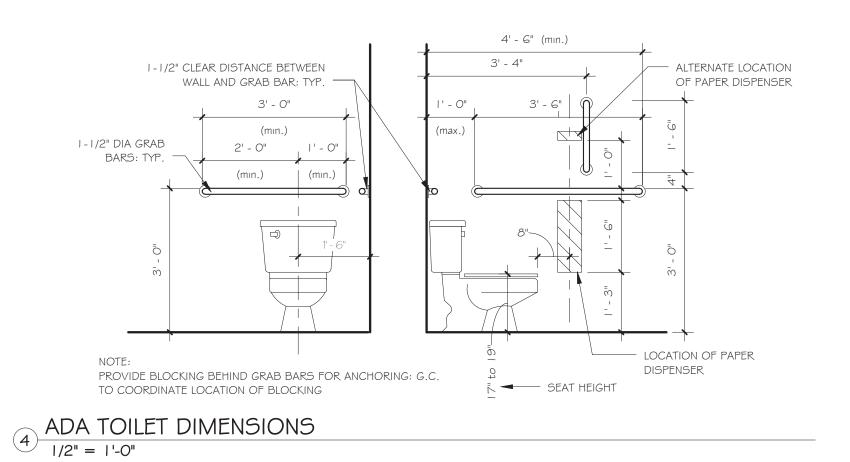
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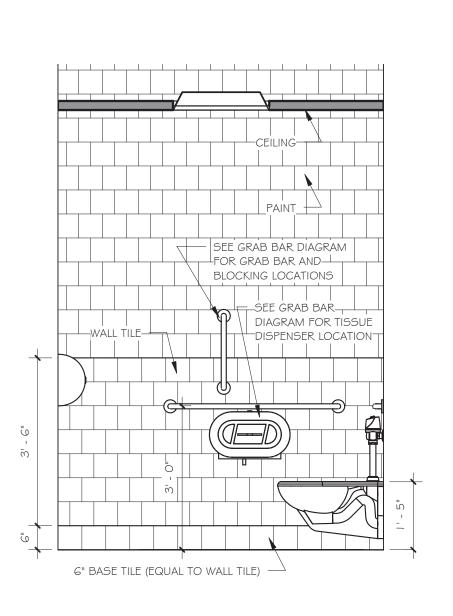
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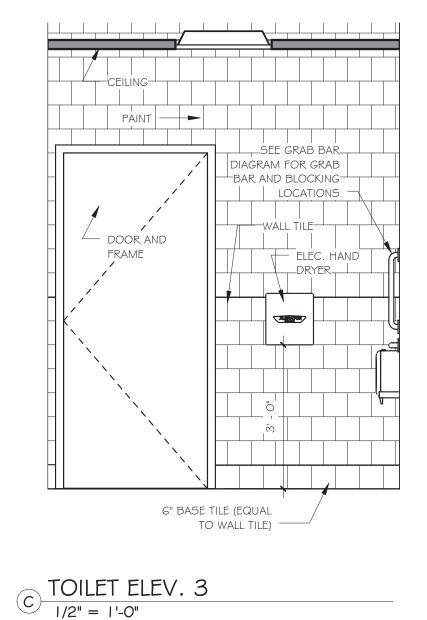


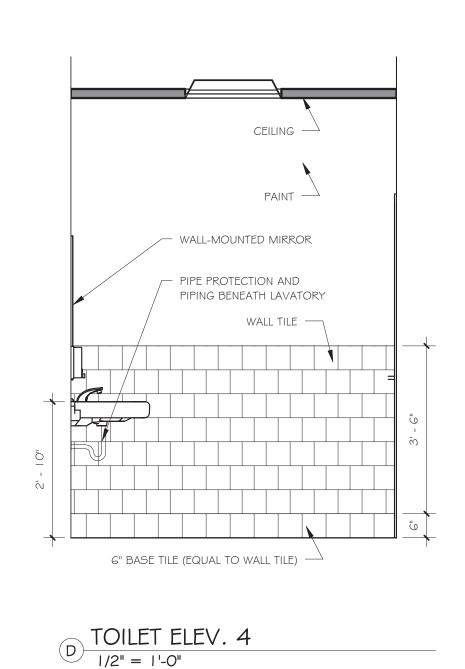






B TOILET ELEV. 2



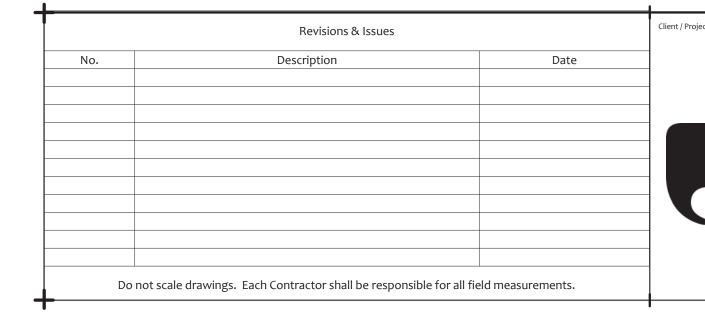


	PLUMBING FIXTURE SCHEDULE											
MARK	Q'T'Y	DESCRIPTION	MANUFACTURER	MODEL	REMARKS							
PF-I	2	WALL-MOUNT VITREOUS CHINA LAVATORY BASIN	SLOAN	SS-3105	MOUINT AT ADA-COMPLIANT HEIGHT							
PF-2	2	'OPTIMA PLUS' BATTERY POWERED - NO TOUCH FAUCET. VANDAL RESISTANT I .9 LPM (O.5 GPM) FLOW SPRAY OUTLET.	SLOAN	EBF-615								
PF-3	2	TOP-SPUD VITREOUS CHINA REAR FLUSH TOILET FIXTURE.	SLOAN	ST-2059-A	MOUINT AT ADA-COMPLIANT HEIGHT							
PF-4	2	'ROYAL' BATTERY-OPERATED FUSH MODULE FOR TOP SPUD WALL-MOUNT TOILET FIXTURES	SLOAN	Royal       -   .6/  .   DFSM	VERIFY COMPATIBILITY WITH TOILET BOWL UNIT							

NOTE: PLUMBING FIXTURES AND HARDWARE TO BE COORDINATED WITH OWNER'S STANDARD CAMPUS-WIDE FIXTURES, FINISHES AND OPERATION. G.C. TO COORDINATE.

	TOILET ROOM ACCESSORIES										
MARK	QUANTIT	Y DESCRIPTION	MODEL No.	MANUFACTURER	REMARKS						
TA-I	2	Bobrick B-5806.99x   8 Straight Peened Grab Bar	B-5806.99x18	Bobrick Washroom Equipment, Inc.							
TA-2	2	Bobrick B-5806.99x36 Straight Peened Grab Bar	B-5806.99x36	Bobrick Washroom Equipment, Inc.							
TA-3	2	Bobrick B-5806.99x42 Straight Peened Grab Bar	B-5806.99x42	Bobrick Washroom Equipment, Inc.							
TA-4	2	XLERATOR Hand Dryer	Wall Guard White	Excel Dryer							
TA-5	2	Bobrick B-2892 Classic Series Surface Mounted Twin Jumbo-Roll Toilet Tissue Dispenser	B-2892	Bobrick Washroom Equipment, Inc.							
TA-6	2	Classic Series Surface Mounted Soap Dispenser	B-2111	Bobrick Washroom Equipment, Inc.							
TA-7	2	Bobrick B-165 2436 Channel Frame Mirror	B-165 2436	Bobrick Washroom Equipment, Inc.							

NOTE: TOILET ROOM ACCESSORIES AND ASSOCIATED FINISHES TO BE COORDINATED WITH OWNER'S STANDARD CAMPUS-WIDE ACCESSORIES, FINISHES AND OPERATION. G.C. TO COORDINATE.





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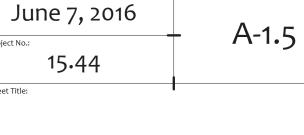
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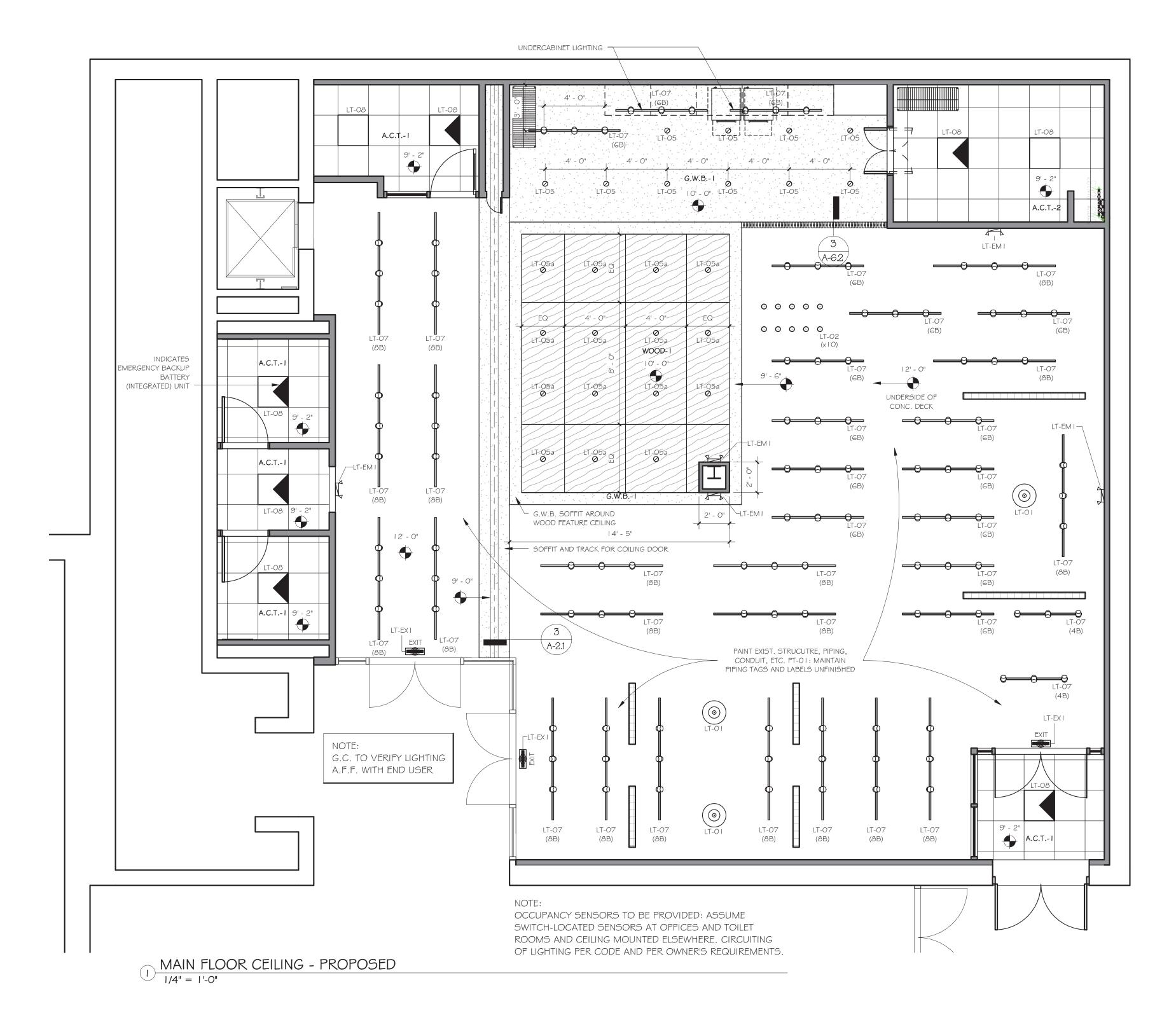
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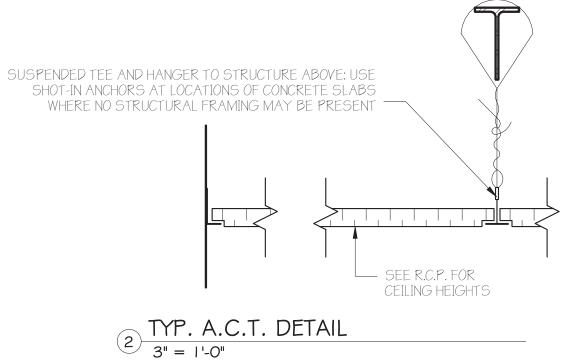
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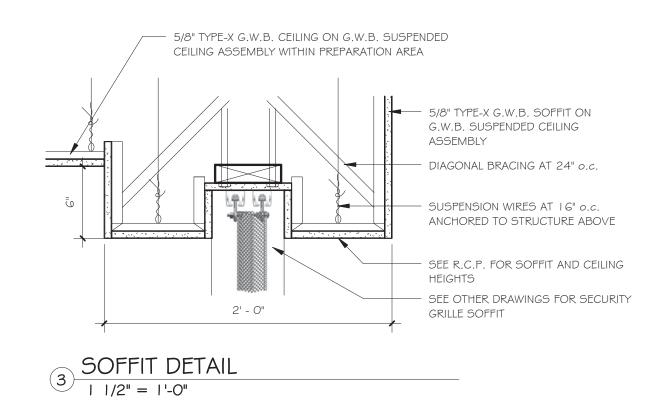
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TOILET ROOM PLANS





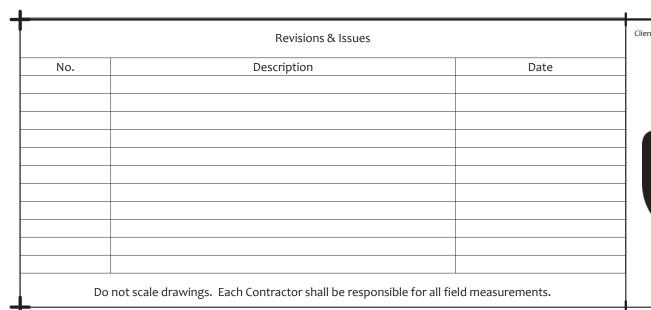


				ITING FIXTURE SCHEDULE		
MARK	Q'T'Y	DESCRIPTION	MANUFACTUR ER	MODEL	LAMP	REMARKS
LT-01	3	Colored pendant light, PMMA plastic, 13"Hx20.5"W	Kartell	KRB-FLY-9031	100W (G)	Color: Sage
LT-02	10	(2) Strips of (5) Lamp each 'TRAC-12'	Juno	(2) TLPLED-78-27K-SL	(10) 5W LED	Opal Glass Shade Cylinder
LT-05	10	4" Dia. Universal IC Housing	Juno	IC1-14W-WH	LLE-PAR20-LS-2700-40	White Baffle, White Trim
LT-05a	15	4" Dia. Universal IC Housing	Juno	IC1-14W-WH	LLE-PAR20-LS-2700-40	White Baffle, Bronze Trim
LT-07 (4B)	2	48" Long 2-Head Track Lighting	Juno	T4BL-T620BL	LLE-PAR20-LS-2700-40	4-Foot Track
LT-07 (6B)	15	72" Long 3-Head Track Lighting	Juno	T6BL-T620BL	LLE-PAR20-LS-2700-40	6-Foot Track
LT-07 (8B)	20	96" Long 3-Head Track Lighting	Juno	T8BL-T620BL	LLE-PAR20-LS-2700-40	8-Foot Track
LT-08	8	Recessed 24" x 24" LED Panel	Acuity Brands	2TL2-40L-FW-A12-M0LT-EZ1-LP840-N80	LED	EL14L LED Battery Pack at Emergency Fixture
LT-EM1	5	Emergency Light Pack - 2 Lamp *	Navilite	N1LWHHLSD	LED	Wall Mounted
IT-FX1	.3	Fxit Sian w/ Liaht Pack - 2 Lamn * DINATE SUNY PURCHASE STANDARD EXIT / EMER	Navilite.	NXPCA-3-R-WH-HO	LED	Ceiling Mounted

LED STRIP LIGHTING AT MILLWORK NOT SCHEDULED HERE. SEE MILLWORK DETAILS AND NOTES FOR LOCATIONS.

### CEILING SCHEDULE

		OLILINO JOHEPULL	
MARK	MANUFACTURER	PRODUCT	SUSPENSION SYSTEM
A.C.T1	ARMSTRONG	'MESA' 24"x24"x3/4" TEGULAR #687	SUPRAFINE ML 9/16" WHITE STEEL
A.C.T2	ARMSTRONG	"ULTIMA HEALTH ZONE 24"x24"x3/4" SQUARE #1935	PRELUDE 15/16" WHITE STEEL
G.W.B1	U.S.G.	5/8" GYPSUM WALL PANELS	SEE DETAIL
WOOD-1	G.C. TO COORDINATE	WOOD PANEL	PER MANUFACTURER'S REQUIREMENTS



Sargo tea.

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TECHNOLOGY SOLUTIONS design group 244 FIFTH AVE - SUITE M230 - NEW YORK, N.Y. 10001

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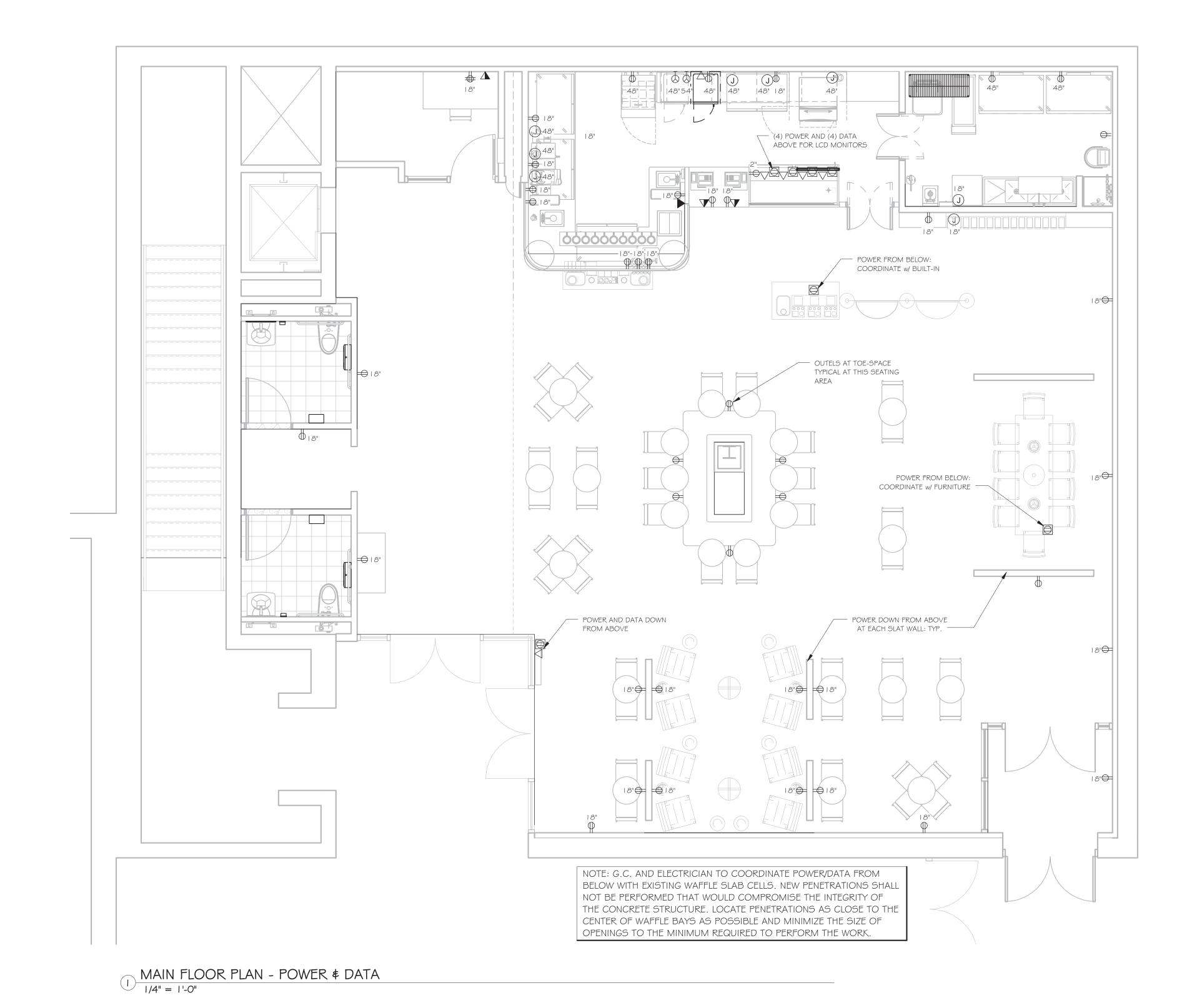
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June 7, 2016 DAVID A. TETRO 15.44

R.C.P. AND CEILING **DETAILS** 

A-2.1



### DEVICE SYMBOLS

J JUNCTION BOX

POWER FROM BELOW OR ABOVE: SEE DRAWINGS

SPECIAL PURPOSE OUTLET

DUPLEX WALL OUTLET

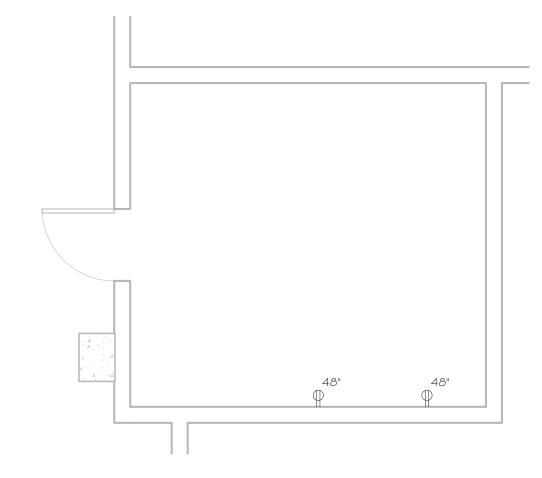
QUAD WALL OUTLET

△ DATA FROM BELOW OR ABOVE : SEE DRAWINGS

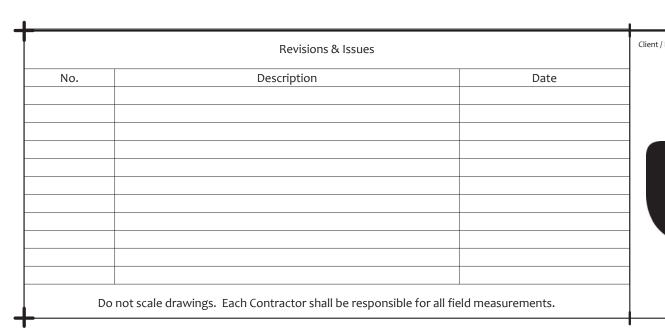
DATA OUTLET - WALL

DATA / TEL. OUTLET - WALL

NOTE: DIMENSION INDICATED NEXT TO DEVICE INDICATES LOCATION A.F.F. TO CENTERLINE OF DEVICE



PART BASEMENT - POWER \$ DATA



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735 Anderson Hill Road

Purchase, NY 10577

TECHNOLOGY SOLUTIONS
design group

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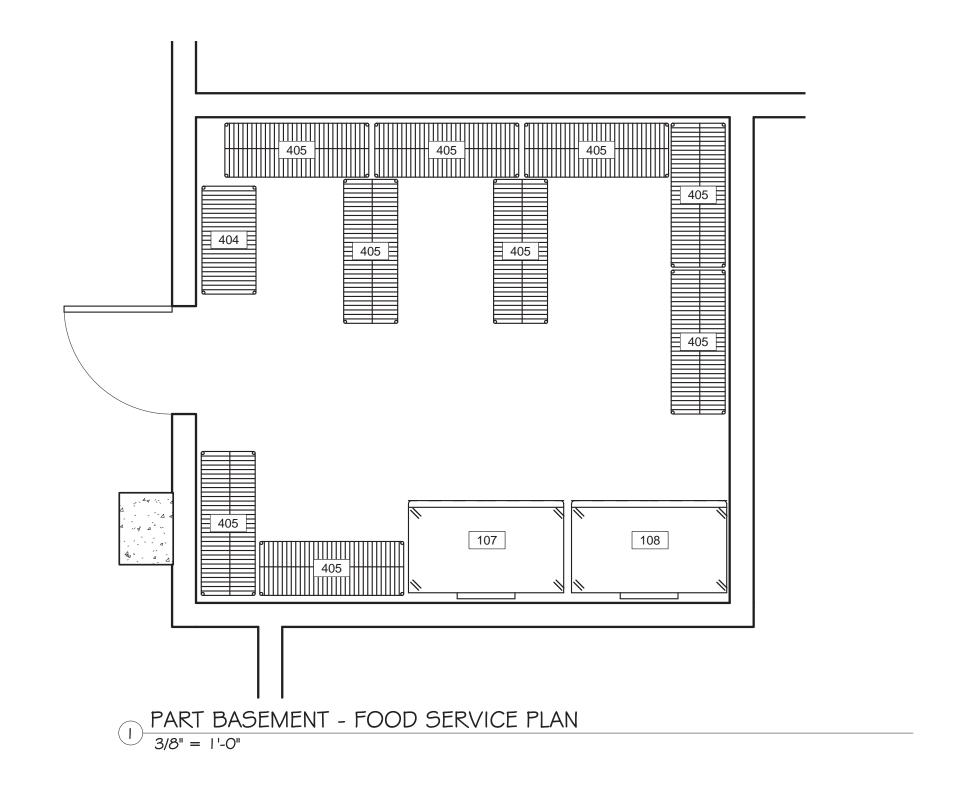
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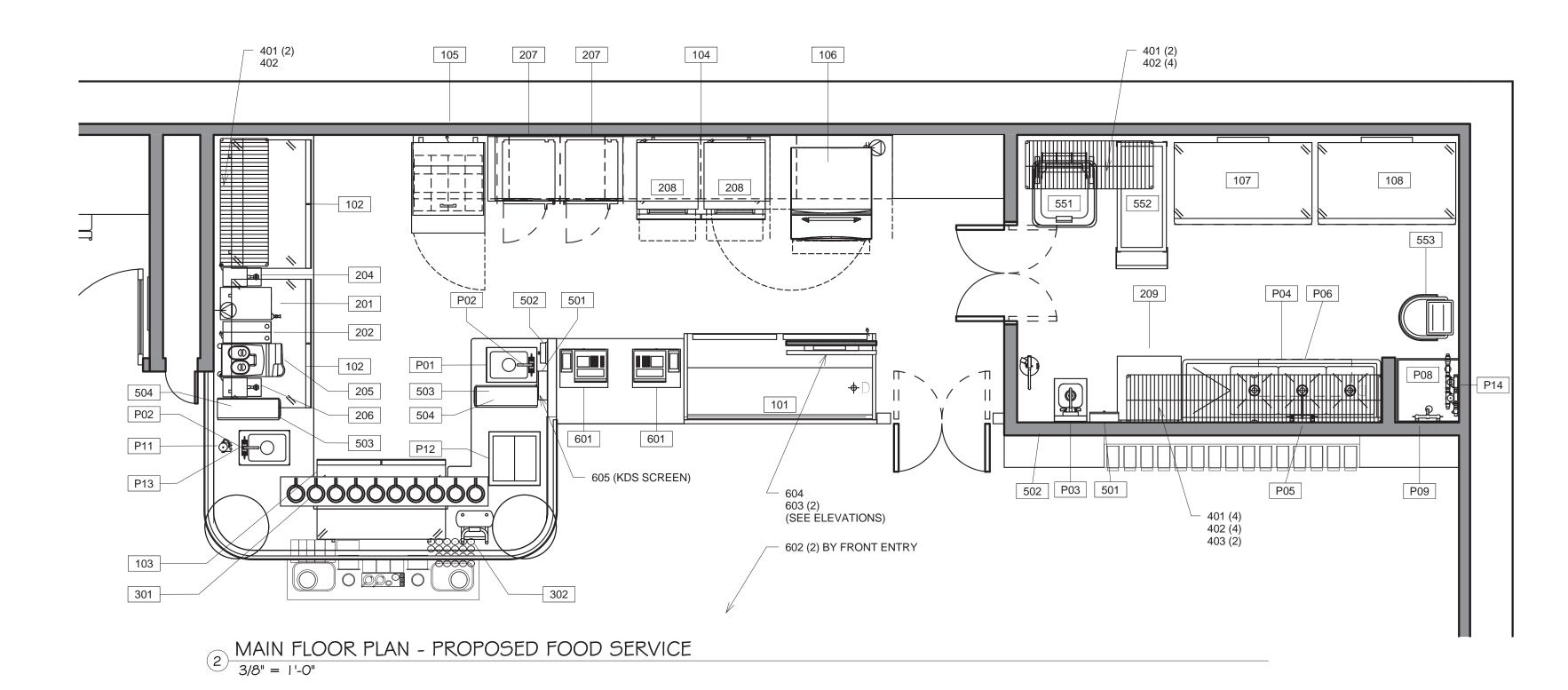
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DATA AND POWER





### BOARD OF HEALTH NOTES

### WESTCHESTER COUNTY BOARD OF HEALTH GENERAL NOTES:

- ALL EQUIPMENT & CONSTRUCTION SHALL CONFORM TO THE WESTCHESTER COUNTY & NEW YORK STATE SANITARY CODE.
- 2. DESIGN, CONSTRUCTION, AND INSTALLATION OF FOOD EQUIPMENT AND UTENSILS SHALL MEET THE CURRENT STANDARDS OF THE NATIONAL SANITATION FOUNDATION
- ALL WALL # FLOOR JUNCTURES SHALL BE COVED IN FOOD PREPARATION, FOOD STORAGE, UTENSIL WASHING AREA, WALK-IN REFRIGERATORS, DRESSING OR LOCKER ROOMS AND TOILET ROOMS.
- PROTECTIVE SHIELDING SHALL BE PROVIDED FOR LIGHTING FIXTURES IN FOOD PREPARATION AREAS, UTENSIL AND EQUIPMENT WASHING AREAS AND OTHER AREAS WHERE FOOD IS DISPLAYED. 5. PROVIDE LIGHTING OF 30 FOOT CANDLES (MIN.) ON WORKING SURFACES AND AT LEAST 20 FOOT
- CANDLES ON ALL OTHER SURFACES AND EQUIPMENT.
- ALL ROOMS SHALL BE ADEQUATELY VENTILATED, FORCED OR NATURAL. REFUSE IS TO BE STORED IN PLASTIC CONTAINERS WITH LIDS AND PLASTIC LINERS. GARBAGE IS TO BE
- DISPOSED OF ON A DAILY BASIS (MIN.) TO A DUMPSTER. SEE PLOT PLAN FOR DUMPSTER LOCATION. TOILET ROOM SHALL BE MECHANICALLY VENTED.
- SERVICE CONNECTIONS THROUGH FLOOR MUST BE ADEQUATELY SEALED.
- 10. HORIZONTAL LINES 6 INCHES OF FLOOR AND 1 INCH FROM WALL.
- II. HOT AND COLD FOOD STORAGE FACILITIES SHALL BE PROVIDED WITH INDICATING THERMOMETERS.
- 12. THREE COMPARTMENT SINK WITH DRAIN BOARDS FOR MANUAL UTENSIL WASHING OR MECHANICAL DISHWASHER.
- 13. EXHAUST HOOD SHALL HAVE APPROVED REMOVABLE GREASE FILTERS WITH 6 INCH (MIN.) OVERLAP ON EXPOSED SIDES OF EQUIPMENT.
- DISPOSAL OF MOP WATER AND SIMILAR LIQUID WASTE. THE USE OF EXISTING EQUIPMENT IS SUBJECT TO FIELD EVALUATION. 15. ALL SEAMS BETWEEN ADJACENT EQUIPMENT, EQUIPMENT AND WALLS, ETC. THROUGHOUT THE FOOD

14. UTILITY SINK SHALL BE PROVIDED FOR CLEANING MOPS AND SIMILAR WET FLOOR CLEANING TOOLS,

- PREPARATION, STORAGE, UTENSIL WASHING, AND TOILET AREAS ARE TO BE SEALED USING METAL FLASHING, FOOD GRADE SILICONE SEALANT, OR OTHER SUCH TYPE OF MATERIAL.
- 16. PROVIDE VERMIN, RODENT, \$ INSECT PROTECTION. PROVIDE WINDOW \$ DOOR SCREENING, SELF CLOSING DEVICES ON EXTERIOR DOORS, AND TIGHT FITTING DOOR SWEEPS.
- 17. ALL EQUIPMENT TO MEET OR BE EQUIVALENT TO N.S.F. STANDARDS
- 18. ALL FLOOR DRAINS SHALL BE PROVIDED WITH DEEP SEAL TRAPS AND SUITABLE WATER SUPPLY TO MAINTAIN TRAP SEAL.
- 19. ALL FLOOR DRAINS RECEIVING INDIRECT WASTE PIPES DISCHARGING SOLID SUBSTANCE SHALL BE EQUIPPED WITH A REMOVABLE METAL STRAINER NOT LESS THAN 4 INCHES IN HEIGHT
- 20. HOT WATER PROVIDING EQUIPMENT TO HAVE A CAPACITY OF 75 GALLONS AT 180 DEGREES FAHRENHEIT AND RECOVERY RATE OF HIGH CAPACITY GALLON PER HOUR; EQUIPMENT TO BE VENTED.
- 21. PROVIDE AUTOMATIC SHUT OFF VALVES TO ALL EQUIPMENT AS REQUIRED BY N.F.P.A. (ARTICLE 96). 22. PROVIDE 'ANSUL' C O FIRE SUPPRESSION SYSTEM IN EXHAUST HOODS: SYSTEM SHALL BE PLUMBED AS
- 23. USE OF BEVERAGE COOLING DEVICES IN UTENSIL WASHING OR FOOD PREPARATION SINKS, ETC. IS PROHIBITED. SEPARATE FACILITIES REQUIRED.
- 24. COOKING UTENSILS ARE TO BE CLEANED IN A SINK EQUIPPED WITH A GREASE TRAP.
- 25. ALL EXPOSED PLUMBING PIPES SHALL HAVE 6 INCHES OF CLEARANCE FROM ALL SURFACES FOR CLEANING PURPOSES.
- 26. INDIRECT WASTES ARE TO BE INSTALLED FOR REFRIGERATOR CONDENSATES.
- 27. ALL PLUMBING SHALL BE IN COMPLIANCE WITH STATE AND LOCAL LAWS.
- 28. PROVIDE BACK SIPHONAGE PROTECTION FOR: CARBONATED BEVERAGE DISPENSERS, WATER CLOSET, URINALS, DISHWASHERS, POTATO PEELERS, GARBAGE GRINDERS, SINK, LAVATORIES, STEAM TABLES, HOSE CONNECTIONS, DIPPER WELLS, OTHER.
- 29. PROVIDE INDIRECT DRAINS FOR: DISHWASHERS, REFRIGERATORS, STEAM KETTLES OR TABLES, POTATO PEELERS ICE MAKERS & STORAGE BINS, FOOD PREPARATION, SINKS, OTHER
- 30. REMOTE COMPRESSORS NOT TO BE INSTALLED WITHIN 5 FEET OF FOOD STORAGE OR WITHIN 15 FEET OF FOOD PREPARATION OR SERVICE AREA.
- 31. PROVIDE HOT WATER BOOSTER FOR DISHWASHER FINAL RINSE AND HOT WATER TANK.
- 32. SMOKING SHALL NOT BE PERMITTED IN THIS ESTABLISHMENT

- ESTABLISHMENT SHALL BE CONSIDERED AN WALK-IN / WALK-OUT RESTAURANT SERVING COFFEE, NON-ALCOHOLIC DRINKS, PASTRY, PRE-PACKAGED FOODS AND OTHER OFF-PREMESIS PREPARED FOOD ITEMS. ESTABLISHMENT WILL HAVE A COUNTER TAKE-OUT COUNTER FOR 'TO-GO' ORDERS
- TYPE OF FOOD SERVED SHALL BE PRE-MADE PASTRY AND LUNCH ITEMS, AND PRE-PACKAGED SNACKS THAT
- ACCOMPANY A COFFEE HOUSE MENU. DRINKS SHALL INCLUDE SODAS, WATER, JUICES, COFFEES AND TEAS. ALL FOOD ITEMS WILL BE PREPARED OFF-SITE. SOME FROZEN PRODUCTS WILL BE PRE-MADE AND DELIVERED TO THE SITE TO BE SERVED IN THE RESTAURANT. COFFEE AND DRINKS WILL BE ASSEMBLED ON SITE.

### ALL KITCHEN EQUIPMENT SHALL COMPLY WITH THE FOLLOWING INSTALLATION REQUIREMENTS:

- FLOOR MOUNTING: SEALED TO THE FLOOR AROUND ENTIRE PERIMETER OF EQUIPMENT SO AS TO BE
- MOISTURE PROOF AND PREVENT ACCUMULATION OF DEBRIS • MASONRY BASES: MINIMUM HEIGHT OF 2 INCHES AND BE COVED AT JUNCTURE OF BASE AND FLOOR. UNIT MUST BE SEALED TO BASE WITH MASTIC COMPOUND.
- PORTABLE EQUIPMENT OR WHEELED EQUIPMENT: NEED NOT MEET THE INSTALLATION REQUIREMENTS APPLICABLE TO FIXED EQUIPMENT.
- EQUIPMENT MOUNTED ON LEGS: MINIMUM HEIGHT SIX INCHES. LEGS TO BE DESIGNED TO PREVENT
- ACCUMULATION OF SOIL AT POINT OF FLOOR CONTACT. SPACING BETWEEN AND BEHIND EQUIPMENT: EQUIPMENT TO BE INSTALLED WITH SUFFICIENT UNOBSTRUCTED SPACE BEHIND EQUIPMENT AND BETWEEN EQUIPMENT AND WALLS TO PERMIT ACCESS FOR CLEANING OR EQUIPMENT IS TO BE SEALED TO THE WALL.

### PROVIDE THE FOLLOWING WIDTH OF CLEAR UNOBSTRUCTED SPACE AS REQUIRED:

- DISTANCE TO BE CLEANED LESS THAN 2 FEET IN LENGTH. SPACE IS NOT TO BE LESS THAN 6 INCHES.
- DISTANCE TO BE CLEANED GREATER THAN 2 FEET BUT LESS THAN 4 FEET: SPACE IS NOT TO BE LESS THAN 8 INCHES.
- DISTANCE TO BE CLEANED GREATER THAN 4 FEET BUT LESS THAN 6 FEET: SPACE IS NOT TO BE LESS THAN 12 INCHES
- DISTANCE TO BE CLEANED GREATER THAN 6 FEET: SPACE IS TO BE AT LEAST 18 INCHES.
- AISLE SPACE NOT LESS THAN 30 INCHES IN WIDTH. 42 INCHES WHERE MORE THAN ONE PERSON MAY
- WHEN EQUIPMENT IS BUTTED TOGETHER OR SPREADER PLATES USED. JOINT IS TO BE EFFECTED IN MANNER TO PREVENT ACCUMULATION OF DEBRIS AND MOISTURE.

### TOILET AND HANDWASHING FACILITIES (14-1.142 AND .143 AND ARTICLE III SECTION 3.C. OF THE

### WESTCHESTER COUNTY SANITARY CODE).

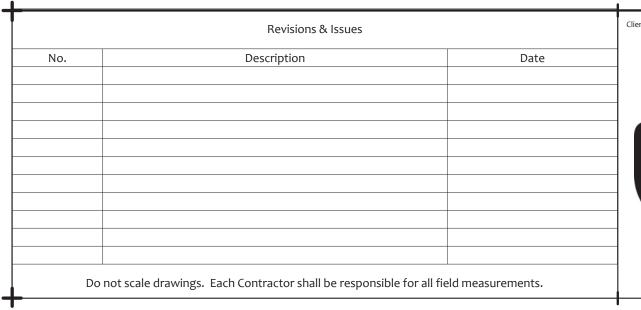
- TOILET AND HAND WASHING FACILITIES TO BE ADEQUATE AND CONVENIENTLY LOCATED. TOILET ROOMS SHALL NOT OPEN DIRECTLY INTO A ROOM IN WHICH FOOD PRODUCTS ARE MANUFACTURED, OR IN
- WHICH UNWRAPPED FOOD PRODUCTS ARE PACKED, PREPARED, SOLD, OR SERVED.
- TOILETS AND HAND WASHING BASINS FOR PATRONS AND EMPLOYEES, SEPARATE FOR EACH SEX FOR ESTABLISHMENTS DESIGNED TO SEAT 20 OR MORE AND WHERE ALCOHOLIC BEVERAGES ARE SERVED.
- HOT AND COLD POTABLE, TEMPERED WATER BY MEANS OF A MIXING VALVE OR COMBINATION FAUCET TO ALL HAND WASHING SINKS.
- HAND DRYING (TYPE) AND SOAP DISPENSER
- 7. SEPARATE HAND WASH BASIN REQUIRED IN FOOD PREPARATION AREA.

### KITCHEN EQUIPMENT NOTE:

- I. KITCHEN EQUIPMENT SHOWN HEREON DERIVED FROM THAT PROVIDED TO ARCHITECT BY OWNER DURING THE PRELIMINARY DESIGN PHASE. OWNER, CONTRACTOR AND FOOD SERVICE EQUIPMENT PROVIDER SHALL COORDINATE ACTUAL AND FINAL EQUIPMENT MODELS AND MANUFACTURERS FOR INSTALLATION.
- ARCHITECTURAL AND ENGINEERING DRAWINGS SHALL BE USED FOR DETERMINATION OF KITCHEN EQUIPMENT TYPES. LOCATION, CLEARANCES AND GENERAL SIZES: FINAL SELECTED KITCHEN EQUIPMENT TO MATCH WHAT IS SHOWN ON

**FOOD SERVICE EQUIPMENT** (N. I. C.)

June 7, 2016





**SUNY PURCHASE** 



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**FOOD SERVICE PLAN** 

A-3.1

100% ARCHITECTURAL SUBMISSION: FOR REVIEW

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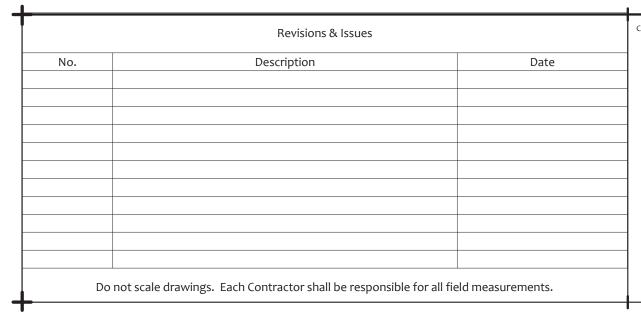
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# FOOD SERVICE EQUIPMENT SCHEDULE

								1														1
ITEM NO	QTY EQUIPMENT CATEGORY	MANUFACTURER	MODEL NUMBER	EQUIPMENT REMARKS	AMPS	ΚW	VOLTS	PHASE	CYCLE	DIRECT	PLUG	NEMA	ELECTRICAL AFF (IN)	COLD WATER SIZE (IN)	COLD WATER AFF (IN)	HOT WATER SIZE (IN)	HOT WATER AFF (in))	DIRECT DRAIN SIZE (IN)	DIRECT DRAIN AFF (IN)	INDIR DRAIN AFF (IN)	INDIR DRAIN AFF (IN)	ITEM NO
101	1 OPEN MERCHANDISER	RPI	SCRFC7248-MS-MOD-AR	CUSTOM 72" WIDE UNIT	12.0		115	1	60		X	5-15P	2									101
102	2 REFRIGERATOR, UNDERCOUNTER	TURBO AIR	MUR-48		6.5		115	1	60		Х	5-15P	18									102
103	1 REFRIGERATOR, UNDERCOUNTER	TURBO AIR	MUR-48-CUSTOM		6.5		115	1	60		Х	5-15P	18	0.375	14							103
104	1 FREEZER, UNDERCOUNTER	TURBO AIR	MUF-48		8.3		115	1	60		Х	5-15P	18									104
105	1 REFRIGERATOR, SANDWICH/SALAD PREP	TURBO AIR	MST-28-12		3.3		115	1	60		X	5-15P	48									105
106	1 ICE MAKER w/BIN	MANITOWOC ICE	IY-0906A /B-570		12.2		208-230	1	60	Х			48	0.375	42					0.75	FS	106
107	2 REFRIGERATOR, REACH-IN	TURBO AIR	M3R47-2	(1) TO BE LOCATED IN BASEMENT (SEE Q200B FOR ROUGHIN LOCATION	9.2		115	1	60		X	5-15P	48									107
108	2 FREEZER, REACH-IN	TURBO AIR	M3F47-2	(1) TO BE LOCATED IN BASEMENT (SEE Q200B FOR ROUGHIN LOCATION	10.5		115	1	60		X	5-15P	48									108
201	1 COFFEE MAKER, SATELLITE SYSTEM	BUNN-O-MATIC	34800.0002		19.2		120/208	1	60	Х			48	0.375	14							201
202	1 COFFEE GRINDER	BUNN-O-MATIC	33700.0000		9.4		120	1	60		X	5-15P	48									202
204	1 DISPENSER, HOT WATER, 5 GALLON	BUNN-O-MATIC	43600.0000		19.5		208	1	60	Х			48	0.25	14							204
205	1 ESPRESSO MACHINE/GRINDER, SUPER-AUTOMATIC	LACIMBALI	M1 TurboSteam			2.6	208/240	1	60	X			48									205
206	1 STEAMER, 2 BARISTA STEAM WANDS	CARIMALI	Service Unit Plus A02	ESTIMATED UTILITIES - VERIFY SPECIFICATIONS			230	1	60	X			18									206
207	2 OVEN, MICROWAVE/CONVECTION, COMBI	ACP, Inc.	JET14	UNITS TO BE STACKED	16.0		208-240	1	60		X	6-20P	48 / 54									207
208	2 BAKING OVEN, ELECTRIC CONVECTION WITH STEAM CONDENSOR HOOD		Gusto / gu 3.0403	ESTIMATED UTILITIES - VERIFY SPECIFICATIONS		3.4	208	1	60	X			48									208
209	1 WAREWASHER, UNDERCOUNTER, HIGH TEMP	MOYER DIEBEL	201HT	(2) ELECTRICAL CONNECTIONS	32.0		208	1	60	X			18			0.75	14			0.625	FS	209
301	1 12-FAUCET DISPENSING TOWER	APEX BEVERAGE EQUIPMENT	PTB12SS	(E) ELECTRICAL CONTROL	02.0		200	<del>                                     </del>					10			0.70				0.020		301
302	1 AIR COMPRESSOR, 1 GALLON CAPACITY, ULTRA QUIET	SENCO SENCO	PC1010		4.0		110	1	60		X	5-15P	18									302
401	2 WIRE SHELVING	FOCUS FOODSERVICE	FF1848C		1.0		110	<del>                                     </del>				0 101	10									401
402	10 SHELVING WALL MOUNTS	FOCUS FOODSERVICE	FWB18SCH																			402
403	7 SHELVING WALL MOUNTS	FOCUS FOODSERVICE	FWB18DCH																			403
404	1 WIRE SHELVING w/CASTERS	FOCUS FOODSERVICE	FF1836C	LOCATED IN BASEMENT STORAGE AREA																		404
405	9 WIRE SHELVING w/CASTERS	FOCUS FOODSERVICE	FF1848C	LOCATED IN BASEMENT STORAGE AREA																		405
501	2 TOWEL DISPENSER, KITCHEN	BOBRICK	B-2621																			501
502	2 SOAP DISPENSER, WALL MOUNT, HORIZONTAL	BOBRICK	B-2112																			502
503	2 DISPENSER, CUP, COUNTER TOP	DISPENSE-RITE	WR-CT-4																			503
504	2 DISPENSER, LID	DISPENSE-RITE	CTLD-15																			504
551	1 GARBAGE BIN, 41 QUART	RUBBERMAID	FG295700-GREY																			551
552	1 ROLLING CART	RUBBERMAID	FG409100-BLA																			552
553	1 MOP BUCKET	RUBBERMAID	7580-88																			553
601	2 POS	PROVIDED BY OPERATIONS	TBD	CASH DRAWER, SCANNER, RECEIPT PRINTER & SCALE w/DISPLAY	10.0		115	1	60		X	5-15P	18									601
602	2 LED DISPLAY MONITOR (55") PROMOTIONAL MENU	PROVIDED BY OPERATIONS	ME55B	ESTIMATED UTILITIES - VERIFY SPECIFICATIONS	10.0		115	1	60		X	5-15P	48									602
603	3 LED DISPLAY MONITOR (40") TEA & COFFEE MENU	PROVIDED BY OPERATIONS	ME40B	ESTIMATED UTILITIES - VERIFY SPECIFICATIONS	10.0		115	1	60		Y	5-15P	48									603
604	1 LED DISPLAY MONITOR (65") SIGNATURE DRINK MENU	PROVIDED BY OPERATIONS	ME65B	ESTIMATED UTILITIES - VERIFY SPECIFICATIONS  ESTIMATED UTILITIES - VERIFY SPECIFICATIONS	10.0		115	1	60		X	5-15P 5-15P	48									604
P01	1 SINK DROP-IN	ADVANCE TABCO	DI-1-10SP	LOTIMATED OTIETIES - VEINIT OF EGIFTOATIONS	10.0		113					3-131	70							1.5	FS	P01
P01	2 FAUCET, PANTRY TYPE	FISHER	3515											0.5	14	0.5	14			1.0	F-3	P01
P02	1 HAND SINK, WALL MOUNT	ADVANCE TABCO	7-PS-56											0.5	14	0.5	14	1.5	12			P02
P03	1 3-COMP SINK, WALL MOON 1  1 3-COMP SINK, NSF, 3 comp, 14 gauge	ADVANCE TABCO	FS-3-1818-18L	(3) DRAINS														1.0	12	1.5	FS	P03
P04	1 3-COMP SINK, NSF, 3 comp, 14 gauge  1 3-COMP SINK FAUCET, 14" SPOUT	FISHER	13277	(o) Divilio										0.5	14	0.5	14			1.5	13	P04 P05
P05	1 GREASE TRAP	ROCKFORD	G-1412											0.5	14	0.5	17					P05
	1 MOP SINK	ZURN	Z1996-24															1.5	0			P08
P08	1 MOP SINK FAUCET	CHICAGO FAUCETS	911-ISCP											0.5	48	0.5	48	1.0	U			P08
		PROVIDED BY OTHER												0.5	40	0.5	40					P10
P10	1 WATER HEATER  1 WATER EILTED FOR ESPRESSO MACHINE	3M	TBD	ESTIMATED LITH ITIES, VEDIEV SPECIFICATIONS										0.75	11							
P11	1 WATER FILTER FOR ESPRESSO MACHINE		ESPRESSOMATE EM2	ESTIMATED UTILITIES - VERIFY SPECIFICATIONS										0.75	14					4	FS	P11 P12
	1 DRODIN ICE PIN								et .					п 1	. 11		ll ll				п го І	P12
P12	1 DROP-IN, ICE BIN	ADVANCE TABCO	D-24-IBL																	1.5		
P13 P14	1 DROP-IN, ICE BIN  1 DROP-IN SINK  1 WATER FILTER ASSEMBLY	ADVANCE TABCO  ADVANCE TABCO  3M PURIFICATION	DI-1-10 ICE260-S											0.75	14					1.5	FS	P13

FOOD SERVICE EQUIPMENT (N. I. C.)



Sargo tea. **Purchase College** 

STATE UNIVERSITY OF NEW YORK

SUNY PURCHASE

735 Anderson Hill Road

Purchase, NY 10577

TECHNOLOGY SOLUTIONS design group 244 FIFTH AVE - SUITE M230 - NEW YORK, N.Y. 10001 MORAIS C. MIRANDA, RCDD - 917-533-3689

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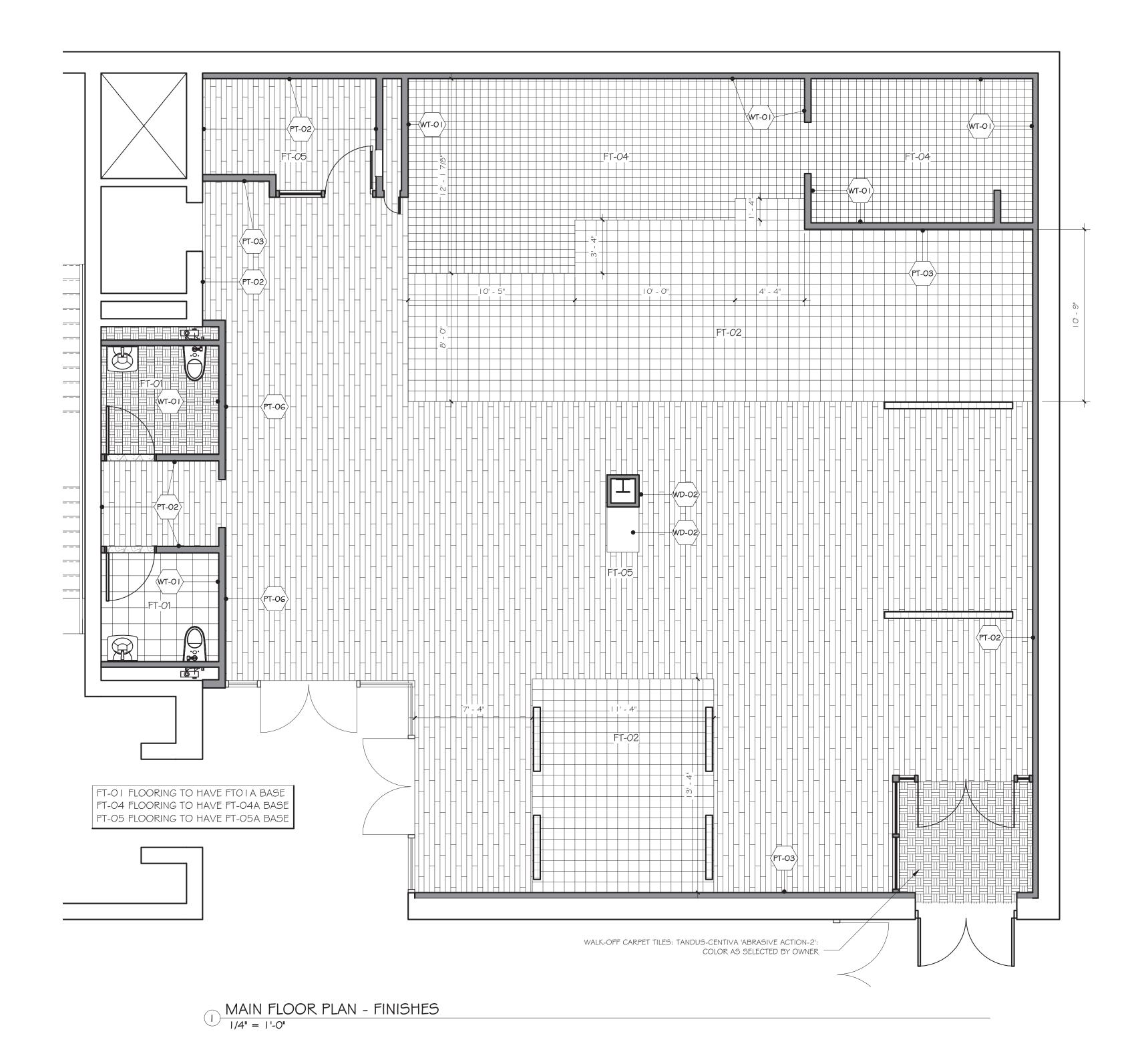
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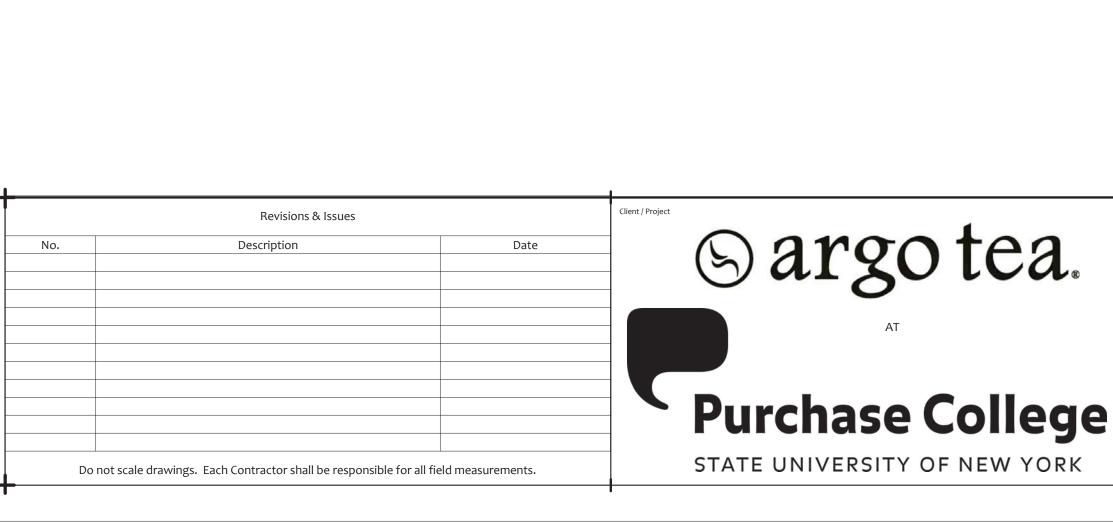
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DAVID A. TETRO

June 7, 2016 A-3.215.44

FOOD SERVICE EQUIPMENT LEGEND





SUNY PURCHASE

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Purchase, NY 10577



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**DAVID A. TETRO** ARCHITECT P.C. AIA - LEED A.P. - NCARB

June 7, 2016 A-4.1 15.44

See drawing details & specifications for install notes & trim accessories

FINISH DRAWING AND **SCHEDULES** 

100% ARCHITECTURAL SUBMISSION: FOR REVIEW

FINISH SCHEDULE - Argo 3.0

LAY-IN ACOUSTICAL CEILING TILE

LAY-IN ACOUSTICAL CEILING TILE

GYPSUM WALL BOARD CEILING

Porcelain Wall Base, Wood Pattern

Quarry Tile Coved Floor Base

orcelain Floor Tile, Wood Pattern

orcelain Wall Base, Wood Pattern

Ceramic Wall Tile

Plastic laminate

Tempered glass, etched

Tempered glass, clear

Metal flooring transition strip

Paint - dark grey

Paint - metallic silver

Paint - white (high gloss)

Paint - Argo green

Solid Surface

Solid Surface

Fabric, curtains

Wall Base - Wood

Wall Base - Vinyl

Luxury vinyl floor tile

RF-02 Vinyl Floor Saddle FLOORING - WOOD

Jpholstery, Vinyl (olive-light)

pholstery, Vinyl (olive-medium)

pholstery, Leather (hibiscus)

UPHOLSTRY & FABRICS

Paint - white (high gloss laquer)

Paint - white

astic laminate, color core

Fiberglass reinforced fiberglass panels

WT-01

PL-02

MT-01

MTS-01

SS-01

WB-01

WB-02

Porcelain Floor Tile

Concrete Floor Tile

MANUFACTURER

www.nemotile.com

www.nemotile.com

Roca Tile Group

Roca Tile Group

www.daltile.com

Roca Tile Group

Roca Tile Group

Roca Tile Group

www.formica.com

Schluter Schiene

www.schluter.com

Benjamin Moore

Scuffmaster

Benjamin Moore

SILESTONE

www.dupont.com

www.symphonycollection

www.symphonycolled Moore & Giles, Inc.

Richloom Fabrics Group

www.armstrong.com

Architectural Systems, Inc

www.archsystems.com

Nydree Flooring

FOLLOW MATERIAL PATTERNS SHOWN ON PLANS, UNLESS NOTED OTHERWISE. SEE ALSO NOTES & RESPONSIBILITIES SCHEDULE FOR FINISHES PROVIDED BY OWNER.

www.nydreeflooring.com

Nassimi LLC 212.643.8080

212.643.8080

212.627.5757

212.685.5400

www.benjaminmoore.com Benjamin Moore

www.benjaminmoore.co

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www.benjaminmoore.com Benjamin Moore www.benjaminmoore.com

Can be ordered from JC Licht under

"Pantone 399" (312.733.3200)

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cristina.dordas@us.roca.com

FINISH / MODEL NUMBER

SIZE: 2'x2'x1/2"

COLOR=WHITE

GRID: DX/DXL24 COLOR: WHITE

SIZE: 2'x2'x3/4"

COLOR=WHITE

GRID: DX/DXL24

COLOR-WHITE

PRODUCT: #3260 CLIMAPLUS (SQ) EDGE

SHADOWLINE MOLDING #MS274
PRODUCT: #440 FROST (SLB) EDGE

SHADOWLINE MOLDING #M7

PRODUCT: Embarcadero Porcelain

GROUT: Laticrete #17 Marble Beige JOINTS: 1/16"
PRODUCT: Embarcadero Porcelair

GROUT: Laticrete #17 Marble Beige

COLOR: Liana #FSXT6EQ421

PRODUCT: Roca Quarry Tile COLOR: Puritan Gray

GROUT: Laticrete #24 Natural Grey JOINTS: 1/8"
PRODUCT: Suretread Cove COLOR: Grey #P-3665

GROUT: Laticrete #24 Natural Grey

COLOR: Wenge #FSXT6EQ721

COLOR: Wenge #FSXT6EQ721

PRODUCT: Color Collection - Roca tile

PATTERN: Horizontal alternating bond GROUT: Laticrete #44 Bright White

COLOR: Mission Beige

COLOR: Mission Beige

SIZE: 12"X12"

SIZE: 4"X12"

SIZE: 6x24"

SIZE: 6"X6"

SKU: 507-66

SIZE: 6"X6"

SIZE: 6"x24"

SIZE: 6"x24"

SIZE: 6"X6"

SKU: U274-66

JOINTS: 1/16"

JOINTS: 1/16"

JOINTS: 1/8"
PRODUCT: Bergen

JOINTS: 1/16"
PRODUCT: Bergen

COLOR: Bisquit Matte

PRODUCT: ColorCore2 COLOR: 933C, Mission White

COLOR: 909 Black

SIZE: 48"x120"x3/32"

SIZE: 48"x96"x3/32"

MATERIAL: Steel

FINISH: 58, Matte

FINISH: 90, Gloss
PRODUCT: Formica Laminate

PRODUCT: S-100 S/2/S White SURFACE: Smooth

Match Argo Tea control sample 1/2" Tempered clear glass

TRIM: Trim moldings & corner guards as rqd.

COLOR: Raw mill-finish steel (dark grey)

MATERIAL: Aluminum, bronze anodized (AKB)

FINISH: Matte clear protective coat PRODUCT: Schluter Schiene

SIZE: Coordinate with tile thickness

COLOR: #1596 Nightfall

FINISH: Eggshell
PRODUCT: Environmental

COLOR: #EM8005R

FINISH: Flat COLOR: #OC-131 White Down

FINISH: Custom application
COLOR: #OC-131 White Down

FINISH: High gloss Laquer "piano" finish

FORMULA: 0 x 1.4375 S1, 2 x 30.3125 Y2, 0 x 0.3125 R3

EDGE PROFILE: EASED EDGE, TOP & BOTTOM

FINISH: High gloss

COLOR: "Pantone 399C" (custom)
PAINT TINT ID: CF122511298601

BASE PAINT: BMCW3094X004

PRODUCT: QUARTZ COUNTERS

THICKNESS: 3/4"
COLOR: BIANCO RIVER

PRODUCT: Solid Surface

THICKNESS: 1.5"

THICKNESS: 1.5"

Product #: SGL-00

Color: Kiwi
Product #: SVI-004

Color: Cypress Product #: 1510MON

Name: Mont Blanc

Color: Cupid
Pattern: FR Colonial

MATERIAL: Stained wood

COLOR: Match WF-01 or RF-01 flooring

COLLECTION: European Vinyl Collection COLOR/PATTERN: FLHTG141

SPECIES: Plainsawn White Oak

EDGE DETAIL: Micro bevel

PATTERN: Quarter Sawn

SIZE: 4" high x 1/2" deep
PRODUCT: 4" Color-integrated coved wall base

7" wide X 48" Long strips installed with random joints

PRODUCT: Engineered acrylic impregnated wood flooring SIZE: 3/8" Thick x 4" Width x Random length (12"-47")

COLOR: Naturals with custom 'slightly blue' stain

FINISH: Factory-applied pedestrian urethane

FINISH: Monocoat (match architect's samp SPECIES: White Oak STAIN: Walnut (match Argo Tea Sample)

FINISH: Prime eurothane & ceramic bead coating, anti-microbial nano-silver

Color: Jute

PROFILE: Cove

COLOR: #60 Jet Blad

Name: Glaze

Name: Vintage

COLOR: Medea

1/2" tempered glass, acid etched on interior surface, 60% opacity

JOINTS: 1/16"

5/8" GYPSUM WALLBOARD WITH USG DRYWALL SUSPENSION

SYSTEM OR LIGHT-GUAGE FRAMING AT SOFFITS, PAINT AS NOTED.

VINYL-FACED GYPSUM PANELS USDA APPROVED.

PANELS AND GRID TO BE PAINTED BEFORE INSTALL - SEE CEILING

FOOD PREP AREAS, TYP.

CUSTOMER AREAS, TYP.

SEE CEILING PLAN FOR FINISH NOTES

Tea sampling and Pick up area floor tile

PLAN FINISH NOTES

Bathroom floor tile

Bathroom floor tile

Service Area and BOH

Service Area and BOH

Option to engineered wood flooring

Option to engineered wood flooring

Service Area and Toiletroom walls

rovide white marlite silicone sealant at wet areas as required

Food display case & sneezeguard, polished edges, see millwork drawings

Millwork and panelling

Millwork and furniture accents

Exposed ceilings and accents

Typical walls & ceiling soffit

Barista counter, self-order table

Rear service counters & BOH

Metal barstool seat pad color 1

Metal barstool seat pad color 2

Custom area floors

transition profiles

Millwork details

Millwork details

Nood dining chair pad

Banquette seating, typical seat back, U.N.O.

Banquette seating, typical seat bottom, U.N.O.

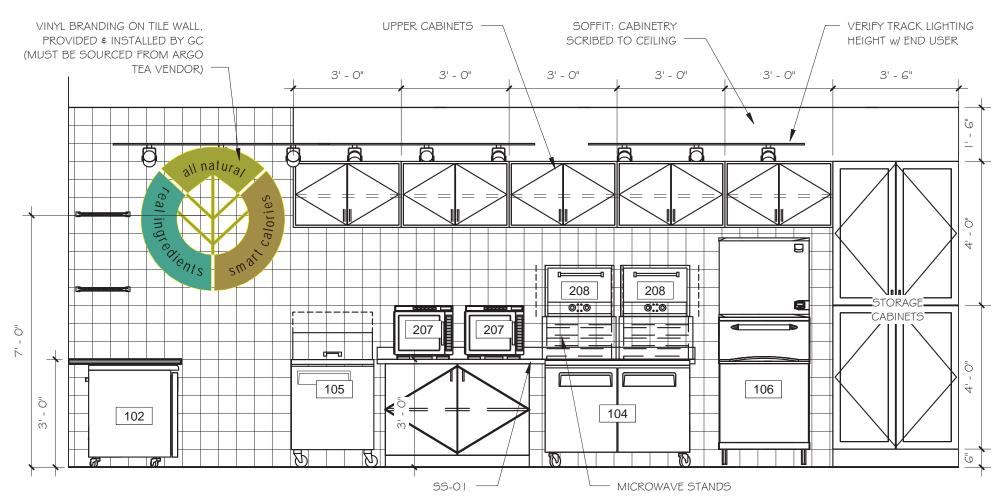
Accent walls

Accent walls

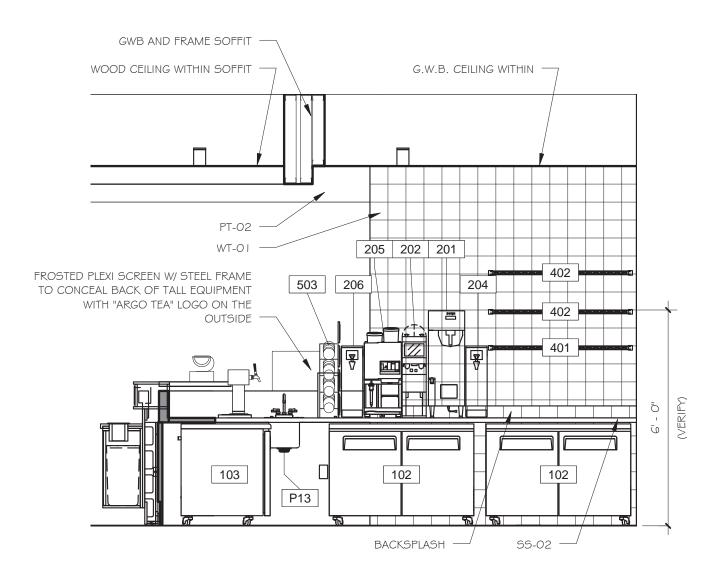
Accent walls

Millwork interiors

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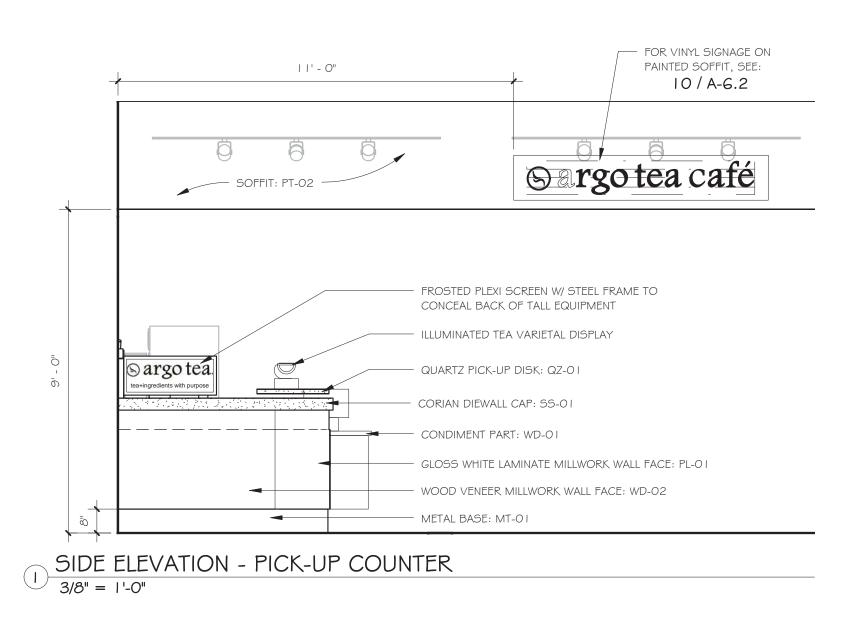


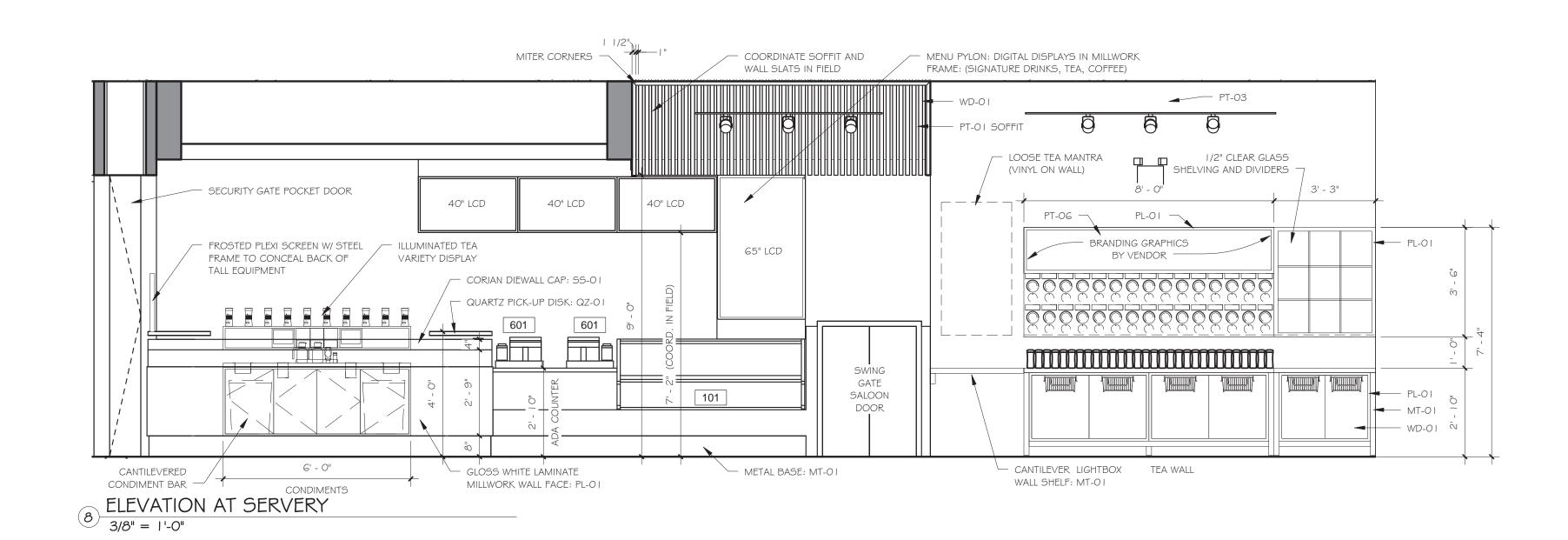


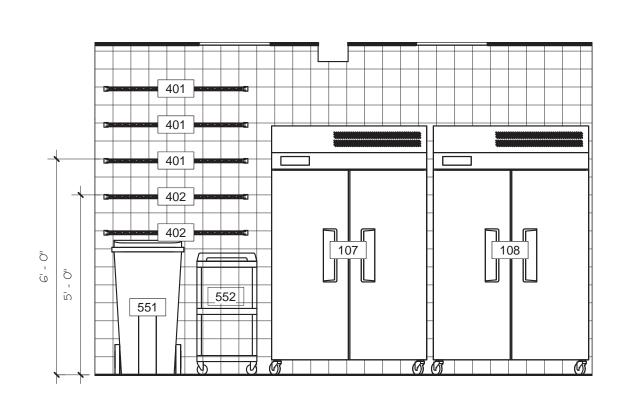
ELEVATION AT SIDE PREP LINE

3/8" = 1'-0"

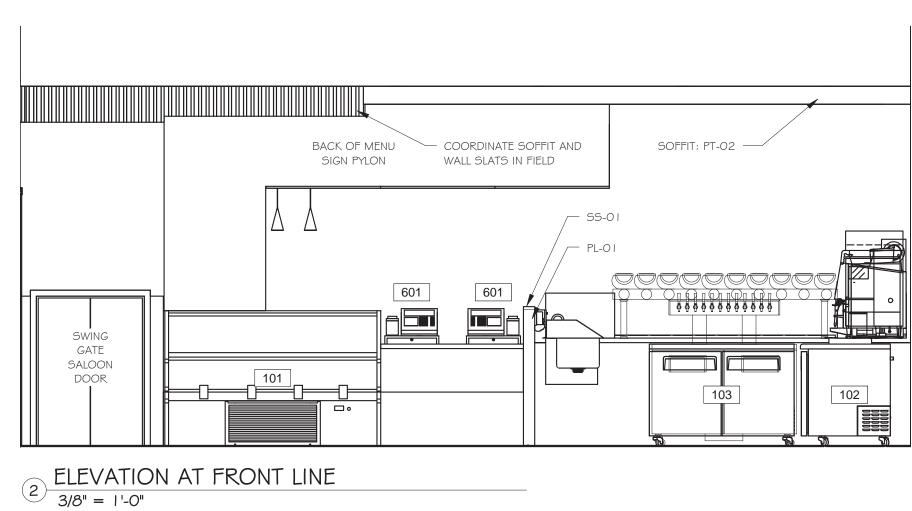
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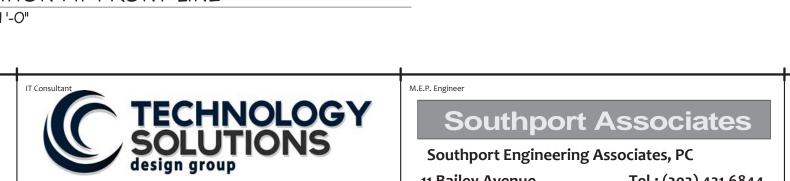




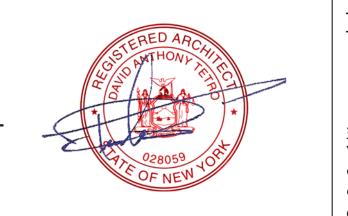


BACKROOM - ELEVATION A
3/8" = 1'-0"





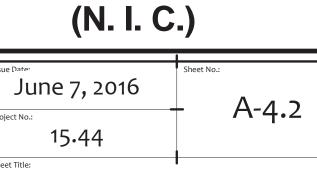
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DAVID A. TETRO ARCHITECT P.C. AIA - LEED A.P. - NCARB

SOFFIT

6' - 3"



FOOD SERVICE MILLWORK

**INTERIOR ELEVATIONS-1** 

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P08

PAINTED G.W.B.

SAFETY GLASS AT STOREFRONT

PT-03

OFFICE STOREFRONT
3/8" = 1'-0"

BACKROOM - ELEVATION B

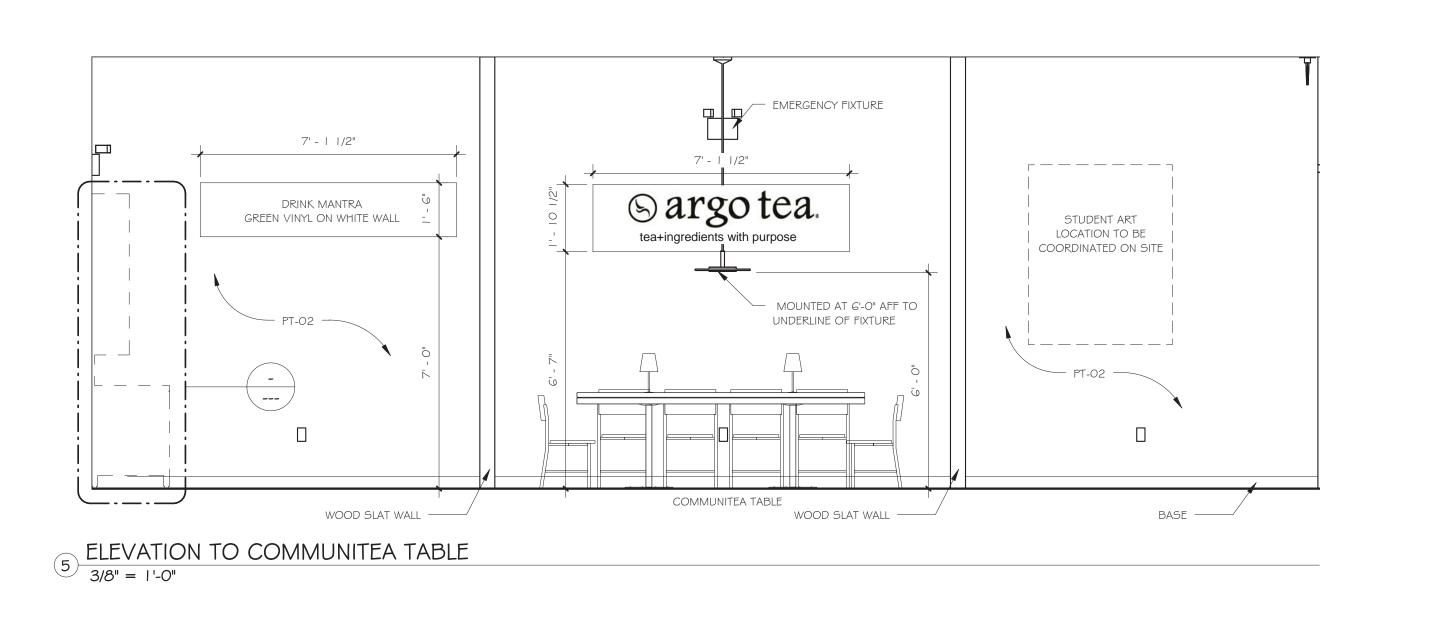
3/8" = 1'-0"

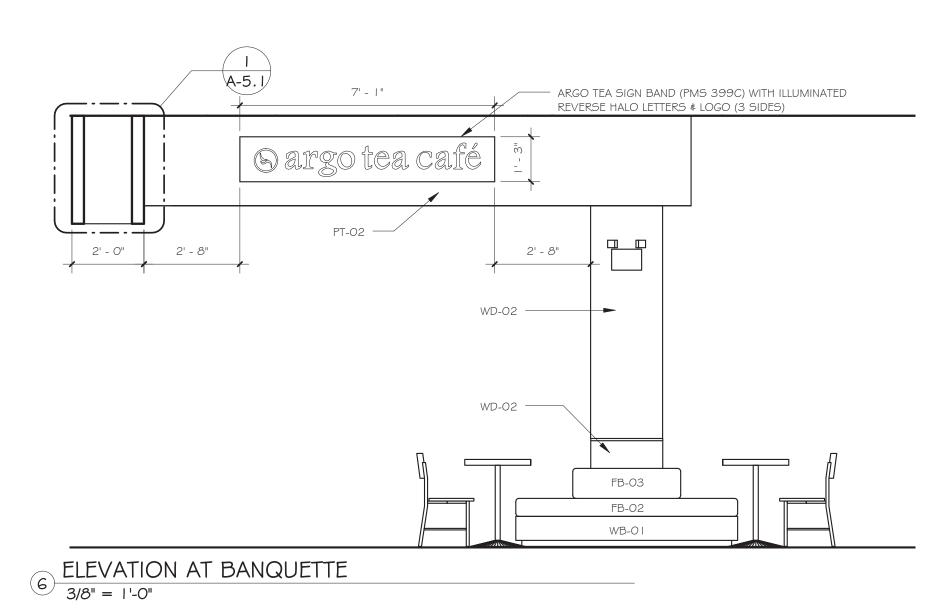
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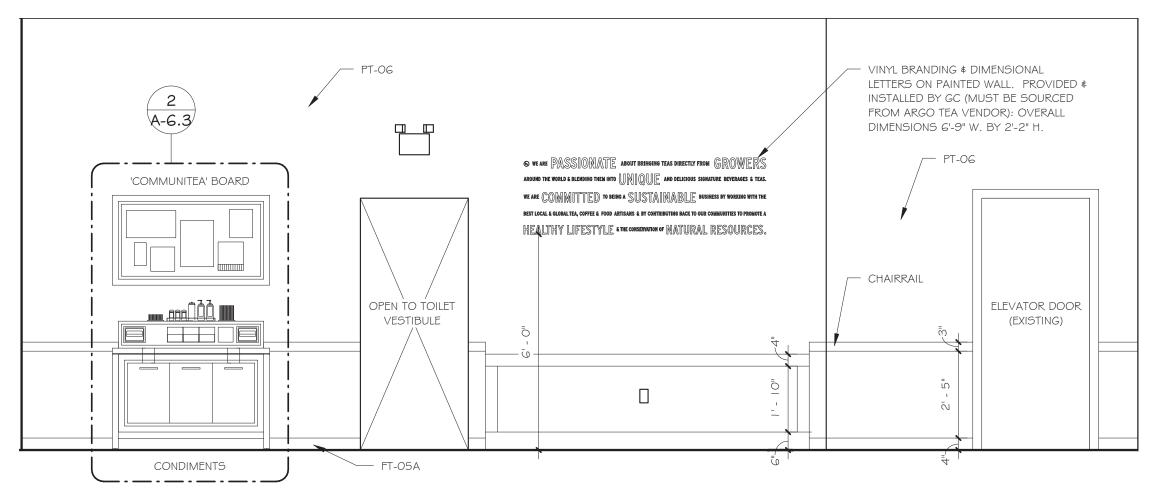


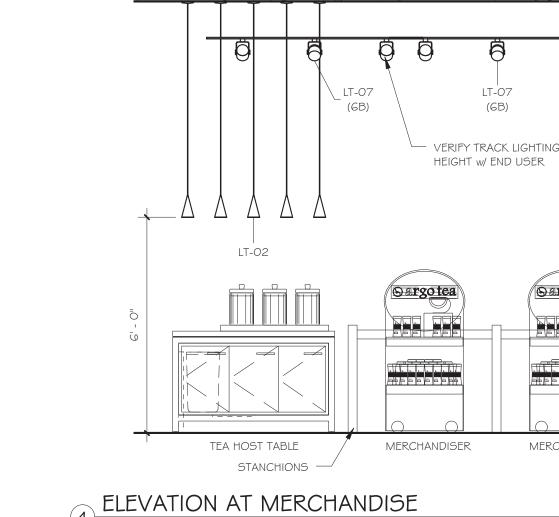


(6B)

**Oargotea** 

MERCHANDISER

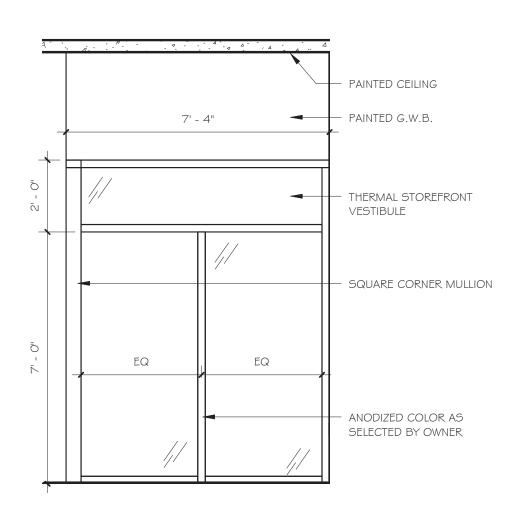




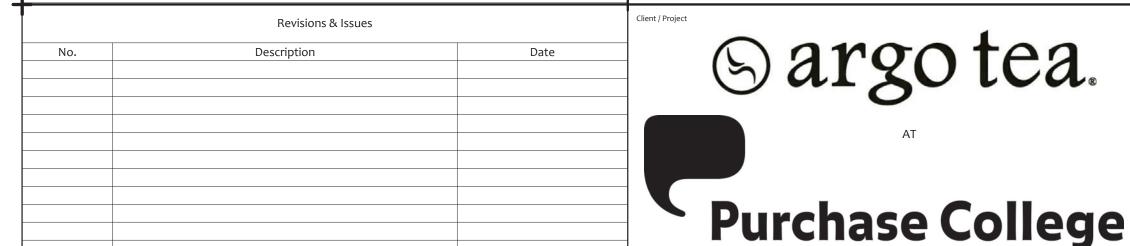
# 3 ELEVATION AT CONDIMENTS WALL 3/8" = 1'-0"

 $\begin{array}{c}
VESTIBULE WALL \\
\hline
3/8" = 1'-0"
\end{array}$ 

"RAINBOW VINYL" VERTICAL ORIENTATION CENTERED WITHIN THE SLAT WALLS PAINTED CEILING 8' - 9" PAINTED G.W.B. PT-02 THERMAL STOREFRONT VESTIBULE SQUARE CORNER MULLION SLAT WALL -SLAT WALL 3' - 0" 3' - 8" - SEE DOOR SCHEDULE FOR - ANODIZED COLOR AS SELECTED BY OWNER



# FOOD SERVICE MILLWORK (N. I. C.) June 7, 2016 **DAVID A. TETRO** A-4.3



Do not scale drawings. Each Contractor shall be responsible for all field measurements.

Sargo tea.

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# TECHNOLOGY

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VESTIBULE STOREFRONT

3/8" = 1'-0"

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Silman

MILLWORK SCHEDULE (Argo 3.0) QTY. ITEM & DESCRIPTION

MOD-03b1Barista: Pick up disc 2MOD-03c1Barista: Tea varietal displayMOD-041Food prep island/diewall

1 Loose tea wall

MIL-01a 0 Loose tea: Slat wall surround

0 Bar counter

MIL-01d 1 Loose tea: Base cabinet - retail

MIL-01d 1 Loose tea: Base cabinet - sampling

MIL-01e 1 Loose tea: Retail glass shelves

8 Slat wall - floor-to-ceiling
1 Slat wall - ceiling element

1 Layout template

Chair rail Wall base Wainscot Manager desk

MILLWORK: CUSTOM FURNITURE (see also FF&E schedule)

21 Dining table - 22" diameter

Standing table Dining table - rectangular

Lounge table - small

0 Lounge table - large

MILLWORK ACCESSORIES SCHEDULE

QTY. ITEM & DESCRIPTION

SEE DWGS DOOR / DRAWER PULLS:

See dwgs Stainless steel bullet feet

SEE DWGS | CABINET HINGES:

SEE DWGS | CABINET LOCKS:

SEE DWGS | SHELF BRACKETS:

CommuniTEA table

Dining table - 28" diameter

Upholstered seat pad for CH01A

Upholstered seat pad for CH02A

Upholstered seat pad for CH02B

1" DIAM. GROMMET SLEEVE FINGER PULL SEE DWGS DOOR / DRAWER PULLS:

DOUBLE-FOLD PIANO HINGE

1.5"X1.5" ANGLE PROFILE, SIZE AS NEEDED
SEE DWGS DRINK LEDGE HARDWARE, 2"DIAM S.S.

Graphic signage hanging caps

SEE DWGS DOOR / DRAWER PULLS (option)

"FLOOR FLANGE"

Napkin dispense

2 per condiment b

(2 per condiment bar)

Condiment bar sugar tray

Baine Marie

Thin square rail 5"Lx.5"W

Sign band w/ illuminated push-through letters Sign band w/ illuminated push-through letters

Thin square rail 8.68"Lx.375"Wx1.31"projection

Graphic signage hanging posts
1/2" long barrel x 3/8" diam, 10-24 tapped hole

1. ALL SCHEDULED ACCESSORIES SUPPLIED & INSTALLED BY MILLWORK CONTRACTOR, U.N.O. 2. ACCESSORIES NOT NOTED ARE PROVIDED BY OWNER, INSTALLED BY MILLWORK CONTRACTO

2.5" GROMMET - LINER ONLY FOR UNDERCOUNTER

REMOVABLE LOCK PLUGS, KEY ALL LOCKS ALIKE

3/8" diameter cap w/ 1/4" cap height & 10-24 tapped hole

Loose tea: Base cabinet - retail

2 Condiment station upper condiment bar

Base cabinet - platform

Base cabinet - platform

Base cabinet - storage

Base cabinet - solid leg support

Manager desk - upper cabinet Toiletroom wall cabinet Menu board pylon Double swing gate w/ bommer hinge

Base cabinet - POS

Condiment station base cabinet

Condiment station communiTEA board

Base cabinet - carbonator & air compressor

1 POS & Pastry case counter/diewall Drink counter/diewall

1 Loose tea: Overhead wall unit / tea canister display

1 Barista counter/diewall
1 Barista: Pick up disc

MILLWORK: SERVICE AREA MODULES

MILLWORK: CORE ELEMENTS:

MILLWORK: MISCELLANEOUS:

SIZE (Length x Width x Height) NOTES

Provide & Install lighting with whip for site installation.

nstall electrical & data outlets as indicated

MDF template with diewall and plumbing core locations

scribed on surface

nstall electrical outlets if indicated

Install electrical outlets if indicated

B-01 (light olive)

B-03 (hibiscus)

FB-02 (olive medium)

DOUG MOCKETT & CO. EDP W/ FLIP-TOP TAB / BLACK

DOUG MOCKETT & CO.

Residential Essentials

TIMBERLINE, OR EQUAL

LAVI INDUSTRIES

Part #SO-050

DISPENSE-RITE

#78710 DISPENSE-RITE

#TCD-2NB

#FMN-1 VOLLRATH COMPANY

Custom, see drawings

Custom, see drawings

#532/2

Atlas Homewares (www.atlashomewares.com)

FASTCAP SPEEDBRACE, OR SIMILAR, BLACK FINISH

Gyrord Standoff Systems (www.standoffsystems.con

Gyford Standoff Systems (www.standoffsystems.com)

Part #SO-CAP7 for 1/4" material thickness

Model #10281VB / Lowes Item #424842

#OG1, BLACK

See drawings

See drawings

24" diameter

24" diameter See drawings

See drawings

See drawings

See drawings

See drawings

See drawings See drawings

See drawings

3'-0" x 2'-6" x 3'-2' 2'-2" x 8" x 2-1/4"

See drawings

See drawings

21"x24" curved

See drawings

See drawings

See drawings

See drawings

22" diameter

8'-0" x 2'-6" x 2'-8" 2'-0" x 4'-0" x 3'-6"

24"diameter x 18"H 18"diameter x 24"H

See drawings

Venetian Bronze

BLACK POWDER COAT

Machined Aluminum

Brushed stainless steel

4'-4-1/2" x 9" x 8" 4'-4-1/2" x 2'-5-1/2" x 3"

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INTERIOR ELEVATIONS-2

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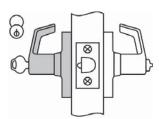
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ARCHITECT P.C. AIA - LEED A.P. - NCARB

### INTERIOR DOOR LOCKSET FUNCTIONS

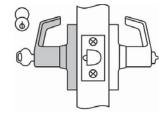


CL3351 CORBIN RUSSWIN

ANSI #F109: **FUNCTION** (OR APPROVED EQUAL)

 Inside lever always free. ENTRANCE/OFFICE • Inside button locks outside lever by turning and pushing

 Turning inside lever unlocks outside lever. Deadlocking latchbolt by lever either side except when turnbutton locks outside lever. Pushing turn button in locks outside lever



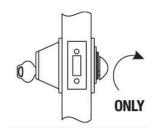
PRIVACY CORBIN RUSSWIN FUNCTION (OR APPROVED EQUAL)

- BARRIER-FREE Deadlocking latchbolt by inside lever.
  - Key outside unlocks outside lever to retract latchbolt. Key is retained in unlock mode.

When key is removed outside lever is

(requiring key to unlock).

• (Lever handle is freewheeling in locked position.) Inside lever always free.



DL3017 CORBIN RUSSWIN (OR APPROVED EQUAL)

ANSI E0 | 70: CLASSROOM **FUNCTION** 

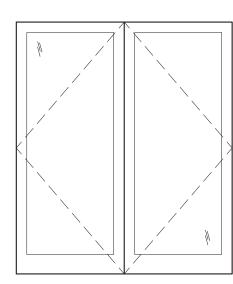
- By key outside and by thumbturn inside. Thumbturn will retract but not project
- DOOR HARDWARE SETS

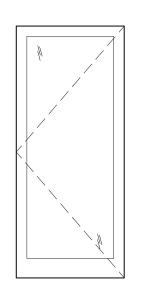
HARDV	VARE SET #1				
3 ea.	HINGES	5-Knuckle, 4.5"x4.5", Mortised, Heavy Weight	HAGER	BB1168	619
3 ea.	SILENCERS	Flat Round Rubber Plug-Type	HAGER	307D	CHA
1 <i>ea</i> .	LOCKSET	Office Function	CORBIN RUSSWIN	CL3351	625
1 <i>ea</i> .	OVERHEAD STOP	Grade 1 Heavy Duty Overhead Stop & Holder	HAGER	1700 Series	619
1 <i>e</i> a.	PERMANENT CORE	7-Pin: Coordinatre Keying of Lockset Cylinder w/ Owner	BEST	1E-Series	625
HARDV	VARE SET #2				
3 ea.	HINGES	5-Knuckle, 4.5"x4.5", Mortised, Standard Weight	HAGER	BB1168	625
3 ea.	SILENCERS	Flat Round Rubber Plug-Type	HAGER	307D	CHA
2 ea.	KICKPLATE - Each Side	10" x 0.050", 4-Bevel	HAGER	1945	628
2 ea.	PERMANENT CORE	7-Pin: Coordinatre Keying of Lockset Cylinder w/ Owner	BEST	1E-Series	625
1 <i>ea</i> .	DEADBOLT	Keyed Outside, Thumblatch Inside	CORBÍN RUSSWÍN	CL3017	625
1ea.	LOCKSET	Privacy Function, Barrier-Free Cylinder Lockset	CORBIN RUSSWIN	CL3359	625
1 ea.	OVERHEAD STOP	Grade 1 Heavy Duty Overhead Stop & Holder	HAGER	1700 Series	619
HARDV	VARE SET #3				
2 ea.	CLOSER	Grade 1 Surface, Heavy Duty Arm with Cusion Stop & Hold Open	HAGER	5100	ALM
2 ea.	DOOR BOTTOM	Bottom Sweep, No Drip (verify door thickness)	HAGER	7795	MIL
2 ea.	HINGES	Continuous Heavy-Duty Geared Rotun Hinge - Powered for Card Key Access	HAGER	1200-650XHD	MIL
2 ea.	LEVER	1 w/ Cylinder: Match campus standard lever configurations	VON DUPRIN	17 (98L Style)	625
2 ea.	PANIC EGRESS BAR	Surface-Mounted Concealed-Rod	VON DUPRIN	98 SERIES	625
2 ea.	WEATHERSTRIPPING	Jamb and Head	HAGER	<i>8</i> 59S	MIL
2 ea.	WEATHERSTRIPPING	Meeting Stile: Twin Pile Inset	HAGER	847	MIL
1 <i>e</i> a.	AUTOMATIC OPENER/CLOSER	ADA Access Controlled: coordinate with Owner			
1ea.	PERMANENT CORE	7-Pin: Coordinatre Keying of Lockset Cylinder w/ Owner	BEST	1E-Series	625
1 <i>ea</i> .	THRESHOLD	ADA Compliant; Bronze, Anchored and Set in Sealant (Coord. w/ Panic Rod)	HAGER	4135	DBA
HARDV	VARE SET #4				
2 ea.	CLOSER	Grade 1 Surface, Heavy Duty Arm with Cusion Stop & Hold Open	HAGER	5100	ALM
2 ea.	HINGES	Continuous Heavy-Duty Geared Rotun Hinge - Powered for Card Key Access	HAGER	1200-650XHD	MIL
2 ea.	LEVER	1 w/ Cylinder: Match campus standard lever configurations	VON DUPRIN	17 (98L Style)	625
2 ea.	PANIC EGRESS BAR	Surface-Mounted Concealed-Rod	VON DUPRIN	98 SERIES	625
2 ea.	WEATHERSTRIPPING	Meeting Stile: Twin Pile Inset	HAGER	847	MIL
2 ea.	WEATHERSTRIPPING	Jamb and Head	HAGER	<i>8</i> 59S	MIL
1 <i>ea</i> .	AUTOMATIC OPENER/CLOSER	ADA Access Controlled: coordinate with Owner			
1 ea.	PERMANENT CORE	7-Pin: Coordinatre Keying of Lockset Cylinder w/ Owner	BEST	1E-Series	625

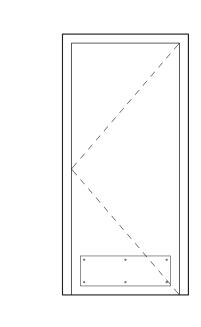
### **GENERAL DOOR NOTES:**

- All hardware to comply with all applicable portions of the New York State Building Code.
- Coordinate hardware with all Campus standards and coordinate locksets and keying cores with campus
- locksmith or Owner's vendor and with Owner prior to placing order. Finish of all accessories (kick-plates, wall stops, weather-stripping, seals, etc.) and hardware to be coordinate w/ Owner prior to Contractor completing hardware schedule and shall match Owner's standard hardware and accessories throughout remainder of building.
- Acessory hardware shall be compatible with door rating.
- Provide silencers on all doors and weather stripping on all rated and exterior doors.
- All lock sets shall have push-bars (on all panic devices) or lever-acting handles (on all non-panic devices) complying with ANSI A117.1.
- Door heads shall be aligned with each other and door bottoms shall be undercut as necessary for saddle
- Provide compliant hardware and door assemblies at rated doors.
- One leaf at each new entry door to be controlled by Handicap access push pad (coordinate w/ Owner).
- 10. Vestibule doors to be dogged.
- 11. Provide electrical constinuous hinge strikes for future card-key access at vestibule doors.
- 12. Verify compatibility of bottomrod at exit doors w/ saddles. Adjust saddle type as necessary. 13. Assume Hager Hardware as those items specified in the hardware sets. Alternates and substitutes only
- permitted with Owner's review and acceptance.
- 14. Contractor to provide final cores and keys for Owner to install. Contractor to provide construction cores.

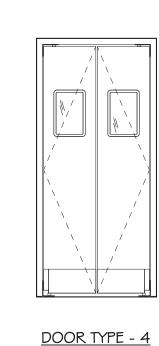
	DOOR SCHEDULE												
				OOR				FR	RAME				
DOOR No.	RATING	MATERIAL	ELEVATIC	N WIDTH	HEIGHT	THICKNESS	MATERIAL	SILL DET.	JAMB DET.	HEAD DET.	HARDWARE TYPE	REMARKS	
1	None	ALUM.	1	6' - 0"	7' - 0"	1 3/4"	ALUM.	1	1	I	Set #3		
2	None	ALUM.	1	6' - 0"	7' - 0"	1 3/4"	ALUM.	2	I	1	Set #4		
3	None	ALUM.	2	3' - 0"	7' - 0"	1 3/4"	ALUM.	2	1	1	Set #1		
4	None	BIRCH VEN.	3	3' - 0"	7' - 0"	1 3/4"	H.M.	3	2	2	Set #2		
5	None	BIRCH VEN.	3	3' - 0"	7' - 0"	1 3/4"	H.M.	3	2	2	Set #2		
6	None	WOOD \$ LAM.	4	3' - 0"	7' - 0"	1 3/4"	H.M.	2	-	-	MANUF. STANDARD	ELLIASON SCP- I 5 (LAMINATE FINISH PER END USER)	
7	None	WOOD \$ LAM.	5	3' - 0"	4' - 2"	1 3/4"	-	2	-	-	MANUF. STANDARD	'SALOON' DOOR	
8	None	WOOD \$ LAM.	6	1'-0"	9' - 0"		STEEL	-	-	-	SEE DETAIL	CUSTOM DOOR	

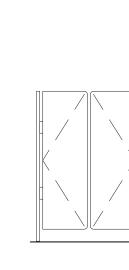


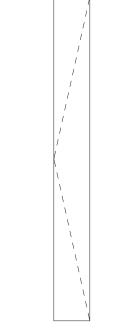




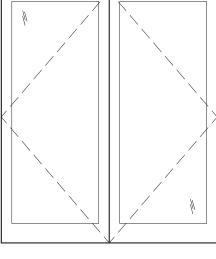
DOOR TYPE - 3







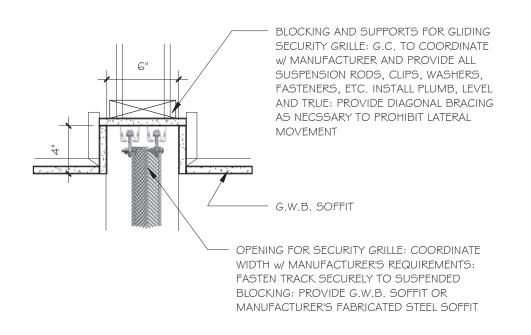
DOOR TYPE - 5 DOOR TYPE - 6



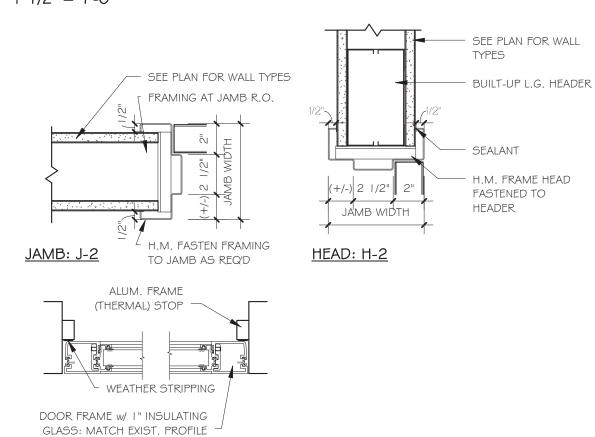
DOOR TYPE - 2

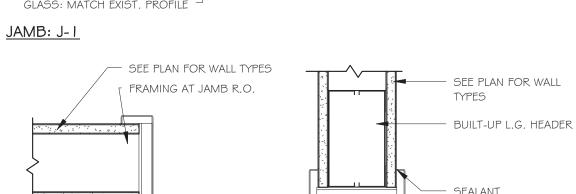
DOOR LEGEND 3/8" = 1'-0"

DOOR TYPE - I









HEAD: H-3

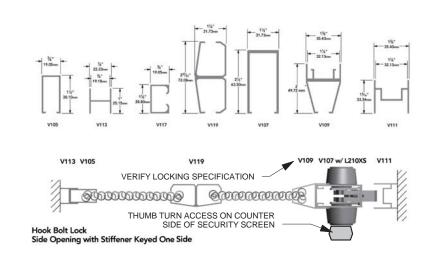


JAMB: J-3

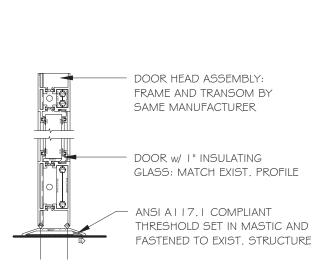
H.M. CASED OPENING

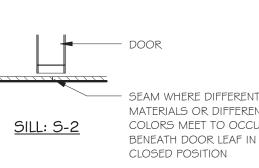
FRAME FASTENED TO

JAMB FRAMING AS

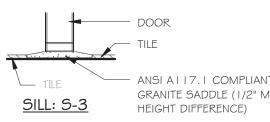


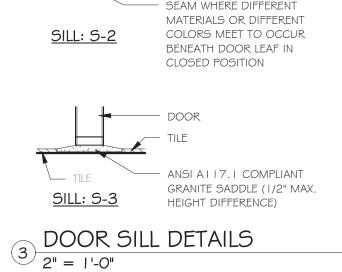
### COILING DOOR COMPONENTS No Scale

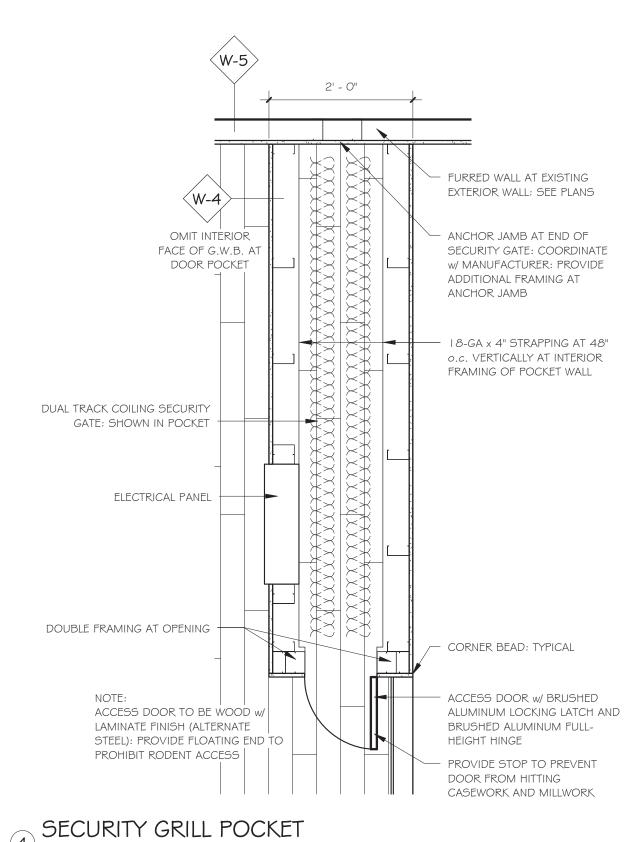




<u> SILL: S-I</u>







Revisions & Issues Date Description Do not scale drawings. Each Contractor shall be responsible for all field measurements.

Sargo tea. **Purchase College** 

STATE UNIVERSITY OF NEW YORK

SUNY PURCHASE

TECHNOLOGY SOLUTIONS 244 FIFTH AVE - SUITE M230 - NEW YORK, N.Y. 10001 MORAIS C. MIRANDA, RCDD - 917-533-3689

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Southport Associates

H.M. CASED

TO HEADER

OPENING FRAME

HEAD FASTENED

Southport Engineering Associates, PC 11 Bailey Avenue Tel.: (203) 431-6844 Ridgefield, CT 06877 Fax: (203) 431-6877

It is a violation of the New York State Education Law

AIA - LEED A.P. - NCARB

302 Lewis Avenue Yorktown Heights, NY 10598 914.962.3113 - tel. 914.962.3393 - fax dtdesign@verizon.net www.DavidTetroArchitect.com

DAVID A. TETRO

ARCHITECT P.C.

June 7, 2016 15.44

DOOR TYPES AND **DETAILS** 

A-5.1

100% ARCHITECTURAL SUBMISSION: FOR REVIEW

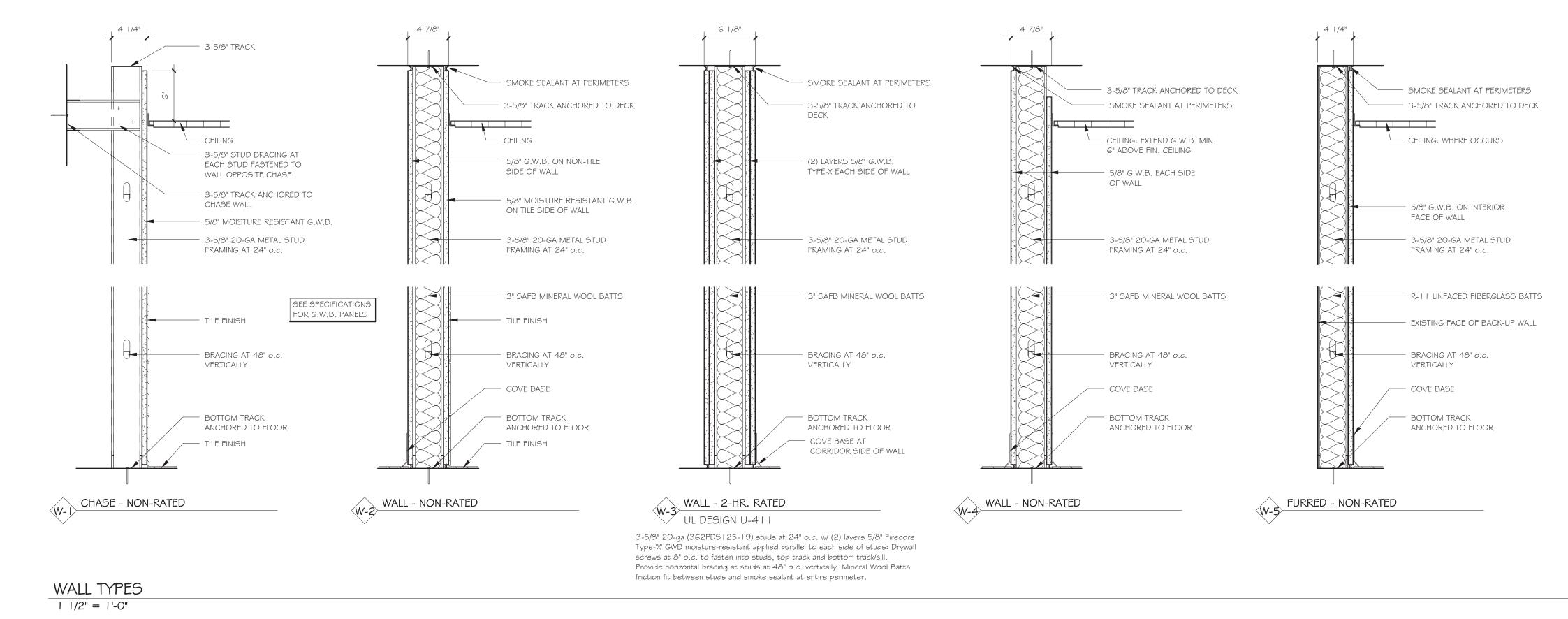
735 Anderson Hill Road

Purchase, NY 10577

32 Old Slip, 10th Floor New York, NY 10005

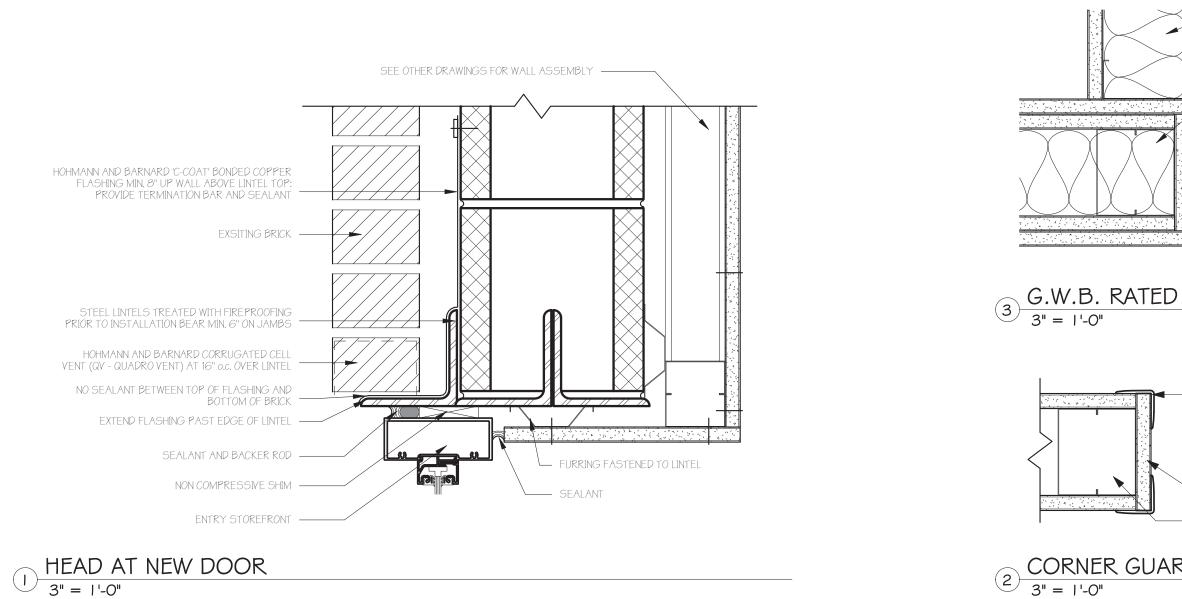
Tel.: (212) 620-7970 to alter these documents in any way once the seal and signature have been affixed by the Architect.

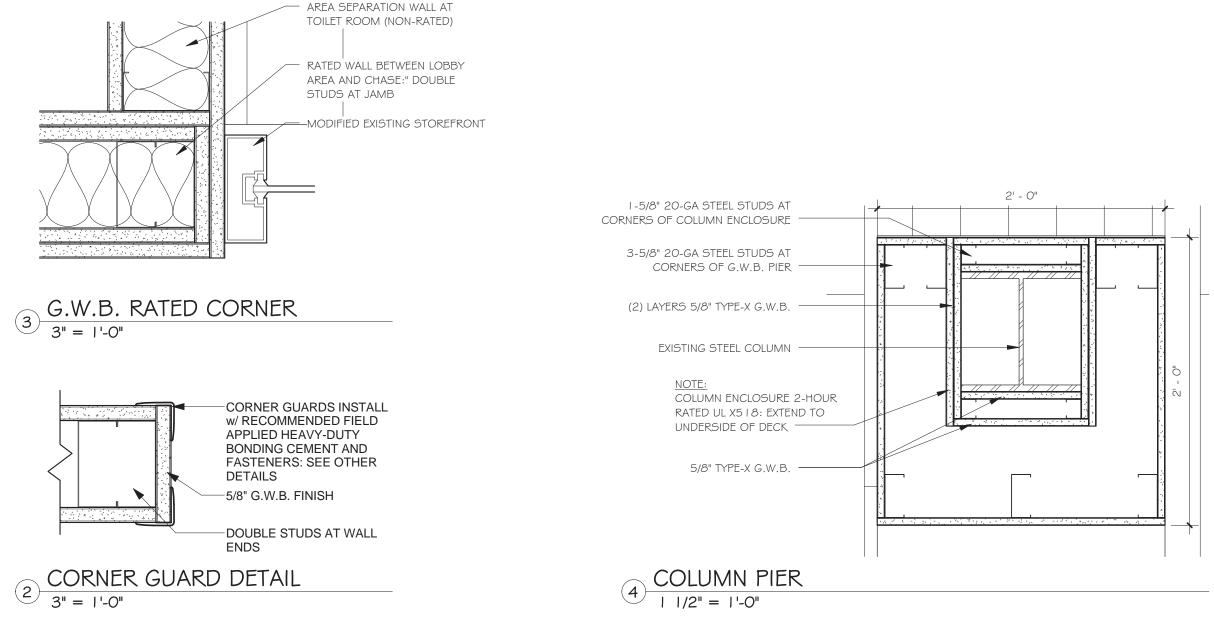
3/4" = 1'-0"



NOTE:

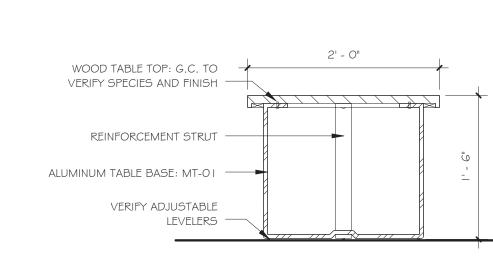
DECORATIVE WOOD PLANK WALLS ARE PART OF MILLWORK
PACKAGE AND ARE SHOWN ON THE MILLWORK DETAIL DRAWINGS

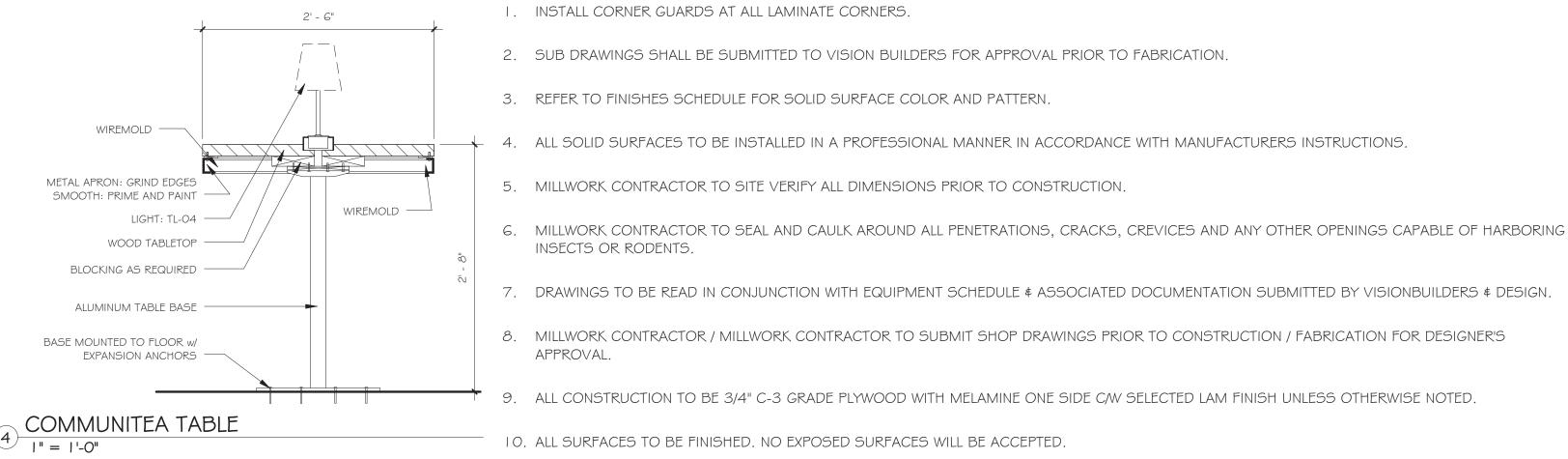






### FOOD SERVICE MILLWORK (N. I. C.) 1/2" SOLID SURFACE 1/2" SOLID SURFACE TABLETOP: EASE EDGES TABLETOP: EASE EDGES 3/4" PTD PLYWOOD 3/4" PTD PLYWOOD BACKER BACKER TABLE AS SCHEDULED TABLE AS SCHEDULED TABLE BASE -TABLE BASE -





MILLWORK NOTES

INSECTS OR RODENTS.

ON SITE.

ALTERNATE.

PRIOR TO FABRICATION.

SPECIFICATIONS PRIOR TO FABRICATION.

LIGHTING INC. (847.412.4880)

4 1/4"

SECTION THRU TRAY

MT-01 —

MT-01 -

PLAN

MT-01

MT-01 -

**ELEVATION** 

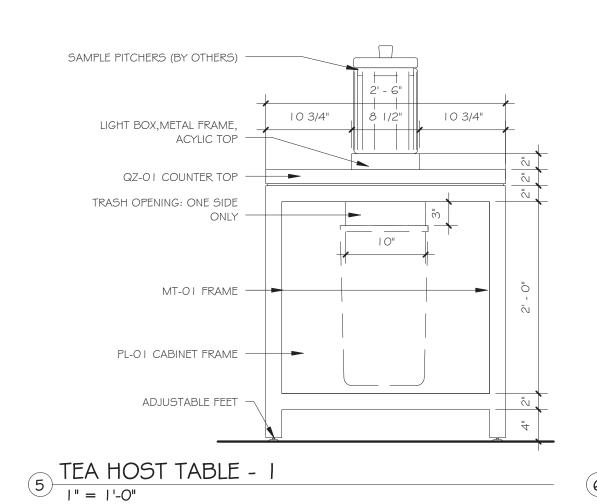
8 1/2"

10 1/4"

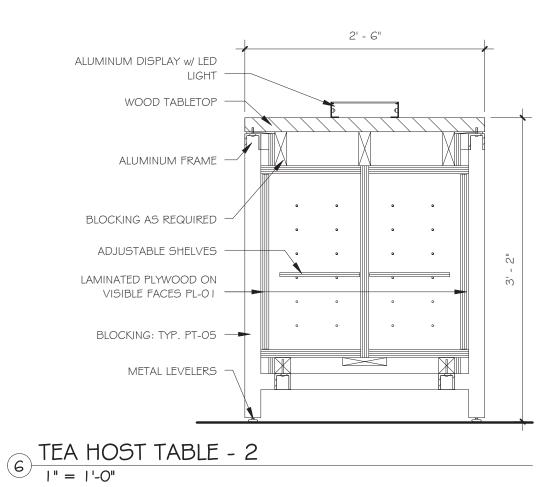
EQUAL

10 1/4"

EQUAL\_\_



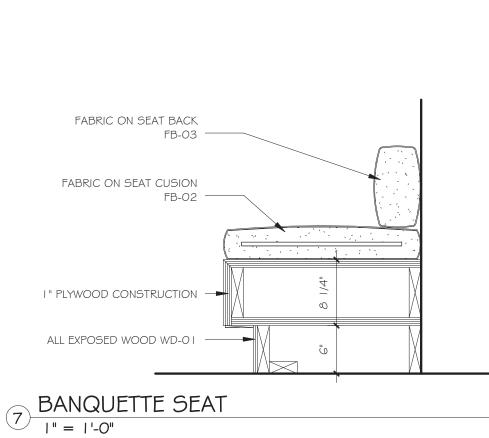
22" DINING TABLE

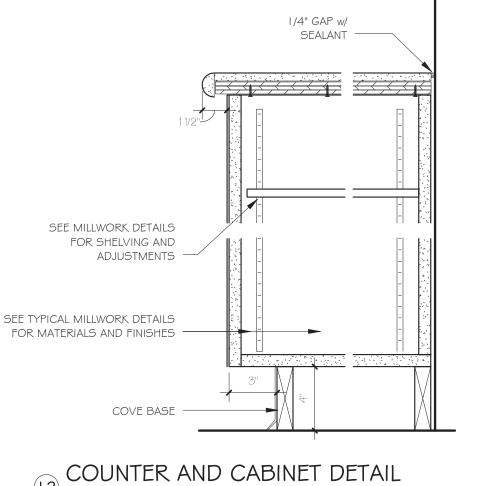


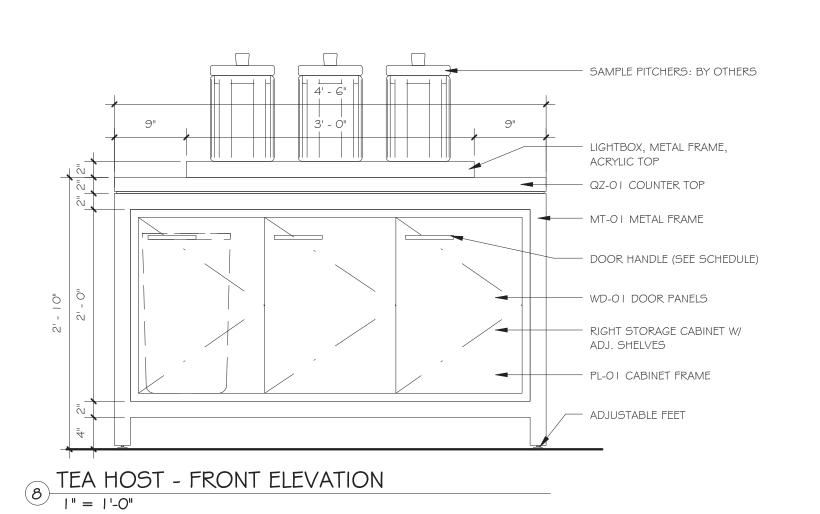
Sargotea

**Purchase College** 

STATE UNIVERSITY OF NEW YORK





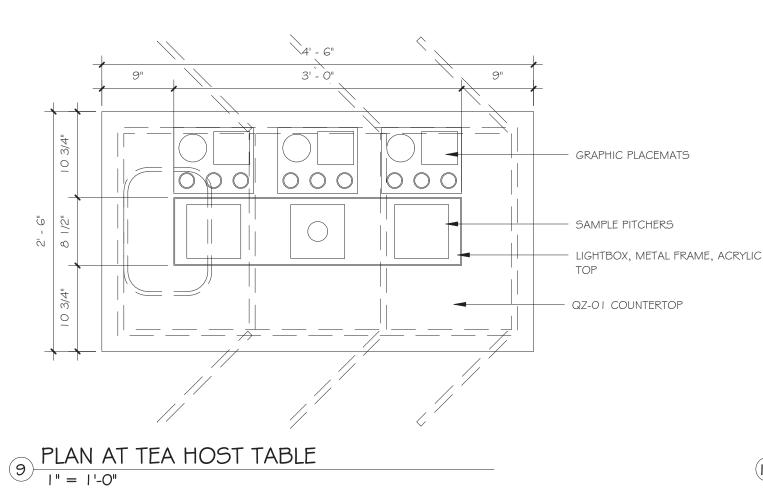


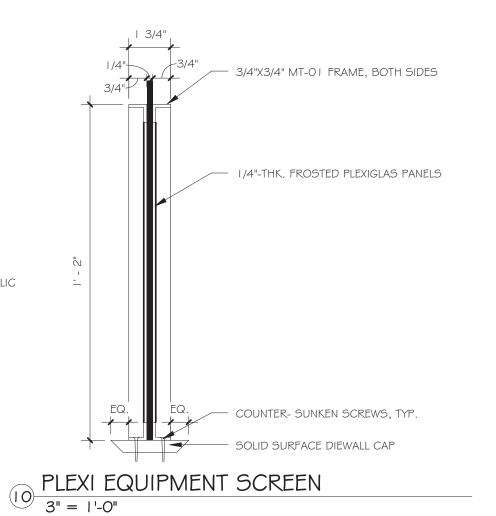
Date

Revisions & Issues

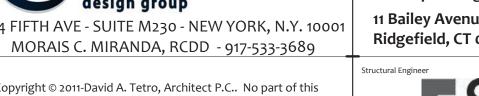
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Description





# TECHNOLOGY SOLUTIONS 244 FIFTH AVE - SUITE M230 - NEW YORK, N.Y. 10001



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It is a violation of the New York State Education Law

P.O.S. IMPULSE FIXTURE

3" = 1'-0"

302 Lewis Avenue Yorktown Heights, NY 10598 914.962.3113 - tel. 914.962.3393 - fax dtdesign@verizon.net www.DavidTetroArchitect.com

ALL CONSTRUCTION TO BE 3/4" C-3 GRADE PLYWOOD WITH MELAMINE ONE SIDE C/W SELECTED LAM FINISH UNLESS OTHERWISE NOTED.

II. MILLWORK CONTRACTOR TO ENSURE COUNTER FITS SNUG WITH SURROUNDING SITE AND MILLWORK CONDITIONS. IF NECESSARY SCRIBE COUNTER

12. MILLWORK CONTRACTOR TO ENSURE ALL SPECIFIED EQUIPMENT FITS INTO COUNTER AS NOTED. CHECK ALL MANUFACTURER'S SPECIFICATIONS

14. MILLWORK CONTRACTOR TO PROVIDE ADEQUATE VENTILATION IN COUNTERS FOR REQUIRED EQUIPMENT. CHECK ALL MANUFACTURER'S

15. AS AN ALTERNATE, MILLWORK CONTRACTOR MAY PROPOSE TO FABRICATE FRONT AND SIDE / END PANELS OF COUNTER SUPPORTS OUT OF

16. LED STRIP LIGHTS SHOWN FOR MILLWORK NOT INCORPORATED WITH LIGHTING SCHEDULE. G.C. TO COORDINATE STRIP LIGHTING AND POWER

REQUIREMENTS ACCORDINGLY. LED STRIP TO BE THL480WW (16-FT FLEXIBLE LED TAPE LIGHT) WITH P30WHW12V POWER SUPPLY - ALL BY LED

STANDARD LIGHT-GUAGE CONSTRUCTION. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OF THIS

PRE-DRILL 2 HOLES FOR COUNTERSUNK

SCREW ATTACHMENT TO COUNTERTOP

(PROVIDE SCREWS) -

13. ALL END GABLES CONCEALED FROM VIEW ALL CABINET DOORS C/W CONCEALED 180° HINGES.

CARD HOLDER:

800.572.2194

SKU: BCCWM6PK

4 1/4"

DISPLAYS2GO (www.displays2go.com)

"6-POCKET ACRYLIC BUSINESS CARD HOLDER

1' - 3 1/2"

HOLD

PLATFORM

TRAY

3' - 0" - VERIFY FULL LENGTH OF COUNTER

1' - 3 1/2"

HOLD

3' - 0" - VERIFY FULL LENGTH OF COUNTER

DAVID A. TETRO

FOR WALL MOUNT, OPEN POCKETS, CLEAR"

RAW MILL-FINISH STEEL (DARK GREY) W/

MATTE CLEAR PROTECTIVE COAT

June 7, 2016 A-6.115.44

CLEAR ACRYLIC GIFT CARD HOLDER, MILLWORKER TO PROVIDE AND INSTALL TO FACE OF IMPULSE TRAY

MILLWORK DETAILS - 1

100% ARCHITECTURAL SUBMISSION: FOR REVIEW

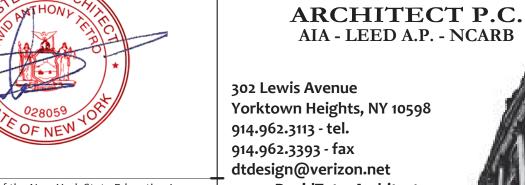
# SUNY PURCHASE

735 Anderson Hill Road Purchase, NY 10577

### 11 Bailey Avenue Ridgefield, CT 06877

Tel.: (212) 620-7970

to alter these documents in any way once the seal and signature have been affixed by the Architect.





MT-01 ---

4 1/4"

SECTION THRU PLATFORM

8 1/2"

10 1/4"

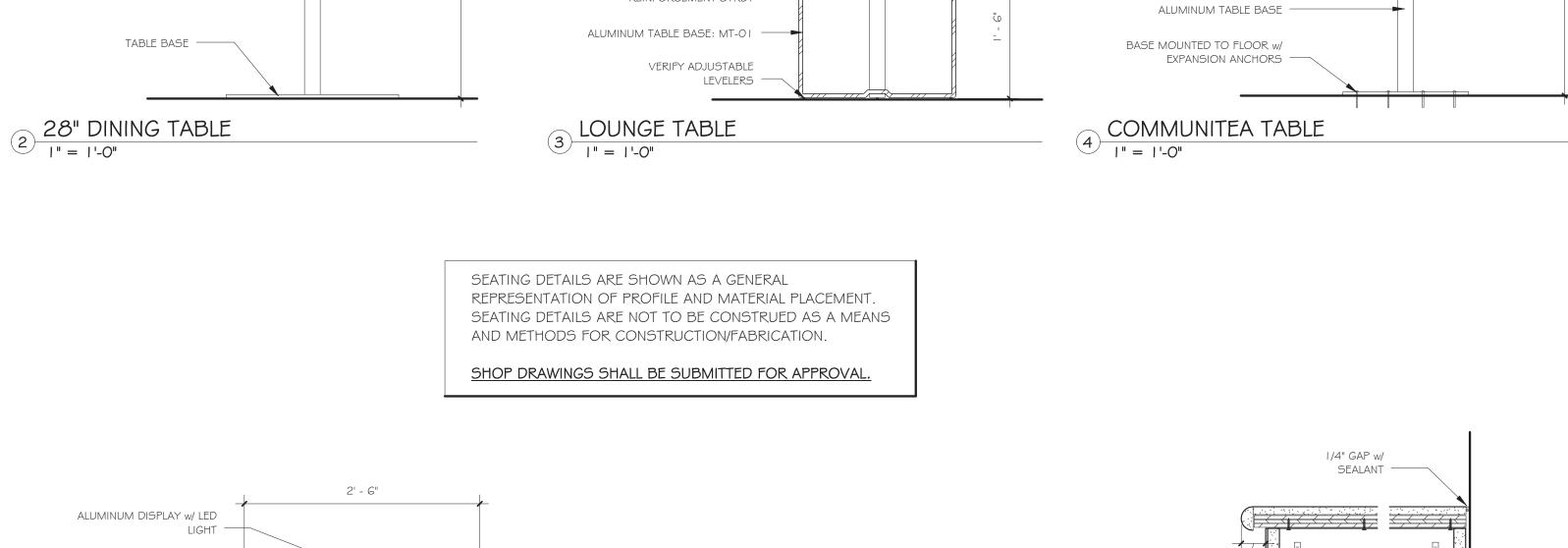
EQUAL

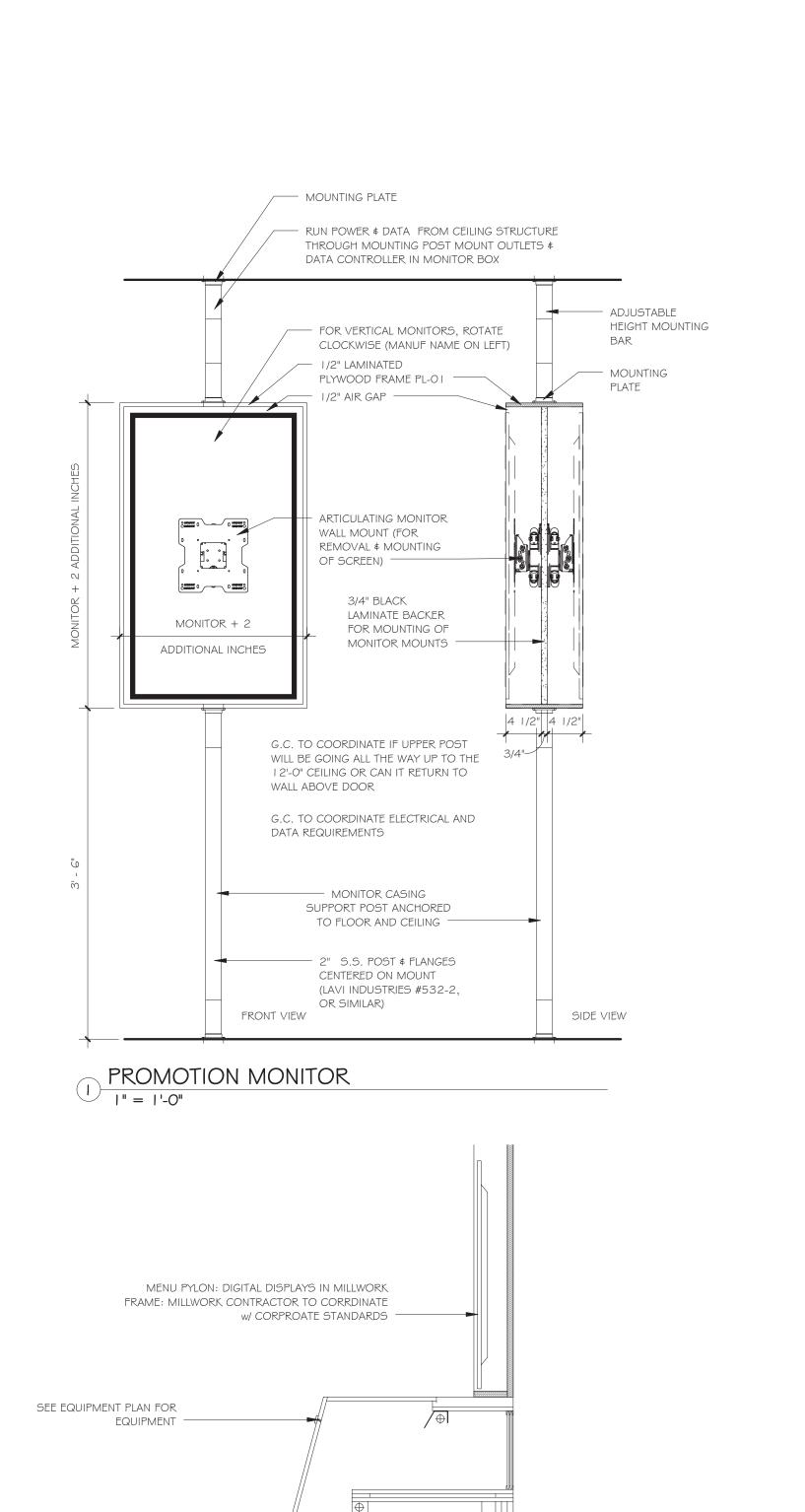
10 1/4"

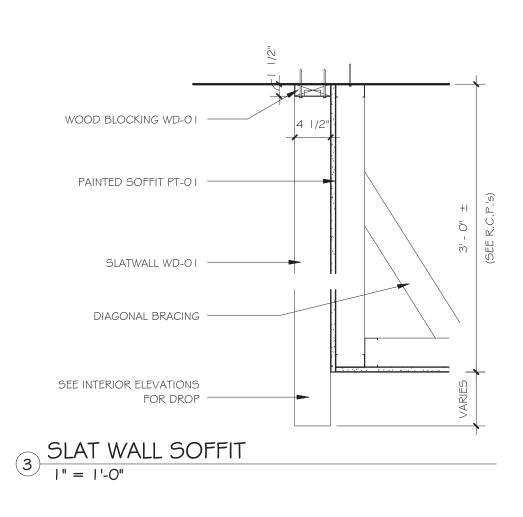
EQUAL

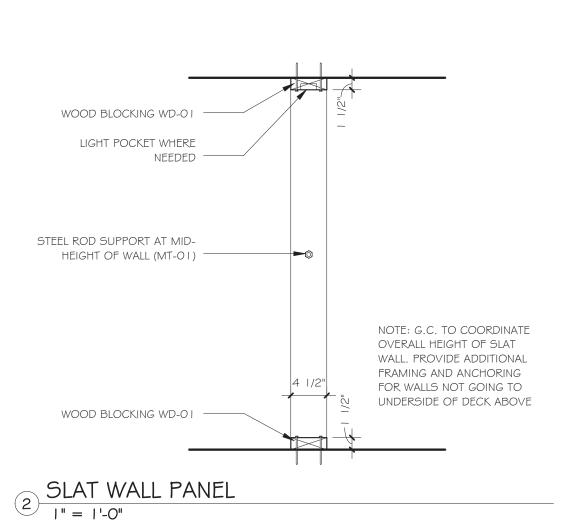
OPEN AT BACK

4 1/4"







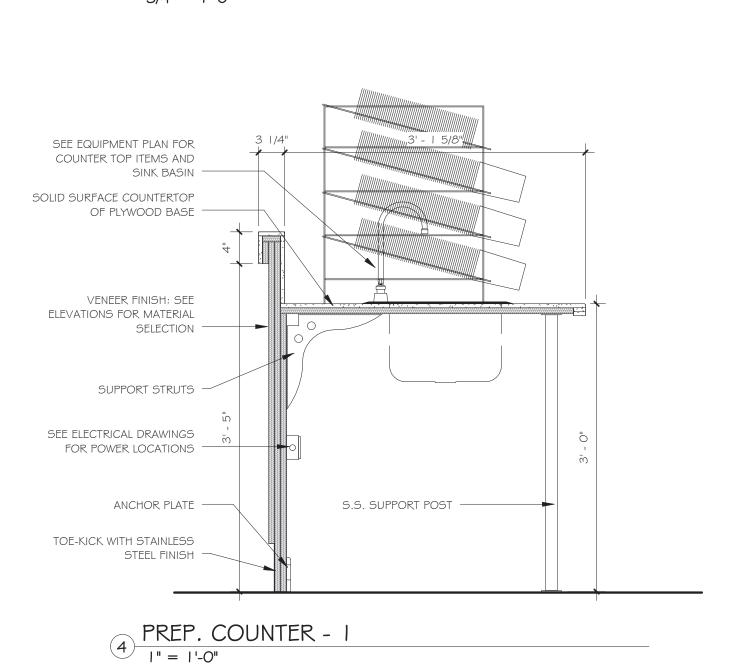


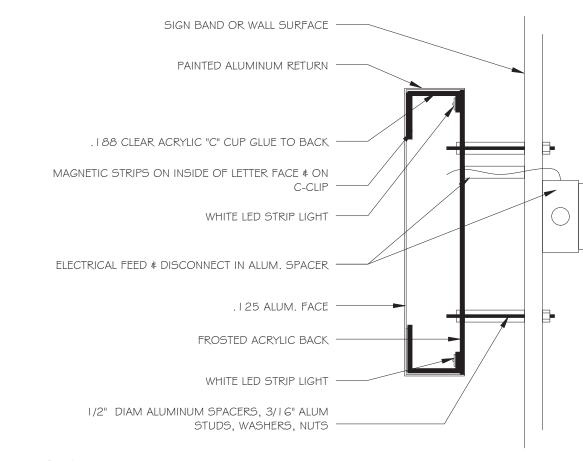




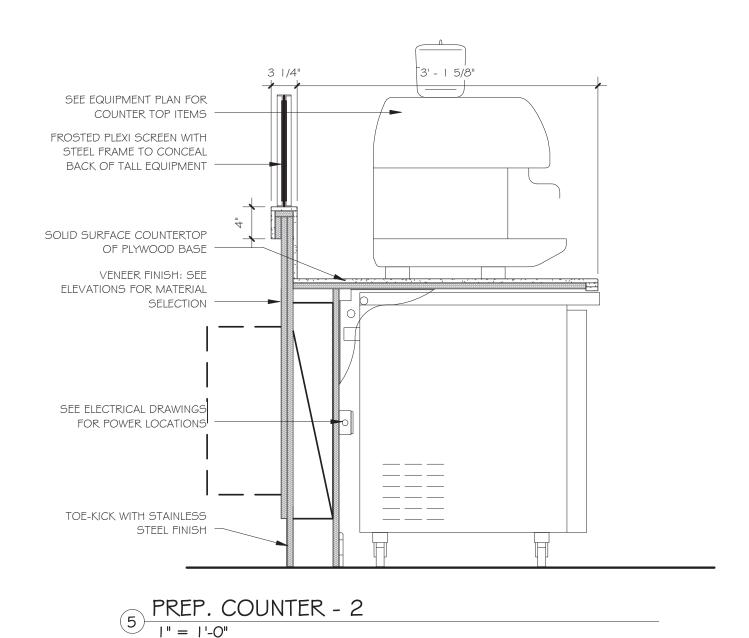
VINYL SIGNAGE

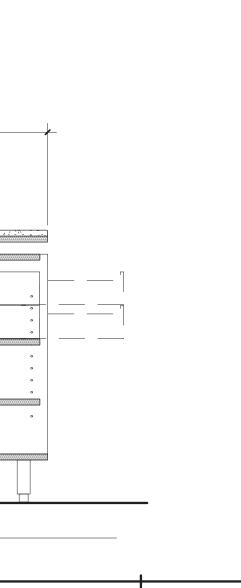
3/4" = 1'-0"

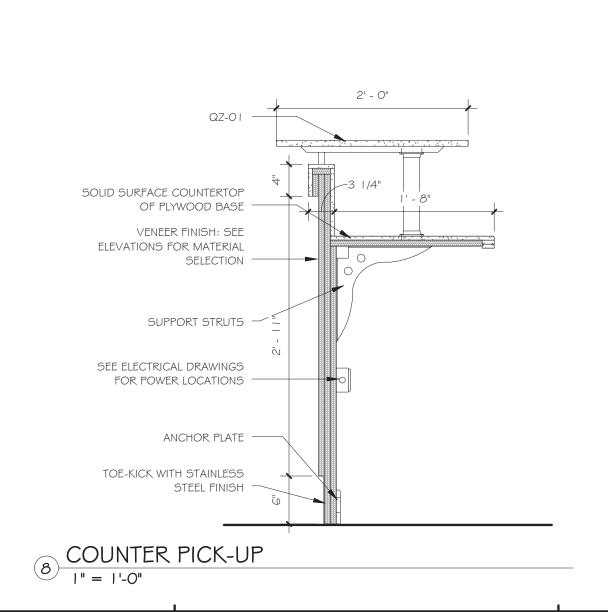


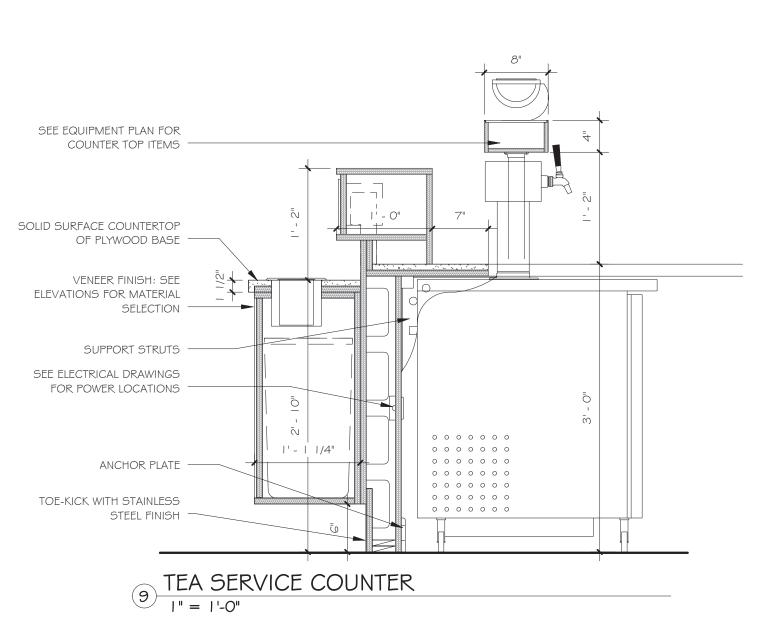


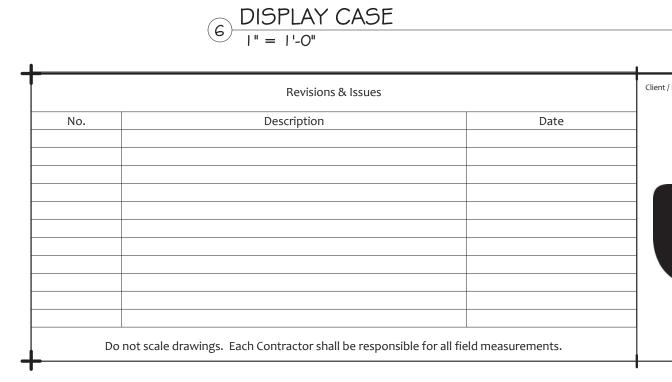












VENEER FINISH: SEE

SELECTION

ELEVATIONS FOR MATERIAL

TOE-KICK WITH STAINLESS

Sargo tea.

**Purchase College** 

STATE UNIVERSITY OF NEW YORK

SUNY PURCHASE

SEE EQUIPMENT SCHEDULE

SOLID SURFACE COUNTERTOP

OF PLYWOOD BASE

ADJUSTABLE SHELVES

SUPPORT STRUTS -

SELECTION

ANCHOR PLATE

STEEL FINISH

VENEER FINISH: SEE ELEVATIONS FOR MATERIAL

SEE ELECTRICAL DRAWINGS

FOR POWER LOCATIONS

TOE-KICK WITH STAINLESS

7 POS STATION

| 1" = 1'-0"

FOR POS

Purchase, NY 10577

2' - 8"



244 FIFTH AVE - SUITE M230 - NEW YORK, N.Y. 10001 MORAIS C. MIRANDA, RCDD - 917-533-3689

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New York, NY 10005

302 Lewis Avenue Yorktown Heights, NY 10598 914.962.3113 - tel. 914.962.3393 - fax dtdesign@verizon.net www.DavidTetroArchitect.com

June 7, 2016 DAVID A. TETRO ARCHITECT P.C. 15.44 AIA - LEED A.P. - NCARB

MILLWORK DETAILS - 2

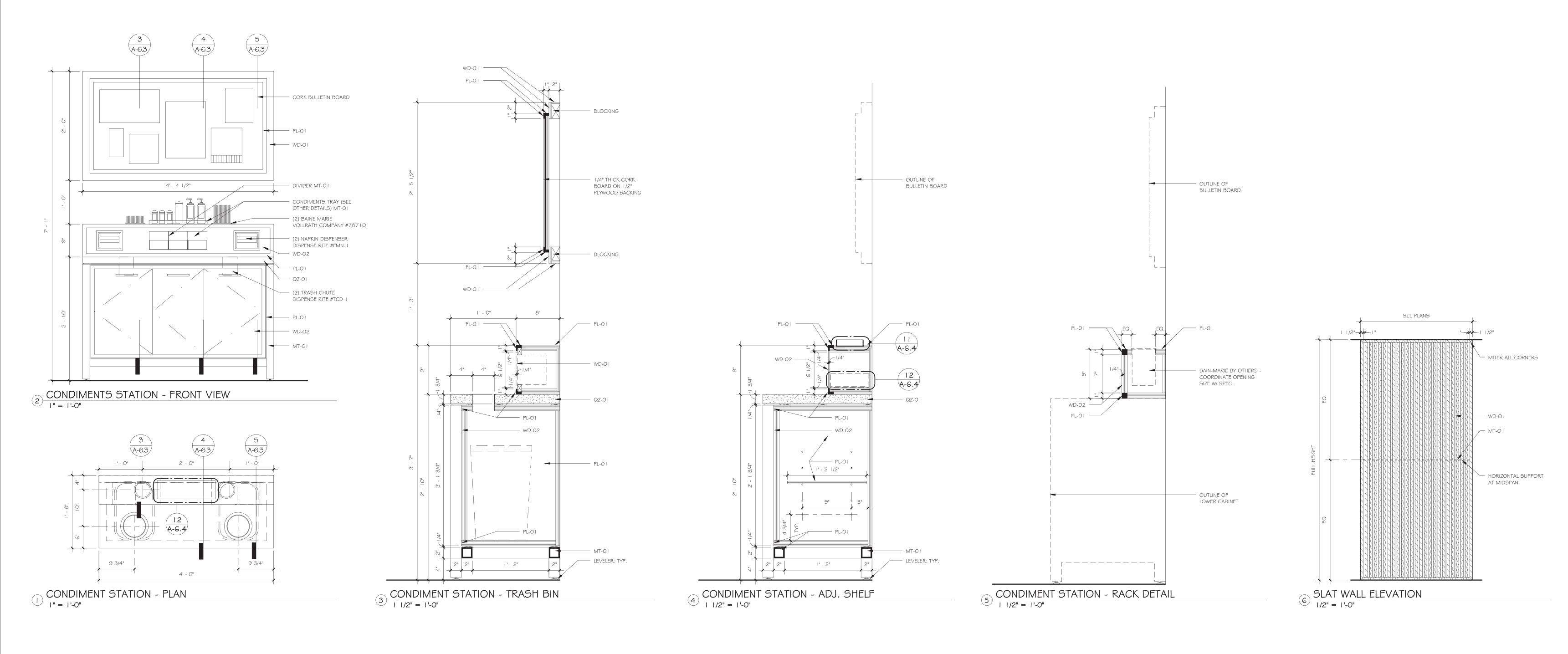
100% ARCHITECTURAL SUBMISSION: FOR REVIEW

A-6.2

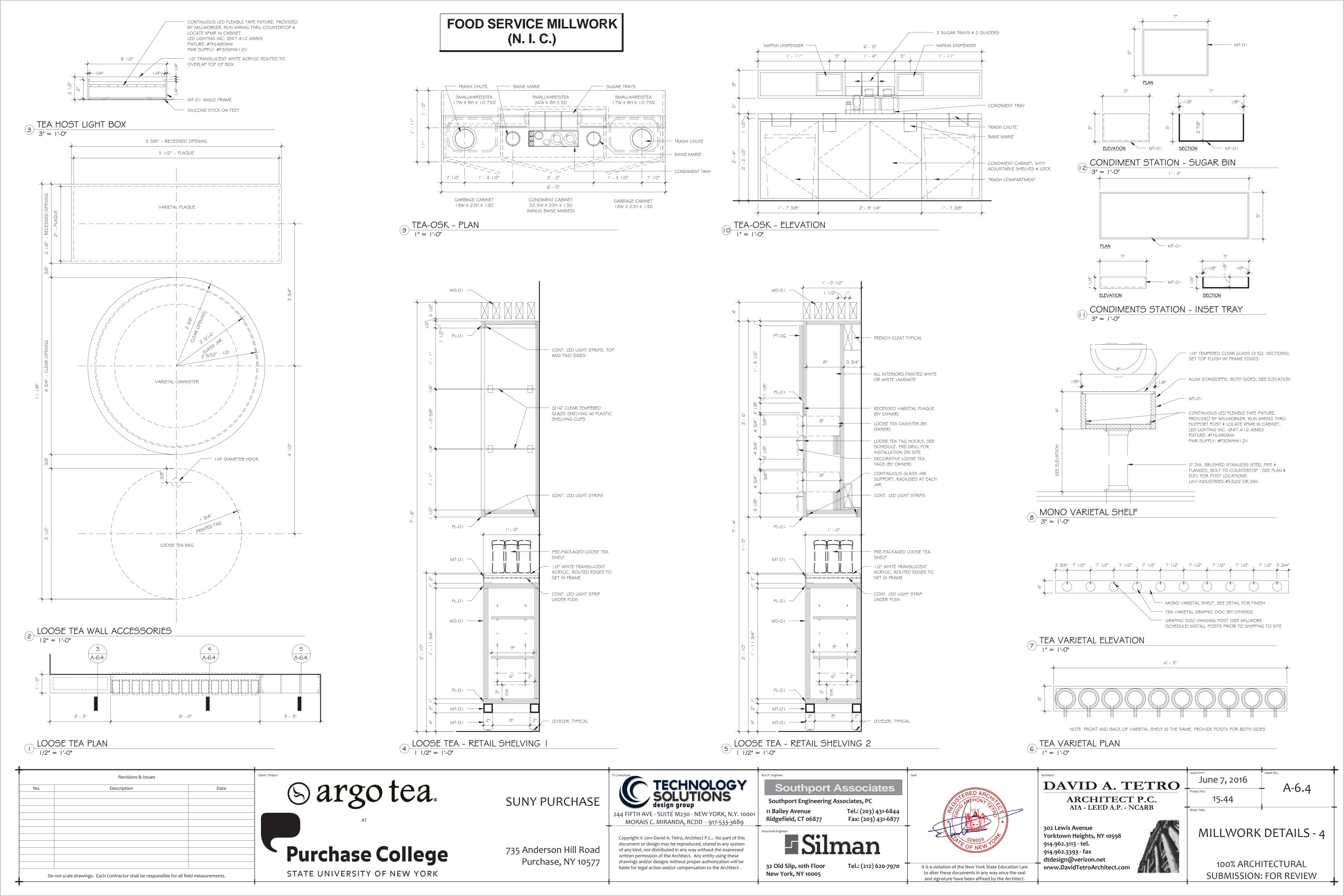
735 Anderson Hill Road

Tel.: (212) 620-7970

# FOOD SERVICE MILLWORK (N. I. C.)







### GENERAL NOTES AND SPECIFICATIONS

- 1. The Contractor accepts the responsibility to provide all items and services required to perform the required work in order to complete the project in conformance with all the notes, details, drawings, etc. contained within this set of construction documents.
- 2. It is the responsibility of the Contractor to carry out the work as specified within this set of Drawings and Specifications and in accordance with all codes, rules and regulations governing, along with all of the manufacturer's recommendations and installation instructions.
- 3. All work shall be executed and shall comply with local town and county municipalities having authority, The Building Code of New York State and any other applicable codes # agencies having jurisdiction. In all cases, the most restrictive limitation of any applicable code shall be followed by the Contractor. Contractor shall be licensed and
- 4. All work shall be executed in accordance with the best acceptable trade practices, per Manufacturers recommendations, \$ per requirements of the Code. Owner,
- Building Official and Architect reserve the right to reject unacceptable work at the expense of the Contractor. 5. Contractor to follow the Building Department approved set of documents. Any previous sets of documents provided by the Owner or Architect are for reference
- purposes only unless specifically indicated thereon. 6. No substitutions shall be made without consulting the Architect first.
- 7. Contractor to notify the Architect and Owner in a timely manner when the work will begin on the project. 8. Contractor to verify all existing conditions prior to the start of related work. Any discrepancies found shall be brought to the Architect's attention in a timely manner and prior to the commencement work at that location or condition.
- 9. Contractor shall coordinate work with required inspections so as to not delay the progress of the project. Contractor responsible for scheduling of all required
- 10. The Contractor shall coordinate and cooperate with all other Contractors and shall cut, lay and install their work at such a time and manner so that no delay or
- interference with the carrying forward of the work of other Contractors shall occur. II. Use dimensions and notes - DO NOT SCALE OFF OF DRAWINGS.
- 12. Plumbing, Sprinkler, Fire Alarm, Elevator and Electrical Contractors (applicable trades) shall file for, pay for, and obtain their respective permits and inspections. These Contractors shall obtain all required close-out procedures necessary to receive a final Certificate of Occupancy. These permits and inspections are separate from the main Building Permit. Electrical and Plumbing Contractors are to be fully licensed and insured.
- 13. Contractor shall notify Architect during the demolition phase of any questionable condition of exposed materials that are to remain, along with all load-bearing members, etc. Any discrepancies found between those uncovered in the field and those indicated on the Drawings shall be brought to the Architect's attention in a timely manner.
- 14. Contractor to institute # maintain all safety measures and shall provide all equipment and temporary construction necessary to safeguard all persons # property. Contractor is responsible for all temporary supports and shoring, means and methods of construction, temporary services, protection against weather, coordination of
- 15. With exception to the initial building permit, all permits shall be secured by, and at the expense of, the Contractor and shall give all notices and requests for all testing and inspections required by the governing jurisdiction. Contractor shall coordinate both the work requiring inspections and the scheduling of inspections with the authority having jurisdiction so as not to delay the progress of the project. No work shall start until all the necessary permits are issued. The Contract shall be deemed complete only when all required close-out documents are in order.
- I 6. Architect <u>WILL NOT</u> provide inspections or affidavits or sign-offs on items that require inspections.
- 17. Contractor shall provide to the Owner all warranty and guaranty information provided by the appropriate manufacturers and installers and shall inform the Owner of all warranties and guaranties associated with said Work. Warranty and garanty and product information for all systems and equipment shall be provided in an organized manner within a binder for the Owner's records.
- 18. Any substitution to any specified materials or assemblies requested by the Contractor shall be presented to the Architect in a timely manner prior to the ordering of materials or starting of associated Work. Contractor shall furnish to the Architect all product data, test report data, code related material, etc. regarding the substitution (if applicable) along with a signed approval by the Owner indicating that the Owner has approved such substitution pending the approval of the Architect. The Architect reserves the right to reject such substitution for any reason. In the event of a rejection, the Contract amount shall not be increased by the use of the specified
- 19. All construction debris \$ refuse shall be collected into dumpsters or other collection devices at the end of each workday and legally disposed of off of the property at intervals appropriate to the quantity of debris requiring removal from the site.
- 20. Any damage caused by the Contractor(s) during the course of construction shall be repaired or replaced as required. In the case of existing construction, repairs shall be made to match existing. In the case of new construction, repairs shall be made to a like-new condition. All patching \$ repairing shall be done with material \$ workmanship
- to match adjacent. All new construction to align with existing unless otherwise indicated. 21. All work and installation shall be performed by skilled and professional individuals specializing in that particular field of work or installation.
- 22. All fixtures, finishes, furnishings, equipment, hardware, etc. to be approved of by the Owner. Contractor to coordinate Owner supplied material with Contractor's work. All furniture by Owner unless otherwise noted.
- 23. Architect has not been retained by Owner for field-observation services during construction. Architect shall bear no responsibility for inspections, close-out documents, affidavits, as-built drawings, etc. Any site observations performed are solely for the purpose of determining if the Contractor is following the Contract Documents for the general design intent. In the event that the Architect makes a field observation, his presence on the site in no way relieves the Contractor of his duties to perform the Work in accordance with the Contract Documents, the rules and regulations mandated by the local municipality, or the requirements of the New York State Building Code. The Architect will not be held liable for any unsatisfactory Work performed, the quality of craftsmanship, means and methods of construction and site safety, exceptions of failed inspections by the local municipality, delays, or any other deficiencies in the work performed. Architect's site observations are not to be construed as Construction
- 24. No responsibility has been assumed by the Architect for information supplied by others and believed by the Architect to be reliable, nor any latent defects in the existing structure which were concealed or impossible to detect without substantial and/or extensive probing or testing. Architect assumes no liability for any work not in conformance with the Code for existing conditions shown hereon.
- 25. Any required surveys (final, progress, foundation, etc.) shall be acquired by the Contractor at his expense. All required close-out documents shall be prepared by and filed by the Contractor. If the Architect is required to provide as-built drawings of the architectural portions of the project, the Architect shall provide them for a fee. These Construction Documents are the property of the Architect. Additional sets of these documents can be provided by the Architect for a fee charged to the requesting party. No part of this document or design may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for legal action and/or compensation to the Architect.

### DIVISION 02 - SITE CONSTRUCTION, SITE SANITARY AND EROSION CONTROLS \* N O T U S E D\*

- I. Concrete shall conform to ACI specifications. Contractor shall retain all batch tickets and mix properties from each concrete delivery or cut sheets/prodict data for sitemixed concrete.
- All Foundations shall be reinforced vertically with Grade 60 or better deformed rebar. All footings shall be reinforced with continuous horizontal Grade 60 deformed reinforcement with adequate lap splice lengths.
- 3. All pins and dowels shall be cast into place 'wet-sticking' of bars shall not be permitted.
- 4. Bearing capacity of soil 2.5 kip/s.f. minimum assumed based upon visual observaions by the Architect of test holes performed at the location of the proposed house. 5. All concrete construction shall conform to building code requirements.
- 6. For reinforced concrete, ACI 318 and shall be in accordance with the manual of standard practice for detailing of reinforced concrete, all as amended by the New York State Residential Building Code.
- 7. All cast in place concrete shall be controlled stone concrete having a minimum compressive strength of 4,000 lbs per square inch at 28 days, with minimum cement factor 5.75 bags per cubic yard of concrete.
- 8. Contractor shall supply concrete having a 28 day strength 25 percent greater than the design strength specified.
- 9. All concrete shall have a maximum water cement ratio of 0.48.
- 10. Concrete may contain a water reducing admixture, and/or high range water reducing admixture (superplasticizer).
- II. Admixtures shall conform with ASTM C-494 requirements and contain no more chloride ions than are present in municipal drinking water. 12. All reinforcing bars shall be new billet steel, deformed type, (ASTM A-615 Grade 60) and shall comply with ACI code requirements.
- 13. Concrete shall be cured with approved methods for a minimum of seven days after placement. 14. Use chairs to locate \$ hold all reinforcement in place.
- 15. Expansion joint filler strips, pre-molded shall be resin impregnated fiberboard conforming to ASTM D-1752. Install at all walls/slab intersections.

- 1. All fasteners, embedded anchors, reinforcement, dowels, etc. at masonry assemblies shall be hot dipped galvanized or better. Joint reinforcing ASTM A82 9-GA hot
- 2. Provide all required accessories for each masonry assembly. This includes, but shall not be limited to all horizontal reinforcement, expansion joint and bond breaker materials, anchors and straps, pins and dowels, flashing, weep inserts, etc. Accessories shall be provided and installed in accordance with the details indicated on these drawings and with all 'best-practices' associated with masonry assemblies.
- 3. All masonry assemblies shall conform to all New York State Building Code requirements.
- 4. Do not use mortar at locations that call for or require grout. Do not use grout at locations that call for or require mortar. 5. All CMU Foundations shall be reinforced vertically with hot galvanized ASTM A653 or epoxy coated Grade 60 or better deformed rebar. All cells of the CMU shall be

### **DIVISION 05 - METALS:**

filled solid with grout - mortar shall not be permitted to fill cores solid.

- 1. All structural steel to be ASTM A529/A529M Grade 50 k.s.i. 2. All light-gauge metal framing for interior non-load-bearing partitions shall be 20-ga minimum unless noted heavier. All light-gauge metal framing for exterior wall assemblies
- shall be 20-ga mınımum unless noted heavier.
- 3. All light-gauge fastening shall be in conformance with the Building Code of New York State and per the light-gauge metal manufacturers design specifications.
- 4. All fasteners embedded into concrete and masonry, exterior locations or pressure treated lumber shall be hot-dip galvanized or better.
- 5. Hot galvanized material shall conform to ASTM A123 G90 6. The structural steel contractor shall verify the foundation construction for anchor bolt location, elevation of top of concrete or bearing plates, alignment, etc., prior to
- start of erection.
- 7. Fabrication and erection of all structural steel shall conform to the latest AISC specifications for the design, fabrication, and erection of structural steel for buildings.
- 8. All welding shall be done by certified welders, in accordance with AWS code. 9. Bearing surfaces of columns to be milled, stiffeners to be ground to bear, base plates to be straight and true.
- 10. If required by the Owner and/or Structural Engineer of Record, submit shop drawings for approval before fabrication. II. Provide temporary bracing as required during erection. bracing to remain in place until deck is completely installed.
- 12. All shop work to be welded or high strength, conventional bolts (3/4" diameter ASTM a325 minimum).
- 13. All steel shall be new, clean and straight members conforming to the following astm material standard. Steel not provided by modular manufacturer shall have 1 coat shop paint and I coat field paint in a different color.
- 14. Post to beam connections of dissimilar materials (i.e. to wood beams / girders, joists, etc.) shall be with approved connectors: provide welded connections between
- connectors and steel members whereever possible. 15. Non-shrink grout used for posts or leveling plates shall be of a type with a 28-day strength of 8,000 p.s.i.

### **DIVISION 06 - WOODS AND PLASTICS:**

- 1. All load bearing lumber shall be installed in direct contact with the load bearing element receiving the load. Align all joists over studs, rafters over joists, full bearing of joists and studs onto sills, etc. Discrepancies shall be remedied at Contractor's expense. All connections shall be with approved hot-galvanized metal connectors - toe nailing shall not be considered a positive structural connection.
- 2. All lumber used for framing shall bear manufacturer's markings for grade and species and shall be visibile during the time of framing inspections. 3. All lumber shall be protected from the elements during storage and shall be handled and installed in a careful manner so as to prevent any damage. Damaged
- 4. All interior grade lumber to be Douglas Fir-Larch No. 2 or equal with a minimum Bending Stress of 900 psi (unless otherwise noted on plans) and conform
- 5. All exterior grade lumber to be pressure treated Southern Pine conforming to AWPA standards or of a structural-grade species naturally resistant to decay
- 5. Laminated Veneer Lumber (LVL) to have minimum Bending Stress of 2,600 psi and a Modulus of Elasticity of 1,900,000 psi. Parallel Stranded Lumber to have a minimum Bending Stress of 2,900 psi and a Modulus of Elasticity of 2,000,000 psi.
- 8. Blocking between structural members shall be full depth (for joists and rafters) and full width (for studs) and shall be a minimum nominal dimension of 2". 9. Blocking between joists shall occur at intervals to limit the clear span to 8'-0" or less. Blocking between studs in load-bearing and exterior walls shall occur at 4'-0" o.c. max intervals.
- 10. Provide solid bridging between joists where walls are located perpendicular to joist spans. Provide double joists beneath walls running parallel to joist span where wall length is 1/3 or greater the distance of the joist length.
- II. Install joists and rafters with natural crown facing up.
- 12. Min. bearing for joists shall be 1-1/2". Min. bearing for engineered lumber members shall be 3-1/2".
- 13. All built-up posts shall be fastened together w/ (2) full-depth nails at 8" O.C. vertically. 14. Built up beams shall be fastened together to act as one member. Fastening shall be either by details as shown on the drawings or by the requirement of the
- manufacturer. Simpson SDW / SDS screws are preferred at built-up beams and headers. 15. All sill plates shall be pressure treated and shall be set in full bed of sealant or set with compressible sill insulation to prevent air infiltration.
- 16. All exterior grade lumber and blocking shall be pressure treated and shall conform to AWPA standards.
- 17. Wood used within rated assemblies shall be fire-retardant treated in conformance with the Building Code of New York State.
- 18. Provide metal tension/hurricane accessories at all intersecting framing members and as indicated on the details. All framing shall be connected by required and applicable framing connectors manufactured by Simpson Strong Tie or U.S.P. and shall be hot dipped galvanized at locations in contact with pressure treated wood (and fastened with hot dip galvanized fasteners only) and shall be plated or galvanized for all interior locations. Fasteners used shall be as specified to carry the intended load. Toe-nailing shall not be acceptable as a structural wood connection. This includes joist hangers at all face-mount conditions, post and beam connectors at all post-to-beam conditions, post bases and post caps, member-to-member strap, ties and/or anchors. etc.
- 19. All structural sheathing shall be installed with the face grain perpendicular to the framing beneath. All load bearing elements shall be installed in direct contact with the load bearing element receiving the load. Align all joists over studs, rafters adjacent to and spike to joists, full bearing of joists and studs onto sills, etc. Discrepancies shall be remedied at Contractor's expense. All connections shall be with approved hot-galvanized metal connectors - toe
- nailing shall not be considered a positive structural connection. 20. Any wood-based exterior sheathing shall be finished and protected immediately after installation and shall not be subject or exposed to any adverse weather conditions or extensive exposure to the exterior environment.
- 21. Notching, boring, cutting and/or drilling of structural members shall be performed in a manner consistent with the limitations of the NYS Code, acceptable bst practices and per the manufacturer's requirements. No cutting, notching, boring, etc. shall occur outside of the allowable locations or in excess of the allowable number per mamber as indicated within the guidelines and limitations of the manufacturer's requirements or the permissible limitations of the NYS

### <u>DIVISION 07 - THERMAL AND MOISTURE PROTECTION:</u>

- 1. Gutters and leaders shall be of the type and thickness as shown on the drawings. Aluminum gutters and leaders shall be seamless and shall be a min. of 0.032"
- 2. All roof edges shall receive an aluminum drip edge and self-adhered ice / water shield.
- 3. L.C.C. denotes Lead Coated Copper and shall have a mimun weight of 20-oz. per square foot for exposed conditions (such as copings and exposed flashing) and I 6-oz. per square foot for totally concealed conditions.
- 4. Roofing shall be of a color as selected by Owner or indicated on the drawings. Roofing shall be of a lifetime warranty type and shall be installed with all accessories, flashing, stripping, edge condition assemblies, cant strips, penetration protection such as boots, etc. per the requirement of the manufacturer's warranty requirements and associated details. Roofing shall be installed with underlayment and ice / water shield. Roofing and all associated accessories shall be installed in a manner to maintain the manufacturer's lifetime warranty. In the event that new roofing adjoins existing, the new roofing shall match the existing in material, style and color.
- 5. All vapor barriers shall be rated for 1.0 perms or better.
- 6. All permeable underlayment applied to exterior sheathing at walls prior to the installation of Architectural Stone Veneer shall be Tyvek Stucco-Wrap (or approved materials as required by manufacturer) or shall be 30# felt paper. Consult cladding manufacturer for acceptable vapor retarding underlayment
- beneath stucco assembly 7. Fiberglass batt insulation installed within enclosed wall cavities shall be un-faced as manufactured by Certainteed. R-Value shall provided shall be as
- indicated on drawings.
- 8. Rigid foam insulation board shall be Owens-Corning XPS T&G 'Foamular' 250.
- 9. Provide all required sealants, backer rod, filler materials, etc. as required and indicated on the drawings. All sealants used shall be of a type designed specifically for that application. Final colors to match adjacent assemblies and as selected by Owner. Treadable Sealant shall be Sonolastic SL-2 pourable urethane by B.A.S.F. or equal; Sill, Window and Door Caulking shall be NP-1 by B.A.S.F. or equal. Consult roofing and water-proofing membrane manufacturers for sealants used at those locations.
- 10. Strictly follow waterproofing and roofing manufacturers instructions and application guidelines. Provide and install all required edge reinforcing strips, crack control accessories, etc. per the requirements of the manufacturer. Protect the membrane from damage and sunlight during and after application. Provide manufacturers and installers warranty to Owner.
- II. Interior waterproofing material for concrete and masonry shall by Xypex (or equal). 12. Provide spray-on waterprooing membrane and protection board at all below-grade foundation walls. Provide 4" drainage pipe with filter sock surround
- within a wall of washed and clean drainage stone (12" min width of wall) with filter fabric surround at all footings. Drainage pipe to go to daylight. 13. Install continuous bead (min. 1/8") both sides of wall at all perimeters (wall-to-floor, wall-to-wall, wall-to-ceiling/underside of deck) at common walls between sleeping units, dwelling units, corridors, and at all fire and smoke assemblies.
- 14. The building thermal envelope shall be durably sealed to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be caulked, gasketed, weatherstripped, or otherwise sealed with an air barrier material, suitable film or
- All joints, seams and penetrations.
- Site-built windows, doors and skylights. • Openings between window and door assemblies and their respective jambs and framing.
- Dropped ceilings and chases adjacent to the thermal envelope.
- Knee walls. • Walls and ceilings separating unconditioned space from conditioned space.
- Behind tubs and showers on exterior walls. Common walls between dwelling units. Use sealant labeled 'Acoustic Sealant/Caulk'.
- Any additional sources of potential infiltration not listed hereon.
- Contractor shall provide and install a permanent certificate in accordance with 401.3 of the Energy Conservation Construction Code of NYS. Certificate shall be posted on or in the electrical service panel and shall not cover or obscure any electrical panel labels, diagrams, circuitry, etc certificate shall have all the required information on the insulation values of the walls, ceilings, and floors, U-Values of all fenestration products, and the type and efficiency of heating, cooling and service water equipment. Consult with local municipality for additional requirements. Architect will not provide this certificate.

- 1. H.M. doors shall be min. 18-GA steel factory primed and prepped for field finish (factory applied finish optional). H.M. doors at exterior locations shall be insulated. H.M. frames shall be min. I 6-GA steel factory primed and prepped for field finish (factory applied finish optional).
- 2. Windows shall be Andersen Series-400 new construction-grade windows. Coordinate pre-finish or stain-grade interior w/ Owner prior to ordering. Assume premium-grade hardware upgrade for windows. 3. Keying of doors throughout as per Owner's requirements.
- 4. Interior wood doors shall be raised panel stile wood doors. Finish shall be a clear or semi-transparent stain w/ varnish/polyurethane finish coat.
- Rated door assemblies shall bear the required label 6. All door hardware and associated accessories (gaskets, sweeps, door stops, etc.) shall be coordinated between the Owner and the G.C.

### ITEMS NOT IN CONTRACT (N. I. C.) FOR GENERAL CONTRACTOR

- 1. MILLWORK FOR THE ARGO TEA SPACE.
- 2. FOOD SERVICE EQUIPMENT.
- 3. ASBESTOS ABATEMENT.

G.C. TO COORDINATE ITEMS NOT IN CONTRACT WITH REMAINDER OF WORK WITH OWNER (OR OTHERS THAT ARE SUPPLYING AND/OR INSTALLING SUCH ITEMS).

N.I.C. ITEMS HAVE BEEN INCLUDED WITHIN THIS SET FOR COORDINATION PURPOSES ACROSS ALL TRADES. G.C. TO COORDINATE ELECTRICAL, PLUMBING, ETC. WITH N.I.C. ITEMS.

**DIVISION 09 - FINISHES:** 

- I. All finishes shall comply with Code of New York State.
- 2. All gypsum wall board used in rated assemblies and over the boiler shall be 5/8" Fire-Rated and shall conform to ASTM C36. Provide moisture resistant wall board at locations prone to moisture - this includes toilet rooms and along walls with sinks and/or plumbing fixtures.
- 3. Where the term 'MATCH EXISTING' is indicated in the schedule, it shall mean that the existing finish shall be extended into the new or altered area of work - or - shall be replaced. In the case of locations of paint, it shall mean to repaint the surfaces. In the case of hardwood or tile, it shall mean to refinish or replace - coordinate with Owner.
- 4. Flooring shall be of a dimension and finish as selected by Owner. Contractor shall provide and install all flooring materials. Wood floors shall be finished by Contractor. Carpet as selected by Owner and installed by Contractor: coordinate w/ Owner.
- 5. Refer to finish schedule for additional finish information. 6. All paint shall be acrylic latex - see finish schedule for additional information. Provide one coat primer (compatible for applicable substrate) and two coats finish at all surfaces requiring painting. Color and sheen as selected by Owner. Paint shall be low-VOC (70 grams/liter or less)
- water-based acrylic latex. 7. Any wallpaper in spaces being affected by construction shall be removed and replaced per Owner: coordinate with Owner. 8. Provide 2-coats primer at all exterior metal surfaces receiving paint. Primer shall be of a high-quality low-VOC suitable for the material being

applied to. Prepare surface material as per the requirements of the paint manufacturer. Provide two coats finish coat of acrylic latex paint

- suitable for the primer being applied to. Color and sheen as selected by Owner. 9. Stain shall be oil-based - Minwax or equal. Color as selected by Owner - Contractor to provide match samples and/or mock-ups using wood species to match that installed.
- 10. Contractor shall provide and install all window and door units and frames, casing, saddles, hardware and sills, along with all base and crown
- II. Contractor shall prime and paint or stain all windows, doors trims, casings, moldings, walls, ceilings, woodwork, etc. that he installs that require site applied finishes
- 12. All finishes shall be per the Owners requirements and the following: flooring shall be non-porous and slip resistant; all counters shall have a 4" high backsplash minimum; wall behind range shall have a full-height non-flammable backsplash; and, all paints and primers shall be mold resistant and shall be easily cleanable.

13. Finishes throughout the building shall conform to Table 803.5 'Interior Wall and Ceiling Finish Requirements by Occupancy" and shall be equal to

or better than a Class-C rating for this application. Class-C Flame Spread of 76-200 and Smoke Developed of 0-450. It is recommended (but

not required) that finishes installed in Exit Enclosures and Exit Passageways be Class-B or better. (Class-B Flame Spread of 26-75 and Smoke

- Developed 0-450 14. Gypsum Wallboard Panels shall be USG Sheetrock Brand Firecode X Gypsum Panels unless noted otherwise. Approved equal accepted. This panel not for use as a tile backer.
- 15. Gypsum Wallboard Panels noted as 'Moisture Resistant' shall be USG Sheetrock Brand 'Mold-Tough' Glass Mat Panels or approved equal. These panels shall not be used in locations with direct water contact (i.s. showers, tubs, mop sinks, etc.).

### DIVISION 10 - SPECIALTIES \* N O T U S E D \*:

- 1. Contractor shall coordinate all equipment with Owner (appliances, mechanical equipment, etc.) 2. Contractor shall be responsible for verification of all field measurements and shall check and adjust as necessary the final layout with all field
- 3. Contractor shall coordinate all trades and all connections for each piece of equipment and shall locate such connections appropriately. G.C. shall be responsible for field coordination and for final installation of equipment to such connections. 4. G.C. shall be required to schedule all required inspections as necessary - this includes local (electrical, plumbing, etc.) and County-wide
- (Westchester County board of Health) inspections. G.C. shall be responsible for passing these inspections and any work required to pass such inspections shall be at their expense - cost shall not be transferred to Owner. 5. Contractor and tradesman shall coordinate their work with the work and locations of kitchen cabinetry, appliances, and fixtures. This includes, but shall not be limited to gas lines, water supply and waste lines, electrical, dedicated outlets for appliances, finishes, trim, etc.

### DIVISION 12 - FURNISHINGS:

1. All furniture shall be provided by Owner. G.C. to coordinate assembly and installation w/ Owner.

### DIVISION 14 - CONVEYING \* N O T U S E D \*:

DIVISION 13 - SPECIAL CONSTRUCTION \* N O T U S E D \*:

### **DIVISION 15 - MECHANICAL / PLUMBING:**

- 1. This project shall be filed under a separate Plumbing and Mechanical Permit . See Division 01, General Notes. 2. All equipment, accessories, and devicies associated with the Mechanical and Plumbing trades shall be installed using materials and systems as
- permitted by the NYS Code and the local municipality. 3. All bathrooms shall receive an exhaust fan (min. 100 c.f.m.) vented to the exterior. Control of fan shall be per code. Bathrooms without a
- window shall have the fan connected to the primary lighting switch. 4. Each Contractor shall coordinate their work with the General Contractor. Any conflicts shall be resolved between the G.C. and the trade
- 5. See 'DIVISION 6 WOODS AND PLASTICS' for restrictions and limitations for cutting notching and boring of structural members.
- 6. Plumbing Contractor shall perform any associated site work with modern standard practices with all required and accepted safety measures and in conformance to the Code. 7. Plumbing Contractor is responsible for setting all fixtures and hardware and shall make all connections to all plumbing devices, appliances and
- 8. Mechanical Contractor shall coordinate proposed systems with Owner including all thermostat controls, fuels sources, air and pipe distribution,
- etc. in order to provide a complete and operational system meeting the requirements of the Owner. 9. Mechanical Contractor shall prepare for and provide for any required blower-door or other mechanical test required by the local municipality and shall include such testing in their bid price.
- 10. Mechanical Contractor shall provide to the Owner and Architect a certified letter indicating that the installation meets all the requirements of the NYS Energy Conservation Code and the NYS Building Code at the close of the project and after all the inspections have been performed.
- II. Plumbing Contractor shall prepare for and provide any wet tests or other tests associated with the plumbing portion of the work with the local municipality and shall includ such testing in their bid price.

### 12. Architect shall not be requested to inspect, nor file any inspection affidavits for the installation of any mechanical systems.

- **DIVISION 16 ELECTRICAL:** 1. This project shall be filed under a separate Electrical Permit . See Division O1, General Notes.
- 2. All Electrical and Alarm components, systems, wiring, installation, and accessories shall be in conformance with the New York State Building Code, per NEC and per NFPA and all local Codes governing.
- 3. Coordinate type and locations all fixtures, switches, devices and outlets with Owner and per the requirements of the NEC and any authority having jurisdiction.
- 4. Electrical Contractor shall coordinate their work with the General Contractor. Any conflicts shall be resolved between the G.C. and the trade
- 5. See 'DIVISION 6 WOODS AND PLASTICS' for restrictions and limitations for cutting notching and boring of structural members. 6. Electrician shall coordinate all kitchen and service equipment (mechanical systems, electrical systems, etc.) with Owner and shall provide and
- install all required receptacles, circuits, G.F.C.I.'s, etc. as required for the complete function of the tenant space. 7. Provide exhaust fans or a ducted exhaust system in all showers and toilet rooms. Fan shall be installed with a rigid duct running directly to the
- 8. All fixtures located within bathrooms, kitchen areas and located outside shall be rated for wet service.
- 9. All surface fixtures shall have a cover or globe no bare-bulb fixtures permitted. IO. Provide hard-wired and interconnected life-safety detection system (smoke detectors, heat detectors, carbon monoxide detectors, etc.) in accordance with all applicable codes throughout the entire building. All smoke alarms shall be listed and installed in accordance with the
- provisions of the Code of New York State.
- II. Electrician shall request all electrical inspections and shall provide all inspection affidavits and proof of passed complying inspections as
- 12. All electrical fixtures shall be UL listed. All fixtures used in damp or exterior locations shall be rated for such application.
- 13. Coordinate trim kits and fixture finishes w/ Owner. 14. Architect shall not be requested to inspect, nor file any inspection affidavits for the installation of electrical or alarm systems.
- 15. Electrical Contractor shall provide and install a smoke detection system in accordance with the NYS Code throughout the dwelling. I 6. Additional low-voltage work required by the Owner (security, data and communication, etc.) shall be coordinated with the Owner and Electrical Contractor.

### Smoke Detectors and Alarms

In each sleeping room

Provide additional hard-wired and interconnected smoke and carbon-monoxide detection system in accordance with all applicable codes throughout the entire dwelling if there are detectors missing from locations indicated as required below. Smoke Alarms are required to be installed in the following locations:

 On each story of the dwelling (including basements) but not including crawl spacs and uninhabitable attics. • Install a carbon monoxide detector within 15-feet of a sleeping area on each level of the dwelling and on each level where there is a carbon

All smoke alarms shall be listed and installed in accordance with the provisions of the Building Code of New York State.

• Outside each separate sleeping area in the immediate vicinity of the bedroom,

Revisions & Issues Description Date Do not scale drawings. Each Contractor shall be responsible for all field measurements

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15.44 **GENERAL NOTES & ARCHITECTURAL SPECIFICATIONS** 100% ARCHITECTURAL SUBMISSION: FOR REVIEW

A-7.1

June 7, 2016

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