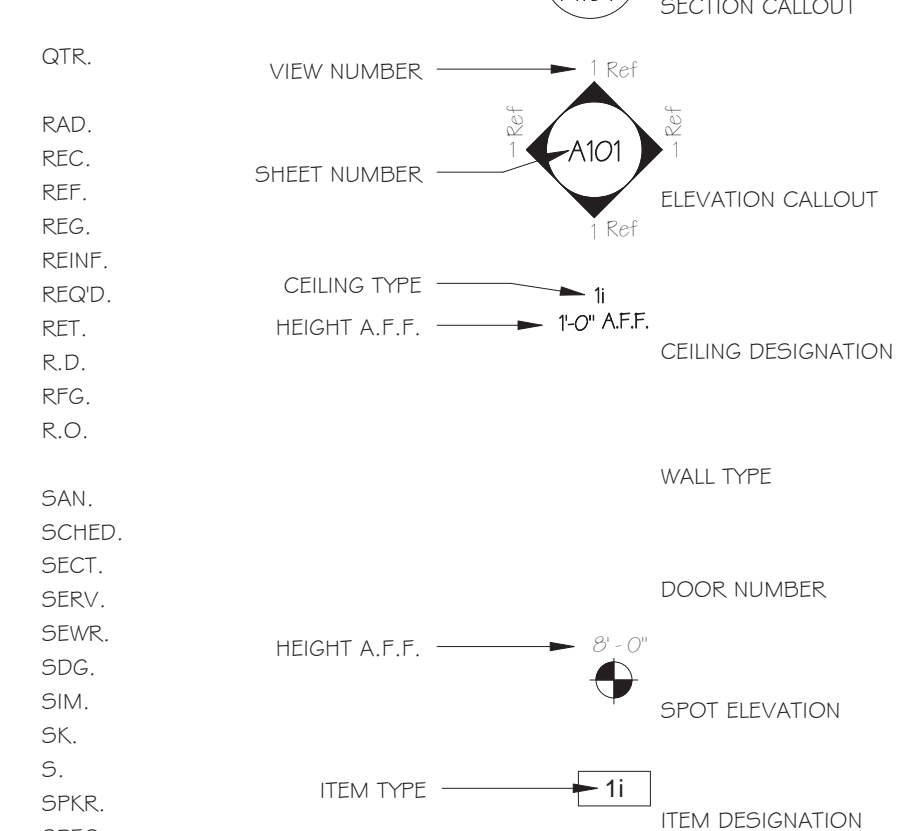
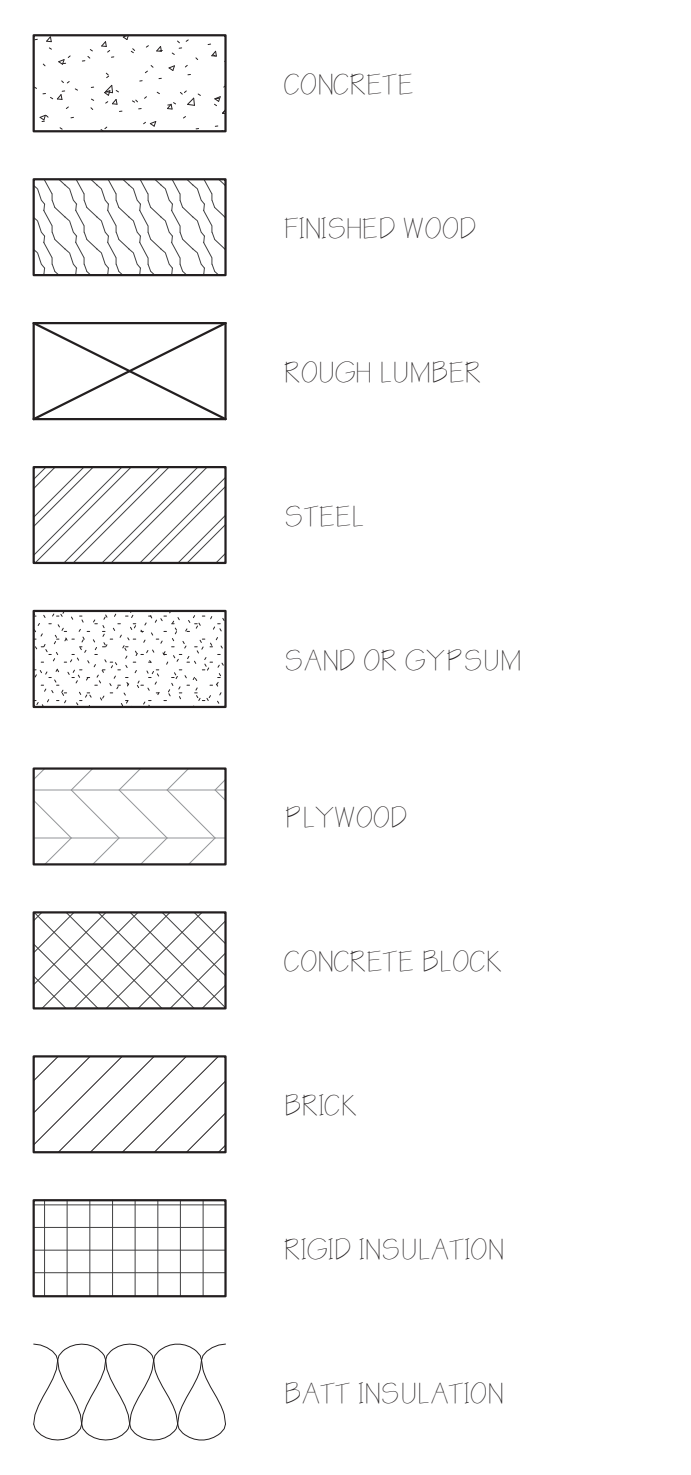


LIST OF ABBREVIATIONS

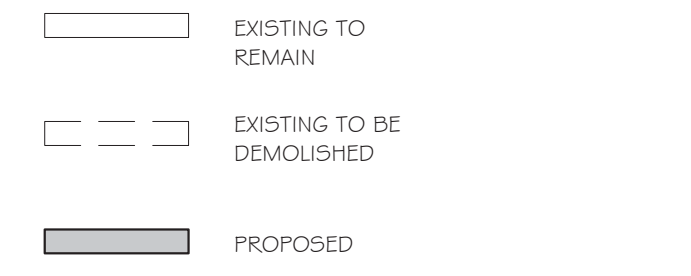
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|------------------------------------|-----------------------|-------------|-------------------|--------|---------------------------|--------|----------------------|---------|---------------------|---------|-------------------------------|--------|------------------------------------|---------------|-------------------|--------|
| A | Above Finished Floor | A.F.F. | Aluminum | ALUM. | Aluminum Anodized | ANOD. | Aluminum Approximate | APPROX. | Architect of Record | A.O.R. | Authority Having Jurisdiction | A.H.J. | Automatic Average | AUTO. AVG. | | |
| B | Bedroom | B.R. | Bench Mark | B.M. | Blocking | BLKG | Board | BD | Bottom | B.O.T. | Bottom of Beam | B.O.B. | Brass | BRS. | | |
| C | Cabinet | CAB. | Cable Television | CATV. | Carbon Monoxide Detector | C.O.2 | Carpet | CPT. | Cast Iron | C.I. | Cast-in Place | C.I.P. | Ceiling | CLG. | | |
| CLG. | Ceiling Height | CLG. HGT. | Cement Board | C.B. | Center | CTR. | Centerline | C.L. | Ceramic | CER. | Ceramic Tile | C.T. | Classroom | C.R. | | |
| CLEANOUT | Cleanout | C.O. | Clear | CLR. | Coated | CTD. | Cold Rolled | C.R. | Composition | COMP. | Concrete | CONC. | Concrete Masonry Unit Construction | C.M.U. CONST. | | |
| CONCRETE MASONRY UNIT CONSTRUCTION | Continue / Continuous | CONTR. | Coordinate | COORD. | Copper | CFR. | Corrugated | CORR. | Countersink | CSK. | Course / Courses | CS. | D | Degree | DEG. | |
| DETAIL | Diameter | DIA. | Dimension | DIM. | Dining Room | DR. | Double | DBL. | Down | DN | Drain | DRN. | Drawing | DWG. | Drinking Fountain | D.F. |
| E | Each | EA. | East | E. | Electric | ELEC. | Elevation | ELEV. | Elevator | ELEVTR. | Engineer of Record | E.O.R. | Equal | EQ. | Equipment | EQUIP. |
| EXHAUST | Existing | EXH. EXIST. | Expansion Joint | E.J. | Exterior | EXTR. | Extruded | EXT. | Fabricate | FAB. | Factory Mutual | F.M. | Fahrenheit | F. | Family Room | F.R. |
| FEET / FOOT | Finish / Finished | FIN. | Fire Extinguisher | F.E. | Fire Extinguisher Cabinet | F.E.C. | Fireproof | F.P. | Floor | FLR. | Floor Drain | F.D. | Footing | FTG. | Foundation | FOUND. |
| FRAMING | | FRMG. | | | | | | | | | | | | | | |



SYMBOLS
No Scale



GRAPHICS LEGEND
No Scale



WALL LEGEND
No Scale

NEW YORK STATE BUILDING CODE NOTES

BUILDING INFORMATION

CONSTRUCTION TYPE: II-B
CURRENT USE: B - BUSINESS (COLLEGE)
PROPOSED USE: A-2 (ASSEMBLY)
HEIGHT: 1 STORY PLUS BASEMENT
OCCUPANCY: 15 n.s.f. / OCCUPANT (TABLES & CHAIRS)

CLASSIFICATION OF WORK: 2010 EXISTING BUILDING CODE OF NEW YORK STATE: CHANGE OF OCCUPANCY - CHAPTER 9

SECTION 901 - GENERAL
1. Scope of work is considered a change of occupancy per 901.1.1.

SECTION 902 - SPECIAL USE AND OCCUPANCY
1. Not applicable.

SECTION 903 - BUILDING ELEMENTS AND MATERIALS
1. All new building elements and materials shall conform with the applicable portions of the Building Code of New York State.

SECTION 904 - FIRE AND LIFE-SAFETY PROTECTION
1. Smoke detection system is proposed.
2. Altered space to be outfitted with a new sprinkler system in accordance to 903.3.1.1 (NFPA 13 sprinkler system).

SECTION 905 - MEANS OF EGRESS
1. Existing means of egress supplemented with an additional egress point to conform with current portions of Chapter 11 of the Building Code of New York State.
2. Proposed scope of work meets the requirements of Chapter 10.
3. No reduction in the required means of egress proposed.
4. Distance between two exit access locations are in excess of 33% diagonal distance per 1015.2.1 Exception #2. Overall approximate diagonal distance is 65-feet. distance between egress of doors is approximately 33-feet.

SECTION 906 - ACCESSIBILITY
1. Proposed scope of work does not conflict with any requirements of Chapter 11 of the Building Code of New York State.
2. Proposed toilet rooms meet the minimum requirements for handicap accessibility.

SECTION 907 - STRUCTURAL
1. Scope of work does not impose minor increase in loads to some existing structural systems. Existing system still capable of meeting the code requirements.
2. Scope of work does not increase any gravity, snow, or seismic loads.

SECTION 908 - ELECTRICAL
1. All new electrical work shall conform to the requirements of the Building Code of New York State, the National Electrical Code and all other codes and regulations having jurisdiction.

SECTION 909 - MECHANICAL
1. New HVAC being installed throughout altered space - some existing mechanical equipment proposed to remain.
2. All new HVAC work shall conform to the requirements of the Building Code of New York State and all other codes and regulations having jurisdiction.

SECTION 910 - PLUMBING
1. All new plumbing work shall conform to the requirements of the Building Code of New York State and all other codes and regulations having jurisdiction.
2. Proposed scope of work provides toilet facilities in conformance with the Building Code and the Plumbing Code of New York State.

SECTION 911 - OTHER REQUIREMENTS
1. No reduction in existing natural light and ventilation proposed.

SECTION 912 - CHANGE OF OCCUPANCY CLASSIFICATION
1. 912.1 - Proposed scope of work conforms with chapter 9 of The Existing Building Code of New York State.
2. 912.2 - Altered space will be equipped throughout with a sprinkler system.
3. 912.3 - Interior finishes shall conform with the New York State Building Code.
4. 912.4 - Existing means of egress is not being altered. Currently conforms with the requirements of Chapter 11 of the Building Code of New York State. Existing means of egress currently meets the requirements of Chapter 10 of the Building Code of New York State.
5. 912.5 - Current building assembly, construction, height and area are in conformance with the Building Code of New York State.
6. 912.6 - Existing building and proposed occupancy do not require opening protectives or exterior fire resistance ratings, conformance with this section not required.
7. 912.7 - No vertical shafts exist. Conformance with this section not required.
8. 912.8 - Accessibility for the proposed work is in conformance with this section.

OCCUPANCY CALCULATIONS
BOYS: 1004.11 - FLOOR AREA PER OCCUPANT
USE: A-2 - AREA: 1295 N.S.F. OCC: 116 = 106 PERSONS
USE: B - AREA: 475 G.S.F. OCC: 1200 = 3 PERSONS

EGRESS CALCULATIONS
BOYS: 1004.11 - FLOOR AREA PER OCCUPANT
OCCUPANCY: 109 PERSONS

PLUMBING FIXTURE CALCULATIONS
POYS: 402.1 - MINIMUM PLUMBING FIXTURES
OCCUPANTS: 109

SPACE OCCUPANCY CALCULATION
109 PERSONS

PER USE CALCULATION
A-2 - DINING AREA - UNCONCENTRATED TABLES & CHAIRS
1525 N.S.F. / 15 N.S.F. PER OCCUPANT = 106

B - OFFICE
73 N.S.F. / 100 G.S.F. PER OCCUPANT = 1

B - PREPARATION AREA
402 G.S.F. / 200 G.S.F. PER OCCUPANT = 2

EGRESS WIDTH REQ'D (SPRINKLERED BUILDING)
STAIR WIDTH: 0.2 IN. / OCCUPANT
COMPONENTS: 0.15 IN. / OCCUPANT

DOORS: 109 x 0.15 = 17" (144" MIN. PROVIDED)

NUMBER OF EXITS PER FLOOR
109.1 REQUIRES 2 MEANS OF EGRESS.
2 MEANS PROVIDED. DISTANCE BETWEEN TWO EXITS ARE GREATER THAN 1/3 DIAGONAL DISTANCE. SEE EXCEPTION IN CODE NOTES ON THIS SHEET

TRAVEL DISTANCE (SPRINKLERED)
TABLE 1016.1 - MAX. 200 FEET PERMITTED
ACTUAL TRAVEL DISTANCE (LONGEST MEASUREMENT)
FIRST FLOOR: 65 FEET

110 PERSONS (75 PER GENDER)
REQUIRED FIXTURES:
TOILET REQ'D: 1 / 75 (1 PER GENDER)
LAV. REQ'D: 1 / 75 (1 PER GENDER)
J.S. REQ'D: 11 TOTAL

PROVIDED FIXTURES:
TOILET PROV.: 2
LAV. PROV.: 2
J.S. PROV.: 1

ITEMS NOT IN CONTRACT (N. I. C.) FOR GENERAL CONTRACTOR

- MILLWORK FOR THE ARGO TEA SPACE.
- FOOD SERVICE EQUIPMENT.
- ASBESTOS ABATEMENT.

G.C. TO COORDINATE ITEMS NOT IN CONTRACT WITH REMAINDER OF WORK WITH OWNER (OR OTHERS THAT ARE SUPPLYING AND/OR INSTALLING SUCH ITEMS).

N.I.C. ITEMS HAVE BEEN INCLUDED WITHIN THIS SET FOR COORDINATION PURPOSES ACROSS ALL TRADES. G.C. TO COORDINATE ELECTRICAL, PLUMBING, ETC. WITH N.I.C. ITEMS.

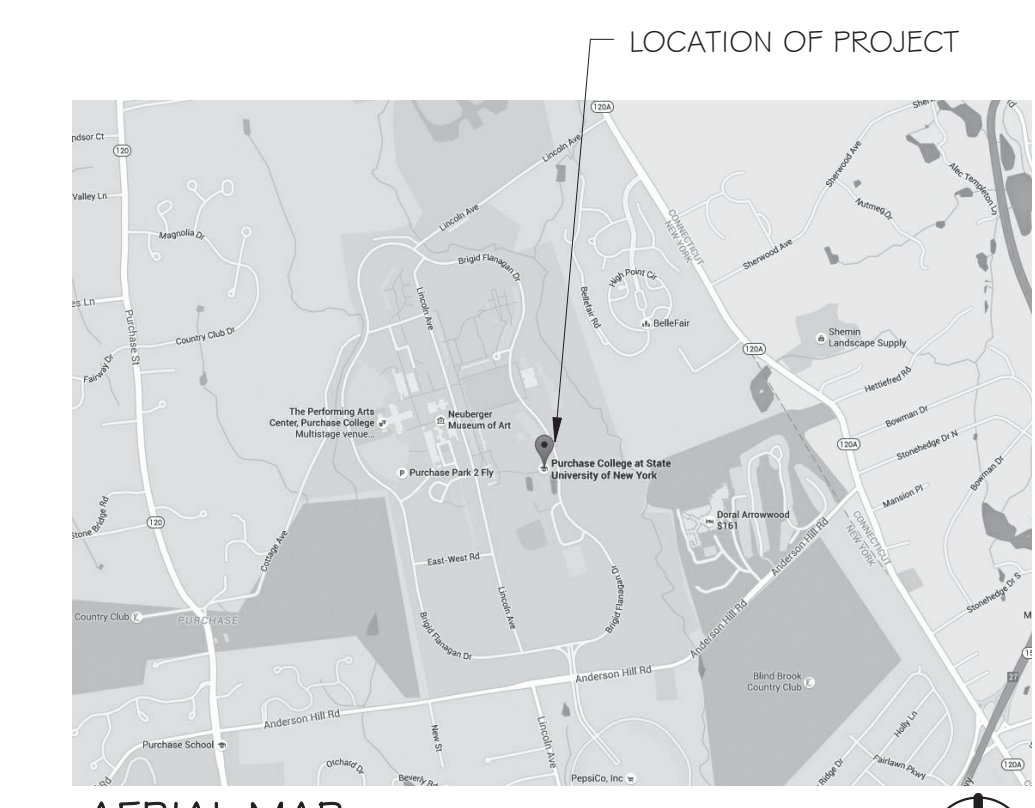


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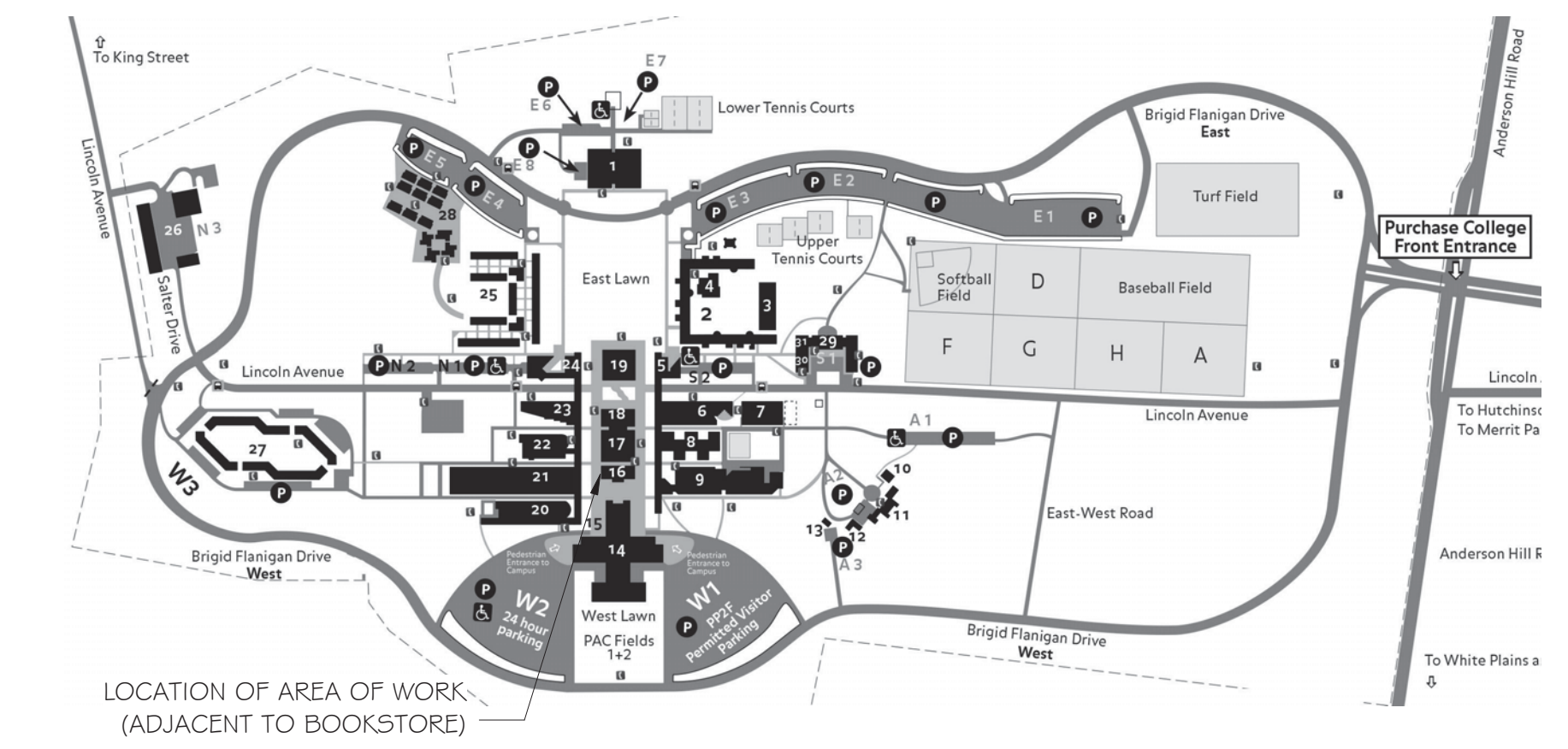
Purchase College

STATE UNIVERSITY OF NEW YORK

735 Anderson Hill Road
Purchase, NY 10577



AERIAL MAP
No Scale



LOCATION MAP
No Scale

| Revisions & Issues | | |
|--------------------|-------------|------|
| No. | Description | Date |
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Do not scale drawings. Each Contractor shall be responsible for all field measurements.

Client / Project

AT

Purchase College
STATE UNIVERSITY OF NEW YORK

SUNY PURCHASE

735 Anderson Hill Road
Purchase, NY 10577

IT Consultant

244 FIFTH AVE - SUITE M230 - NEW YORK, N.Y. 10001
MORAIS C. MIRANDA, RCDD - 917-533-3689

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M.E.P. Engineer

Southport Engineering Associates, PC
11 Bailey Avenue
Ridgefield, CT 06877
Tel.: (203) 431-6844
Fax: (203) 431-6877

Structural Engineer

32 Old Slip, 10th Floor
New York, NY 10005
Tel.: (212) 620-7970

Seal

It is a violation of the New York State Education Law to alter these documents in any way once the seal and signature have been affixed by the Architect.

Architect

DAVID A. TETRO
ARCHITECT P.C.
AIA - LEED A.P. - NCARB

302 Lewis Avenue
Yorktown Heights, NY 10598
914-962-3113 - tel.
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| | | | |
|---|---------------------|------------|-------|
| Issue Date: | June 7, 2016 | Sheet No.: | A-1.0 |
| Project No.: | 15.44 | | |
| Sheet Title: | PROJECT INFORMATION | | |
| 100% ARCHITECTURAL SUBMISSION: FOR REVIEW | | | |

DEMOLITION KEY

1 SYMBOL ON PLAN REFERENCES KEYNOTES BELOW

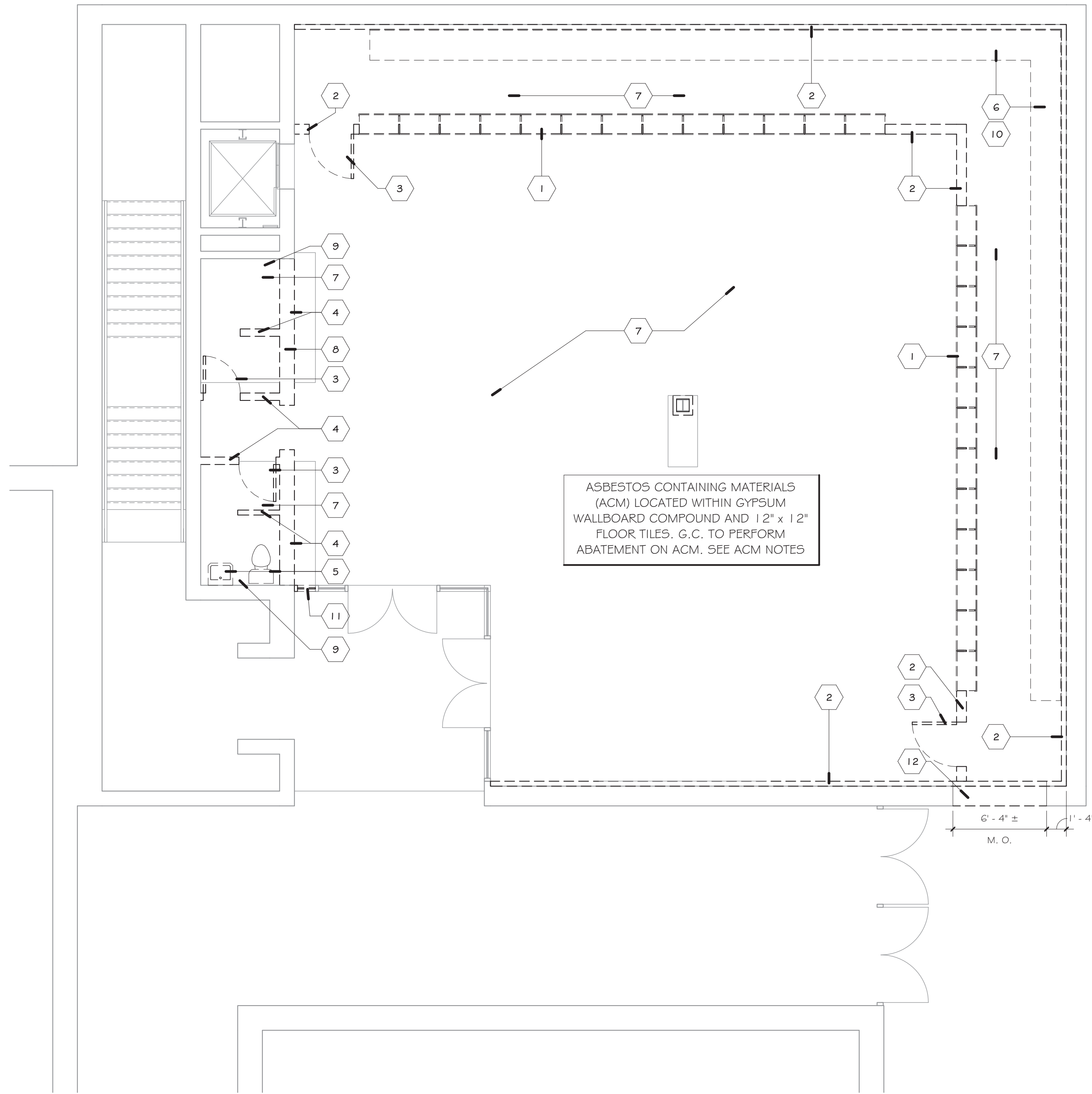
- 1 REMOVE ALL EXISTING MAILBOXES: COORDINATE RE-USE OR STORAGE WITH OWNER: PROTECT UNITS AND AVOID DAMAGING UNITS DURING REMOVAL AND STORAGE
- 2 REMOVE INTERIOR NON LOAD-BEARING WALL AND ALL ASSOCIATED FRAMING AND BLOCKING AND SUPPORTS
- 3 REMOVE DOOR, FRAME AND ALL ASSOCIATED HARDWARE
- 4 REMOVE INTERIOR NON LOAD-BEARING CMU WALL AND ALL ASSOCIATED FRAMING AND BLOCKING AND SUPPORTS
- 5 REMOVE TOILET FIXTURES AND ALL ASSOCIATED HARDWARE AND ASSOCIATED PLUMBING AND CARRIERS: PREP FOR NEW FIXTURES IN RELOCATED AREAS: PATCH AREAS AS NECESSARY TO MATCH ADJACENT FINISHES
- 6 REMOVE ALL CASEWORK AND BUILT-INS THROUGHOUT WORK AREA
- 7 REMOVE ALL FLOORING AND PREP FOR NEW FLOOR FINISH
- 8 PROTECT EXISTING BEAM OVER WALL DURING DEMOLITION OF WALL: MAINTAIN EXISTING FIREPROOFING AND PROVIDE NEW FIREPROOFING AT BOTTOM OF BEAM
- 9 REMOVE ALL EXISTING TOILET ROOM ACCESSORIES, PARTITIONS, ETC.
- 10 REMOVE ALL EXISTING WALL-MOUNTED ACCESSORIES AND ITEMS: PATCH AS NECESSARY FOR NEW CONSTRUCTION
- 11 REMOVE GLASS, MODIFY EXISTING MULLIONS FOR NEW WALL AND PROVIDE NEW TEMPERED GLASS TO MATCH EXISTING AT MODIFIED OPENING
- 12 REMOVE PORTION OF EXISTING EXTERIOR WALL ASSEMBLY FOR NEW DOOR AND LINTEL: CUT PLUMB
- 13 REMOVE EXISTING CEILING TILE AND GRID AND SUSPENSION SYSTEM ALONG WITH ALL LIGHTING, DIFFUSERS, REGISTERS AND ACCESSORIES: VERIFY MAINTAINING OF EXISTING ALARM SYSTEM DURING CONSTRUCTION WITH AUTHORITY HAVING JURISDICTION
- 14 EXISTING EXIT SIGN TO REMAIN DURING DEMOLITION: TO BE REPLACED WITH NEW AT APPROPRIATE TIME DURING CONSTRUCTION

ACM NOTES

1. AN ASBESTOS INSPECTION WAS PERFORMED BY QUALITY ENVIRONMENTAL SOLUTIONS & TECHNOLOGIES, INC. (QUEST) AND THE FINDINGS WERE DOCUMENTED IN A LETTER DATED AUGUST 31, 2015. ASBESTOS CONTAINING MATERIALS (ACM) WERE GENERALLY FOUND WITHIN THE AREA OF WORK.
2. LOCATIONS OF ACM, WHICH MAY BE SHOWN ON THESE CONSTRUCTION DOCUMENTS, ARE APPROXIMATE. CONTRACTOR SHALL REFER TO THE ASBESTOS REPORT FOR LOCATIONS OF ACM AND OTHER RELATED HAZARDOUS MATERIALS THAT REQUIRE ABATEMENT.
3. OWNER SHALL RETAIN A QUALIFIED AND LICENSED EXPERT TO SAFELY REMOVE OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE IN ACCORDANCE WITH ALL LAWS, RULES, AND REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION.
4. OWNER AND/OR ACM REMOVAL CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY THE ARCHITECT, ENGINEER, AND OTHER PROFESSIONAL CONSULTANTS RELATED TO THIS PROJECT, AGAINST ANY CLAIMS FOR DAMAGES BY ANY PARTY, INCLUDING LEGAL FEES AND RELATED EXPENSES, WHICH MAY RESULT IN ANY WAY FROM SUBSTANCE EXPOSURE ON THE PROJECT.
5. THE REMOVAL AND DISPOSAL OF ANY EXISTING ASBESTOS CONTAINING MATERIAL FROM THE PREMISES SHALL BE PERFORMED IN STRICT ACCORDANCE WITH NY STATE, FEDERAL AND LOCAL GOVERNMENT, OSHA AND EPA GUIDELINES.
6. ADDITIONAL ACM MAY BE PRESENT IN THE AREA ADJACENT TO THE PROJECT AREA. CARE MUST BE TAKEN BY THE CONTRACTOR NOT TO DISTURB ANY BUILDING MATERIALS OUTSIDE THE LIMITS OF THE WORK WITHOUT PRIOR APPROVAL FROM SUNY PURCHASE.
7. THIS PROJECT IS A RENOVATION PROJECT AND NOT A COMPLETE DEMOLITION OF THE BUILDING'S ACM. THEREFORE, THE CONTRACTOR WILL NOT BE REMOVING THE ENTIRETY OF HAZARDOUS MATERIALS FROM THE BUILDING. THE ONLY HAZARDOUS MATERIALS REMOVED SHALL BE LIMITED TO THOSE WITHIN THE AREA OF THIS PARTICULAR PROJECT, UNLESS DIRECTED OTHERWISE BY THE OWNER OR THE AUTHORITY HAVING JURISDICTION.
8. THE ACM REMOVAL CONTRACTOR SHALL FURNISH ALL MATERIALS, TOOLS, EQUIPMENT, PROTECTION MEASURES, SIGNAGE, ETC. AS REQUIRED FOR A COMPLETE AND COMPLIANT DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS.
9. ACM DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY THE ABATEMENT ACTIVITIES TO ANY BUILDING COMPONENTS OR SYSTEMS THAT ARE TO REMAIN, INCLUDING BUT NOT LIMITED TO EXISTING WALLS, FLOORS, CEILINGS, FIREPROOFING, BUILDING STRUCTURE OR SYSTEMS, MEP SYSTEMS, ETC. ANY DAMAGE MUST BE REMEDIED BY THE ACM CONTRACTOR TO THE ORIGINAL CONDITIONS BY THE COMPLETION OF ABATEMENT ACTIVITIES AT THEIR OWN EXPENSE AND WITHOUT AFFECTING THE OVERALL CONTRACT TIME.
10. THE ACM CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DEMOLISH FLOORING, CEILINGS, BUILT-INS, ETC. IN ORDER TO ACCESS AND REMOVE THE HAZARDOUS MATERIALS. ACM CONTRACTOR TO COORDINATE WITH G.C. ON ITEMS REQUIRING REMOVAL TO ACCESS THE HAZARDOUS MATERIALS.
11. OWNER SHALL RETAIN A QUALIFIED AIR TESTING AGENCY TO MONITOR ABATEMENT PROCEDURES ACCORDINGLY.
12. THE ARCHITECT HAS NOT BEEN RETAINED FOR THE DISCOVERY OF ANY ASBESTOS CONTAINING MATERIALS, NOR FOR ANY OTHER HAZARDOUS MATERIALS, NOR HAS BEEN RETAINED FOR THE LOCATION OR REMOVAL OF ANY SUCH ITEMS AND THEREFORE SHALL NOT BE HELD LIABLE OR RESPONSIBLE FOR ANY DISCOVERY OR REMOVAL OF SAME. ANY ADDITIONAL HAZARDOUS MATERIALS LOCATED OR DISCOVERED DURING THE COURSE OF THE DEMOLITION WORK SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY.

DEMOLITION NOTES

1. The General Contractor / Sub-Contractors shall perform all demolition work as necessary in order to carry out the Work within this Contract. The contractor shall not consider these demolition notes to be all-inclusive. It is the Contractor's responsibility to inspect and assess each area and to fulfill the intent of the design indicated by the contract documents. Contractor shall coordinate demolition work with HVAC, electrical, fire protection and plumbing trades and proposed work and carry out such work accordingly. All necessary disconnects of equipment and systems shall be included.
2. The General Contractor shall visually inspect all existing conditions and shall coordinate any outstanding demo issues with the Architect prior to beginning Work. Notify Architect of discrepancies between existing conditions and Drawings before proceeding with any Work. Some portions of the Work may not specifically or graphically be shown on the plans but shall still remain as a requirement for Work to be performed (i.e. electrical wiring, ductwork, some partitions, etc.)
3. In the event that this project requires, or the Owner requests, a separate Demolition Permit, it shall be the responsibility of the Contractor to apply for, pay for, and obtain such permit. All applicable permits, inspections, approvals, etc. shall be applied for and paid for by the trade Contractor(s) required to do so in the field of his Work. Contractor shall be responsible for the coordination of inspections and approvals of said Work. A copy of the municipality approved plans, stamped with the permit number, shall be kept at site together with any revisions and addenda made during construction.
4. Architect is not retained for supervision of construction demolition nor for construction demolition methods, safety procedures and programs, scheduling, delays, or compliance with contract documents. However, the Architect may observe the Work in progress by means of periodic site visits. If requested, the Architect will provide interpretation of the drawings and code requirements as necessary. These observations and interpretations do not relieve the Contractor from any responsibility to carry out the Work in accordance with the Contract Documents or requirements of the Building Code or municipalities having jurisdiction.
5. Contractor shall comply with any governing EPA notification regulations before beginning any demolition Work. Comply with hauling and disposal regulations of authorities having jurisdiction. Comply with ANSI A10.G and NFPA 241 and all standards required by Authorities having jurisdiction if required for this particular project.
6. Any controlled inspections and/or certifications required by governing authorities having jurisdiction over the project shall be performed and certified by a licensed Professional Engineer either retained by the Owner or the General Contractor. This must be coordinated between the two parties prior to the start of the Work.
7. Consult Engineering notes for extent of existing building systems to be removed or to be relocated. Removal work is intended to include all associated built-in items such as electrical/data outlets, switches, conduits, controls, piping, mounting blocks, etc. Refer to MEP drawings for procedures concerning these trades in demolition areas or coordinate with associated trades if MEP drawings are not part of the Construction Documents. G.C. shall remove all existing conduit and associated wiring not used back to panel. All existing data wiring and devices shall be removed back to distribution panel.
8. G.C. shall be responsible to protect all interior walls, ceiling and floors, MEP systems, etc. that are to remain from damage during demolition and construction and shall be responsible for the replacement of any items that are damaged as a result of demolition.
9. Contractor shall maintain all measures of sanitation (HEPA filters, negative pressurized areas, compartmentalization measures, sticky mats, etc.) as required by the New York State Department of Health regulations if applicable for this particular project.
10. Provide dumpster for debris removal. Coordinate location with Owner. Remove demolition materials by the end of each work day and vacuum public/common areas before leaving Site. Transport demolished materials off property and legally dispose of them at intervals as necessary to prevent build-up or overflow of demolished material.
11. Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them in an EPA-approved landfill.
12. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent. Do not allow demolished materials to accumulate on-site. Do not burn demolished materials. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
13. Maintain existing services/systems as necessary to carry out the Work and to maintain services to adjacent properties or tenants. Provide temporary services if existing is insufficient. Protect services against damage during course of the Work.
14. The General Contractor, and/or Plumbing Contractor and Electrical Contractor, must contact the corresponding utility company in advance of any Work requiring removal, modification, or replacement of services and/or meters. Each Contractor is responsible, in a timely manner, for acquiring permits and paying such fees, scheduling inspections and acquiring all approvals and close-out documents and procedures as required by the associated utility company or service.
15. Maintain fire-protection facilities in service during course of the Work as required by the local municipality. Coordinate times, locations and zones of any areas where fire protection or life safety (including any system or service lines i.e. oxygen, suction, etc.) services need to be suspended or offline with the Owner in advance of any work that may affect such operation. Do not proceed with any demolition work of these items without obtaining approval and/or notice by the Owner.
16. All Work in a public Right Of Way is subject to the requirements of the D.P.W. and/or Town Engineer. Contractor shall be responsible for acquiring a permit from D.P.W. for this Work, providing and acquiring bond, adhering to all D.P.W. specifications and obtaining written approval from D.P.W. and/or Town Engineer at completion of Work.
17. Conduct demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities. Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain and to ensure safe passage of people around Work area and to and from occupied portions of building.
18. Provide temporary weather protection to prevent water leakage and damage to structure and interior areas. Protect walls, ceilings, floors, and other existing finish Work that are to remain or that are exposed during the course of the Work. Cover and protect furniture, furnishings, and equipment that have not been removed.
19. General Contractor shall be responsible for all shoring, scaffolding, needle beams, etc. as may be required for this Work and for the support and stability of the structure during demolition, modification, erection Work, or any other Work on this project. The General Contractor, or the scaffolding contractor, shall provide to the Architect and (if required) the Building Inspector, a stamped plan or specification prepared by a New York State Licensed Professional Engineer for any lateral and vertical temporary supports.
20. Contractor shall provide all temporary shoring (shoring, needle beams, temporary posts, temporary beams, temporary girders, etc.) for support of load-bearing elements that are to remain in a safe and secure manner. In situations where proposed structure installation cannot occur during the demolition phase, contractor shall provide all required temporary supports and shoring.
21. Architect not responsible for the design, designation, location, or assembly of any temporary shoring. In the event that advanced shoring may be required, the Contractor shall provide their own NYS Licensed Structural Engineer to design the appropriate shoring and shall provide signed and sealed drawings for the Building Department as necessary.
22. Contractor shall provide and maintain temporary lighting for safety purposes and shall provide temporary electric and plumbing as necessary to carry out the demolition work. Contractor shall provide and maintain fire extinguishers on site during the course of the work. Type of extinguisher shall be determined by the nature of the work. Fire extinguishers shall be readily accessible at all times.
23. Patch all construction and assemblies that are to remain in accordance with the contract drawings. Where contractor is designated to make removals, disposition of materials is the responsibility of the contractor. Verify with owner, the disposition and removal of any components of salvageable value.
24. Clean spaces, surfaces, adjacent structures and improvements of dust, dirt, and debris caused by demolition operations - this includes areas of travel, dumpster and carting locations and locations outside the Area of Work. Return adjacent areas to condition existing before selective demolition operations began.
25. Patch or rebuild any areas to remain that have been damaged or disturbed by HVAC, electrical, fire protection and plumbing demolition.
26. Architect not retained, nor responsible, to locate or for the identification, removal, testing and / or certification of removal relative to any hazardous substance including, but not limited to, PCBs, petroleum, mold infestation, hazardous waste, asbestos, lead paint, lead piping, and similar substances. If asbestos, or any other toxic substance, or risk to exposure thereto, is discovered during Work on the project, Contractor shall have the duty to inform the Owner and to coordinate and promptly retain a qualified expert to identify and safely remove or supervise the removal and the monitoring of the removal of such asbestos or other toxic substance.
27. Owner and Contractor shall indemnify and hold Architect harmless from any and all liability on the part of or damage to such entity, including the costs of any legal fees and expenses, as such fees and expenses are incurred, which may result from asbestos or other toxic substance exposure on the project. Contractor shall hold harmless the Owner, the Architect, Engineers, and Professional Consultants related to this project, against claims for damages by any party, including legal fees, which may result in any way from this Work.
28. The removal and disposal of any asbestos containing materials, hazardous materials, or any toxic or controlled materials, from the premises shall be performed and carried out by the Contractor performing such work in strict accordance with New York State, Federal, and Local Government, OSHA and EPA guidelines and requirements.



1 MAIN FLOOR PLAN - DEMOLITION
3/16" = 1'-0"

**ASBESTOS ABATEMENT
(N. I. C.)**

| <p>Revisions & Issues</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table> <p>Do not scale drawings. Each Contractor shall be responsible for all field measurements.</p> | No. | Description | Date | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | <p>Client/Project</p> <p>argo tea.</p> <p>AT</p> <p>Purchase College</p> <p>STATE UNIVERSITY OF NEW YORK</p> <p>SUNY PURCHASE</p> <p>735 Anderson Hill Road Purchase, NY 10577</p> | <p>IT Consultant</p> <p>TECHNOLOGY SOLUTIONS design group</p> <p>244 FIFTH AVE - SUITE M230 - NEW YORK, N.Y. 10001 MORAIS C. MIRANDA, RCDD - 917-533-3689</p> <p>Copyright © 2011-David A. Tetro, Architect P.C.. No part of this document or design may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for legal action and/or compensation to the Architect.</p> | <p>M.E.P. Engineer</p> <p>Southport Associates</p> <p>Southport Engineering Associates, PC 11 Bailey Avenue Tel.: (203) 431-6844 Ridgefield, CT 06877 Fax: (203) 431-6877</p> <p>Structural Engineer</p> <p>Silman</p> <p>32 Old Slip, 10th Floor Tel.: (212) 620-7970 New York, NY 10005</p> | <p>Seal</p> <p>It is a violation of the New York State Education Law to alter these documents in any way once the seal and signature have been affixed by the Architect.</p> | <p>Architect</p> <p>DAVID A. TETRO</p> <p>ARCHITECT P.C.</p> <p>AIA - LEED A.P. - NCARB</p> <p>302 Lewis Avenue Yorktown Heights, NY 10598 914-962-3113 - tel. 914-962-3393 - fax dtdesign@verizon.net www.DavidTetroArchitect.com</p> | <p>Issue Date: June 7, 2016</p> <p>Project No.: 15.44</p> <p>Sheet No.: A-1.1</p> <p>DEMOLITION FLOOR PLAN AND NOTES</p> <p>100% ARCHITECTURAL SUBMISSION: FOR REVIEW</p> |
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DEMOLITION KEY

1 SYMBOL ON PLAN REFERENCES KEYNOTES BELOW

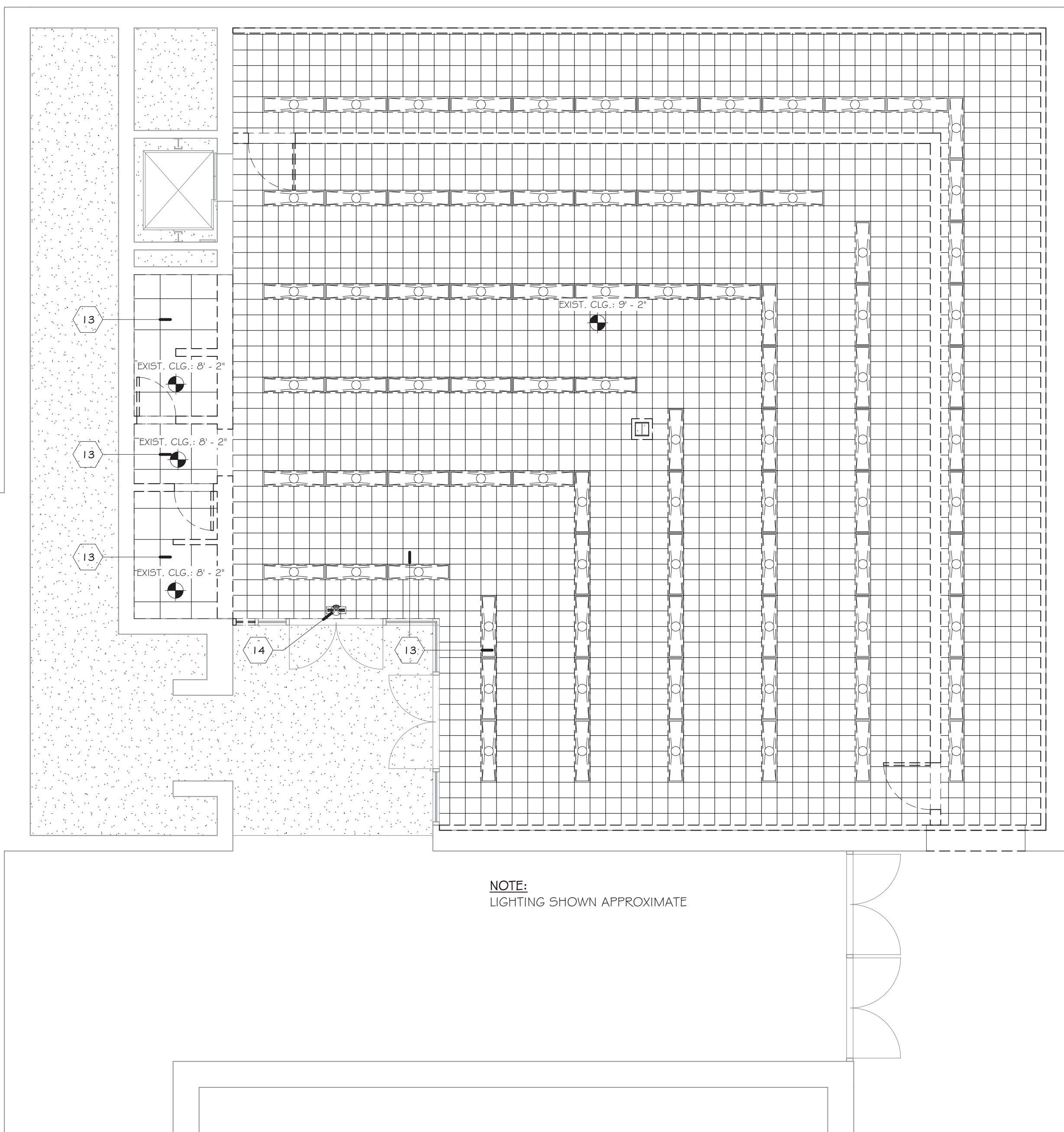
- 1 REMOVE ALL EXISTING MAILBOXES: COORDINATE RE-USE OR STORAGE WITH OWNER: PROTECT UNITS AND AVOID DAMAGING UNITS DURING REMOVAL AND STORAGE
- 2 REMOVE INTERIOR NON LOAD-BEARING WALL AND ALL ASSOCIATED FRAMING AND BLOCKING AND SUPPORTS
- 3 REMOVE DOOR, FRAME AND ALL ASSOCIATED HARDWARE
- 4 REMOVE INTERIOR NON LOAD-BEARING CMU WALL AND ALL ASSOCIATED FRAMING AND BLOCKING AND SUPPORTS
- 5 REMOVE TOILET FIXTURES AND ALL ASSOCIATED HARDWARE AND ASSOCIATED PLUMBING AND CARRIERS: PREP FOR NEW FIXTURES IN RELOCATED AREAS: PATCH AREAS AS NECESSARY TO MATCH ADJACENT FINISHES
- 6 REMOVE ALL CASEWORK AND BUILT-INS THROUGHOUT WORK AREA
- 7 REMOVE ALL FLOORING AND PREP FOR NEW FLOOR FINISH
- 8 PROTECT EXISTING BEAM OVER WALL DURING DEMOLITION OF WALL: MAINTAIN EXISTING FIREPROOFING AND PROVIDE NEW FIREPROOFING AT BOTTOM OF BEAM
- 9 REMOVE ALL EXISTING TOILET ROOM ACCESSORIES, PARTITIONS, ETC.
- 10 REMOVE ALL EXISTING WALL-MOUNTED ACCESSORIES AND ITEMS: PATCH AS NECESSARY FOR NEW CONSTRUCTION
- 11 REMOVE GLASS, MODIFY EXISTING MULLIONS FOR NEW WALL AND PROVIDE NEW TEMPERED GLASS TO MATCH EXISTING AT MODIFIED OPENING
- 12 REMOVE PORTION OF EXISTING EXTERIOR WALL ASSEMBLY FOR NEW DOOR AND LINTEL: CUT PLUMB
- 13 REMOVE EXISTING CEILING TILE AND GRID AND SUSPENSION SYSTEM ALONG WITH ALL LIGHTING, DIFFUSERS, REGISTERS AND ACCESSORIES: VERIFY MAINTAINING OF EXISTING ALARM SYSTEM DURING CONSTRUCTION WITH AUTHORITY HAVING JURISDICTION
- 14 EXISTING EXIT SIGN TO REMAIN DURING DEMOLITION: TO BE REPLACED WITH NEW AT APPROPRIATE TIME DURING CONSTRUCTION

ACM NOTES

1. AN ASBESTOS INSPECTION WAS PERFORMED BY QUALITY ENVIRONMENTAL SOLUTIONS & TECHNOLOGIES, INC. (QUEST) AND THE FINDINGS WERE DOCUMENTED IN A LETTER DATED AUGUST 31, 2015. ASBESTOS CONTAINING MATERIALS (ACM) WERE GENERALLY FOUND WITHIN THE AREA OF WORK.
2. LOCATIONS OF ACM, WHICH MAY BE SHOWN ON THESE CONSTRUCTION DOCUMENTS, ARE APPROXIMATE. CONTRACTOR SHALL REFER TO THE ASBESTOS REPORT FOR LOCATIONS OF ACM AND OTHER RELATED HAZARDOUS MATERIALS THAT REQUIRE ABATEMENT.
3. OWNER SHALL RETAIN A QUALIFIED AND LICENSED EXPERT TO SAFELY REMOVE OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE IN ACCORDANCE WITH ALL LAWS, RULES, AND REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION.
4. OWNER AND/OR ACM REMOVAL CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY THE ARCHITECT, ENGINEER, AND OTHER PROFESSIONAL CONSULTANTS RELATED TO THIS PROJECT, AGAINST ANY CLAIMS FOR DAMAGES BY ANY PARTY, INCLUDING LEGAL FEES AND RELATED EXPENSES, WHICH MAY RESULT IN ANY WAY FROM SUBSTANCE EXPOSURE ON THE PROJECT.
5. THE REMOVAL AND DISPOSAL OF ANY EXISTING ASBESTOS CONTAINING MATERIAL FROM THE PREMISES SHALL BE PERFORMED IN STRICT ACCORDANCE WITH NY STATE, FEDERAL AND LOCAL GOVERNMENT, OSHA AND EPA GUIDELINES.
6. ADDITIONAL ACM MAY BE PRESENT IN THE AREA ADJACENT TO THE PROJECT AREA. CARE MUST BE TAKEN BY THE CONTRACTOR NOT TO DISTURB ANY BUILDING MATERIALS OUTSIDE THE LIMITS OF THE WORK WITHOUT PRIOR APPROVAL FROM SUNY PURCHASE.
7. THIS PROJECT IS A RENOVATION PROJECT AND NOT A COMPLETE DEMOLITION OF THE BUILDING'S ACM. THEREFORE, THE CONTRACTOR WILL NOT BE REMOVING THE ENTIRETY OF HAZARDOUS MATERIALS FROM THE BUILDING. THE ONLY HAZARDOUS MATERIALS REMOVED SHALL BE LIMITED TO THOSE WITHIN THE AREA OF THIS PARTICULAR PROJECT, UNLESS DIRECTED OTHERWISE BY THE OWNER OR THE AUTHORITY HAVING JURISDICTION.
8. THE ACM REMOVAL CONTRACTOR SHALL FURNISH ALL MATERIALS, TOOLS, EQUIPMENT, PROTECTION MEASURES, SIGNAGE, ETC. AS REQUIRED FOR A COMPLETE AND COMPLIANT DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS.
9. ACM DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY THE ABATEMENT ACTIVITIES TO ANY BUILDING COMPONENTS OR SYSTEMS THAT ARE TO REMAIN, INCLUDING BUT NOT LIMITED TO EXISTING WALLS, FLOORS, CEILINGS, FIREPROOFING, BUILDING STRUCTURE OR SYSTEMS, MEP SYSTEMS, ETC. ANY DAMAGE MUST BE REMEDIED BY THE ACM CONTRACTOR TO THE ORIGINAL CONDITIONS BY THE COMPLETION OF ABATEMENT ACTIVITIES AT THEIR OWN EXPENSE AND WITHOUT AFFECTING THE OVERALL CONTRACT TIME.
10. THE ACM CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DEMOLISH FLOORING, CEILINGS, BUILT-INS, ETC. IN ORDER TO ACCESS AND REMOVE THE HAZARDOUS MATERIALS. ACM CONTRACTOR TO COORDINATE WITH G.C. ON ITEMS REQUIRING REMOVAL TO ACCESS THE HAZARDOUS MATERIALS.
11. OWNER SHALL RETAIN A QUALIFIED AIR TESTING AGENCY TO MONITOR ABATEMENT PROCEDURES ACCORDINGLY.
12. THE ARCHITECT HAS NOT BEEN RETAINED FOR THE DISCOVERY OF ANY ASBESTOS CONTAINING MATERIALS, NOR FOR ANY OTHER HAZARDOUS MATERIALS, NOR HAS BEEN RETAINED FOR THE LOCATION OR REMOVAL OF ANY SUCH ITEMS AND THEREFORE SHALL NOT BE HELD LIABLE OR RESPONSIBLE FOR ANY DISCOVERY OR REMOVAL OF SAME. ANY ADDITIONAL HAZARDOUS MATERIALS LOCATED OR DISCOVERED DURING THE COURSE OF THE DEMOLITION WORK SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY.

DEMOLITION NOTES

1. The General Contractor / Sub-Contractors shall perform all demolition work as necessary in order to carry out the Work within this Contract. The contractor shall not consider these demolition notes to be all-inclusive. It is the Contractor's responsibility to inspect and assess each area and to fulfill the intent of the design indicated by the contract documents. Contractor shall coordinate demolition work with HVAC, electrical, fire protection and plumbing trades and proposed work and carry out such work accordingly. All necessary disconnections of equipment and systems shall be included.
2. The General Contractor shall visually inspect all existing conditions and shall coordinate any outstanding demo issues with the Architect prior to beginning work. Notify Architect of discrepancies between existing conditions and Drawings before proceeding with any Work. Some portions of the Work may not specifically or graphically be shown on the plans but still remain as a requirement for Work to be performed (i.e. electrical wiring, ductwork, some partitions, etc.)
3. In the event that this project requires, or the Owner requests, a separate Demolition Permit, it shall be the responsibility of the Contractor to apply for, pay for, and obtain such permit. All applicable permits, inspections, approvals, etc. shall be applied for and paid for by the trade Contractor(s) required to do so in the field of his Work. Contractor shall be responsible for the coordination of inspections and approvals of said Work. A copy of the municipality approved plans, stamped with the permit number, shall be kept at site together with any revisions and addenda made during construction.
4. Architect is not retained for supervision of construction demolition nor for construction demolition methods, safety procedures and programs, scheduling, delays, or compliance with contract documents. However, the Architect may observe the Work in progress by means of periodic site visits. If requested, the Architect will provide interpretation of the drawings and code requirements as necessary. These observations and interpretations do not relieve the Contractor from any responsibility to carry out the Work in accordance with the Contract Documents or requirements of the Building Code or municipalities having jurisdiction.
5. Contractor shall comply with any governing EPA notification regulations before beginning any demolition Work. Comply with hauling and disposal regulations of authorities having jurisdiction. Comply with ANSI A10.6 and NFPA 241 and all standards required by Authorities having jurisdiction if required for this particular project.
6. Any controlled inspections and/or certifications required by governing authorities having jurisdiction over the project shall be performed and certified by a licensed Professional Engineer either retained by the Owner or the General Contractor. This must be coordinated between the two parties prior to the start of the Work.
7. Consult Engineering notes for extent of existing building systems to be removed or to be relocated. Removal work is intended to include all associated built-in items such as electrical/data outlets, switches, conduits, controls, piping, mounting blocks, etc. Refer to MEP drawings for procedures concerning these trades in demolition areas or coordinate with associated trades if MEP drawings are not part of the Construction Documents. G.C. shall remove all existing conduit and associated wiring not used back to panel. All existing data wiring and devices shall be removed back to distribution panel.
8. G.C. shall be responsible to protect all interior walls, ceiling and floors, MEP systems, etc. that are to remain from damage during demolition and construction and shall be responsible for the replacement of any items that are damaged as a result of demolition.
9. Contractor shall maintain all measures of sanitation (HEPA filters, negative pressurized areas, compartmentalization measures, sticky mats, etc.) as required by the New York State Department of Health regulations if applicable for this particular project.
10. Provide dumpster for debris removal. Coordinate location with Owner. Remove demolition materials by the end of each work day and vacuum public/common areas before leaving Site. Transport demolished materials off property and legally dispose of them at intervals as necessary to prevent build-up or overflow of demolished material.
11. Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them in an EPA-approved landfill.
12. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent. Do not allow demolished materials to accumulate on-site. Do not burn demolished materials. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
13. Maintain existing services/systems as necessary to carry out the Work and to maintain services to adjacent properties or tenants. Provide temporary services if existing is insufficient. Protect services against damage during course of the Work.
14. The General Contractor, and/or Plumbing Contractor and Electrical Contractor, must contact the corresponding utility company in advance of any Work requiring removal, modification, or replacement of services and/or meters. Each Contractor is responsible, in a timely manner, for acquiring permits and paying such fees, scheduling inspections and acquiring all approvals and close-out documents and procedures as required by the associated utility company or service.
15. Maintain fire-protection facilities in service during course of the Work as required by the local municipality. Coordinate times, locations and zones of any areas where fire protection or life safety (including any system or service lines i.e. oxygen, suction, etc.) services need to be suspended or offline with the Owner in advance of any work that may affect such operation. Do not proceed with any demolition work of these items without obtaining approval and/or notice by the Owner.
16. All Work in a public Right Of Way is subject to the requirements of the D.P.W. and/or Town Engineer. Contractor shall be responsible for acquiring a permit from D.P.W. for this Work, providing and acquiring bonds, adhering to all D.P.W. specifications and obtaining written approval from D.P.W. and/or Town Engineer at completion of Work.
17. Conduct demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities. Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain and to ensure safe passage of people around Work area and to and from occupied portions of building.
18. Provide temporary weather protection to prevent water leakage and damage to structure and interior areas. Protect walls, ceilings, floors, and other existing finish Work that are to remain or that are exposed during the course of the Work. Cover and protect furniture, furnishings, and equipment that have not been removed.
19. General Contractor shall be responsible for all shoring, scaffolding, needle beams, etc. as may be required for this Work and for the support and stability of the structure during demolition, modification, erection Work, or any other Work on this project. The General Contractor, or the scaffolding contractor, shall provide to the Architect and (if required) the Building Inspector, a stamped plan or specification prepared by a New York State Licensed Professional Engineer for any lateral and vertical temporary supports.
20. Contractor shall provide all temporary shoring (shoring, needle beams, temporary posts, temporary beams, temporary girders, etc.) for support of load-bearing elements that are to remain in a safe and secure manner. In situations where proposed structure installation cannot occur during the demolition phase, contractor shall provide all required temporary supports and shoring.
21. Architect not responsible for the design, designation, location, or assembly of any temporary shoring. In the event that advanced shoring may be required, the Contractor shall provide their own NYS Licensed Structural Engineer to design the appropriate shoring and shall provide signed and sealed drawings for the Building Department as necessary.
22. Contractor shall provide and maintain temporary lighting for safety purposes and shall provide temporary electric and plumbing as necessary to carry out the demolition work. Contractor shall provide and maintain fire extinguishers on site during the course of the work. Type of extinguisher shall be determined by the nature of the work. Fire extinguishers shall be readily accessible at all times.
23. Patch all construction and assemblies that are to remain in accordance with the contract drawings. Where contractor is designated to make removals, disposition of materials is the responsibility of the contractor. Verify with owner, the disposition and removal of any components of salvageable value.
24. Clean spaces, surfaces, adjacent structures and improvements of dust, dirt, and debris caused by demolition operations - this includes areas of travel, dumpster and carting locations and locations outside the Area of Work. Return adjacent areas to condition existing before selective demolition operations began.
25. Patch or rebuild any areas to remain that have been damaged or disturbed by HVAC, electrical, fire protection and plumbing demolition.
26. Architect not retained, nor responsible, to locate or for the identification, removal, testing and / or certification of removal relative to any hazardous substance including, but not limited to, PCB's, petroleum, mold infestation, hazardous waste, asbestos, lead paint, lead piping, and similar substances. If asbestos, or any other toxic substance, or risk to exposure thereto, is discovered during Work on the project, Contractor shall have the duty to inform the Owner and to coordinate and promptly retain a qualified expert to identify and safely remove or supervise the removal and the monitoring of the removal of such asbestos or other toxic substance.
27. Owner and Contractor shall indemnify and hold Architect harmless from any and all liability on the part of or damage to such entity, including the costs of any legal fees and expenses, as such fees and expenses are incurred, which may result from asbestos or other toxic substance exposure on the project. Contractor shall hold harmless the Owner, the Architect, Engineers, and Professional Consultants related to this project, against claims for damages by any party, including legal fees, which may result in any way from this Work.
28. The removal and disposal of any asbestos containing materials, hazardous materials, or any toxic or controlled materials, from the premises shall be performed and carried out by the Contractor performing such work in strict accordance with New York State, Federal, and Local Government, OSHA and EPA guidelines and requirements.



NOTE:
LIGHTING SHOWN APPROXIMATE

1 MAIN FLOOR CEILING - DEMOLITION
3/16" = 1'-0"

**ASBESTOS ABATEMENT
(N. I. C.)**

| Revisions & Issues | | |
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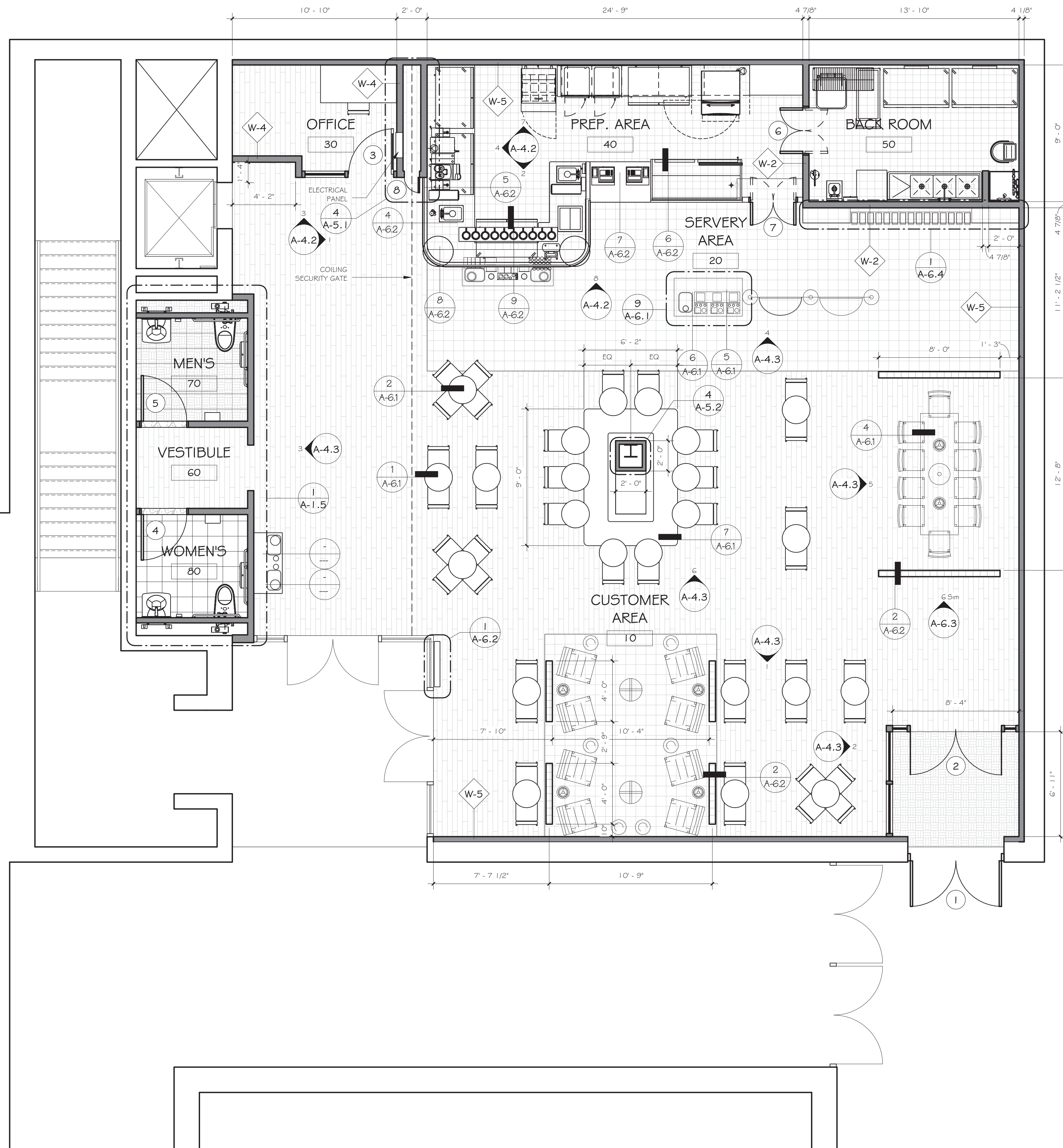
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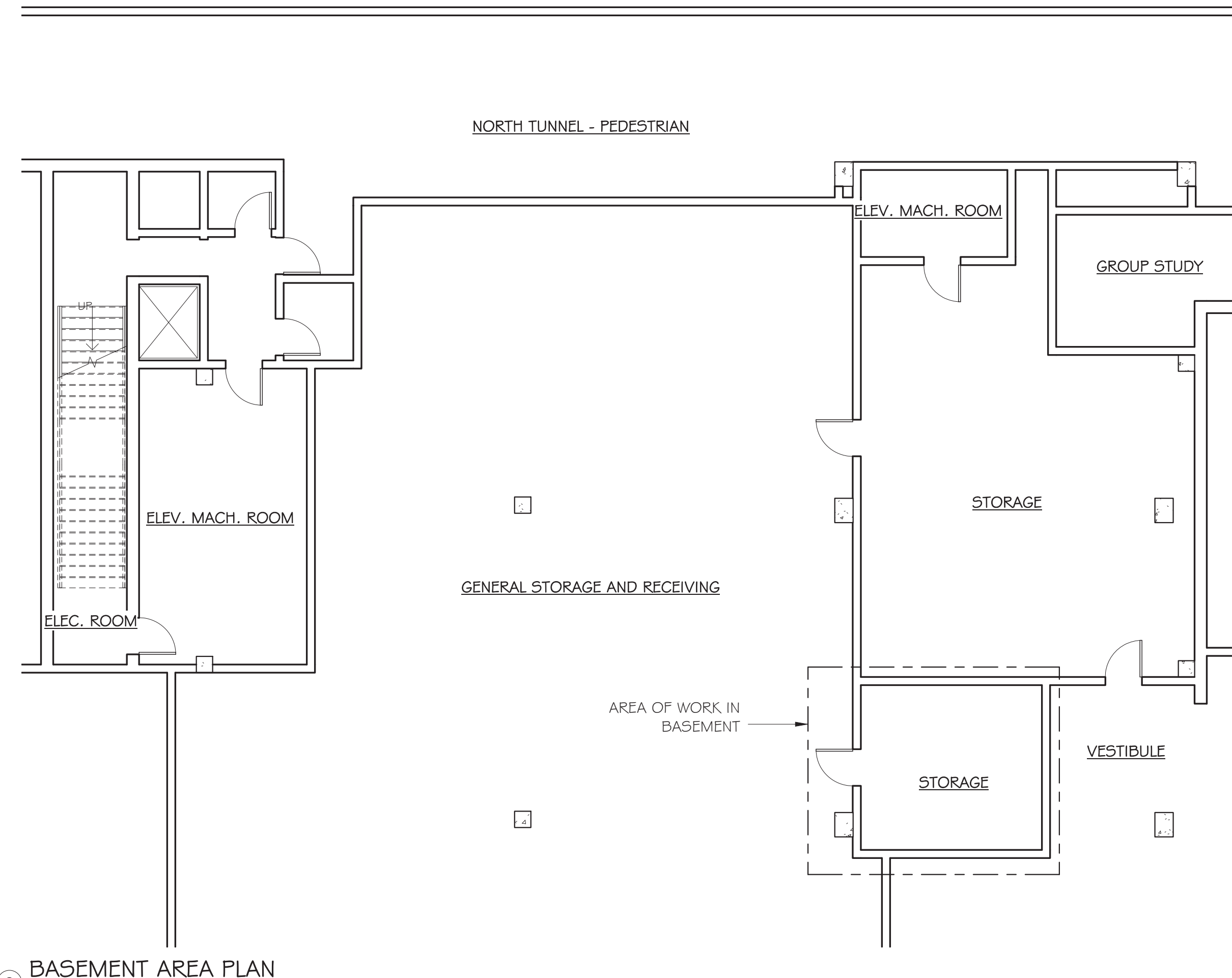
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Issue Date: June 7, 2016
Project No.: 15.44
Sheet No.: A-1.2
Sheet Title: DEMOLITION R.C.P. AND NOTES
100% ARCHITECTURAL SUBMISSION: FOR REVIEW



1 MAIN FLOOR PLAN - PROPOSED
1/4" = 1'-0"



2 BASEMENT AREA PLAN
1/8" = 1'-0"

| ROOM AREAS | | |
|------------|---------------|----------|
| ROOM No. | ROOM NAME | NET AREA |
| 01 | STORAGE | 200 SF |
| 10 | CUSTOMER AREA | 1585 SF |
| 20 | SERVERY AREA | 272 SF |
| 30 | OFFICE | 72 SF |
| 40 | PREP. AREA | 265 SF |
| 50 | BACK ROOM | 124 SF |
| 60 | VESTIBULE | 39 SF |
| 70 | MEN'S | 50 SF |
| 80 | WOMEN'S | 50 SF |

| Revisions & Issues | | |
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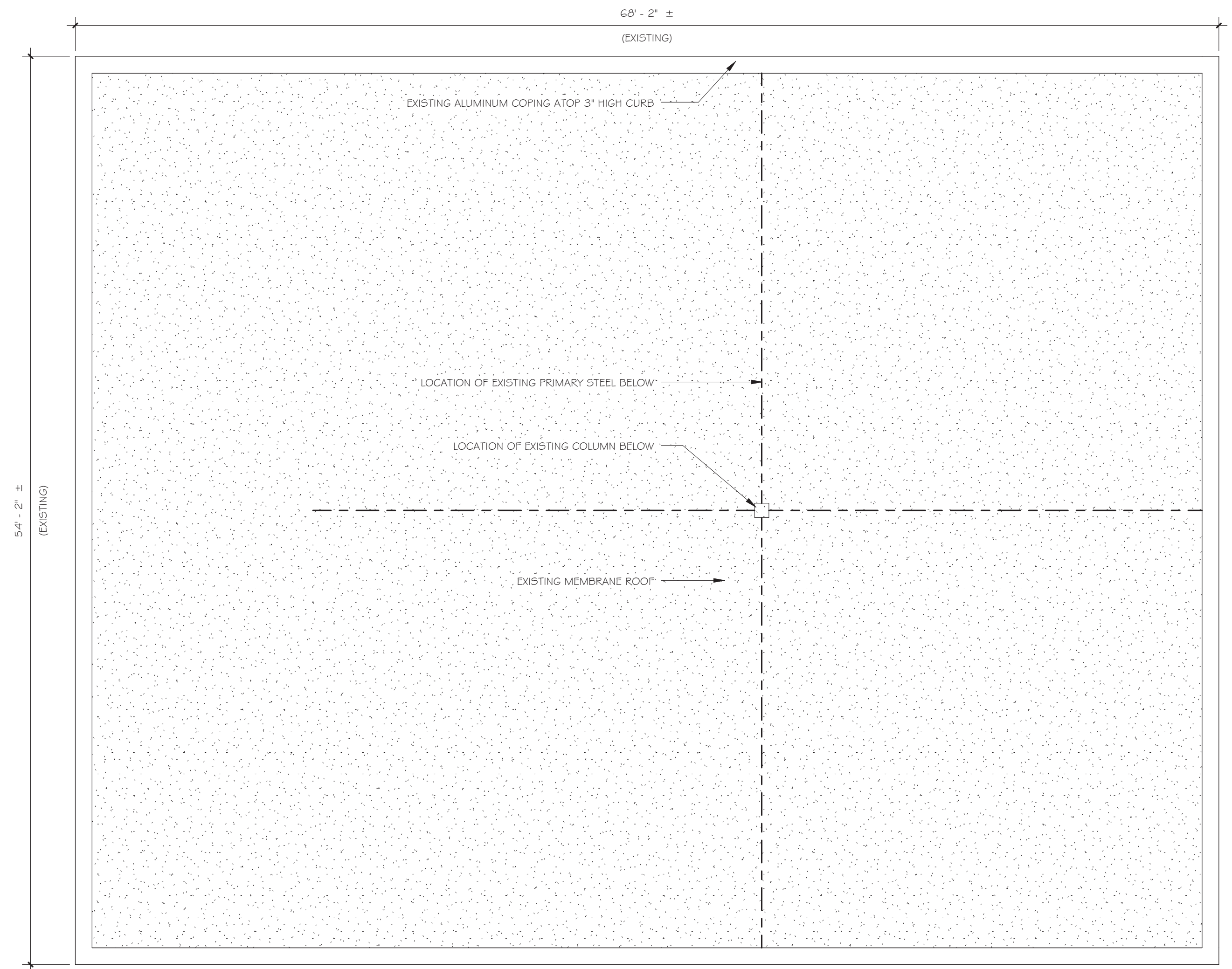
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PART 1st & BASEMENT PLANS

100% ARCHITECTURAL SUBMISSION: FOR REVIEW

Do not scale drawings. Each Contractor shall be responsible for all field measurements.



① PART ROOF PLAN
3/16" = 1'-0"

| Revisions & Issues | | |
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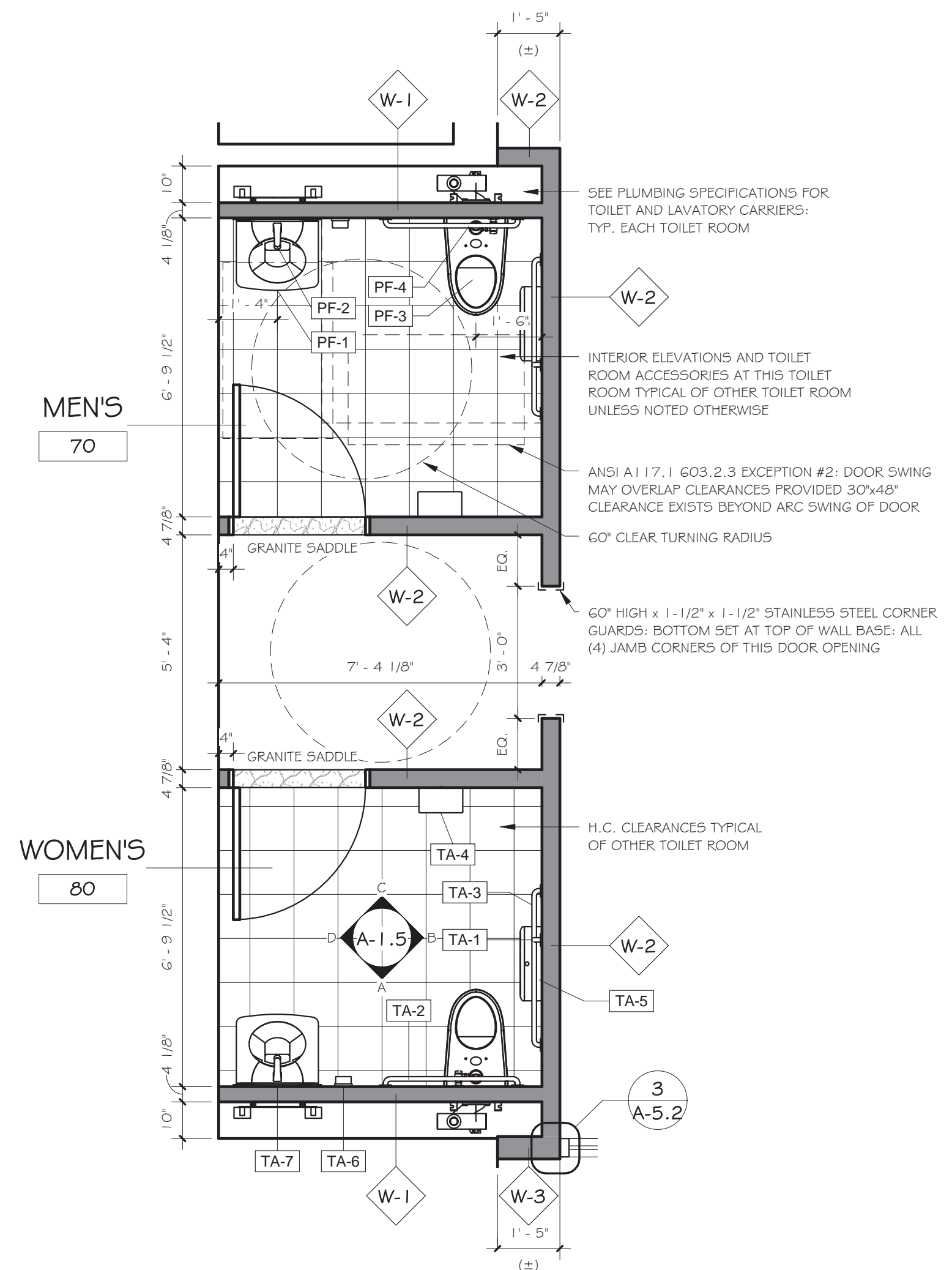
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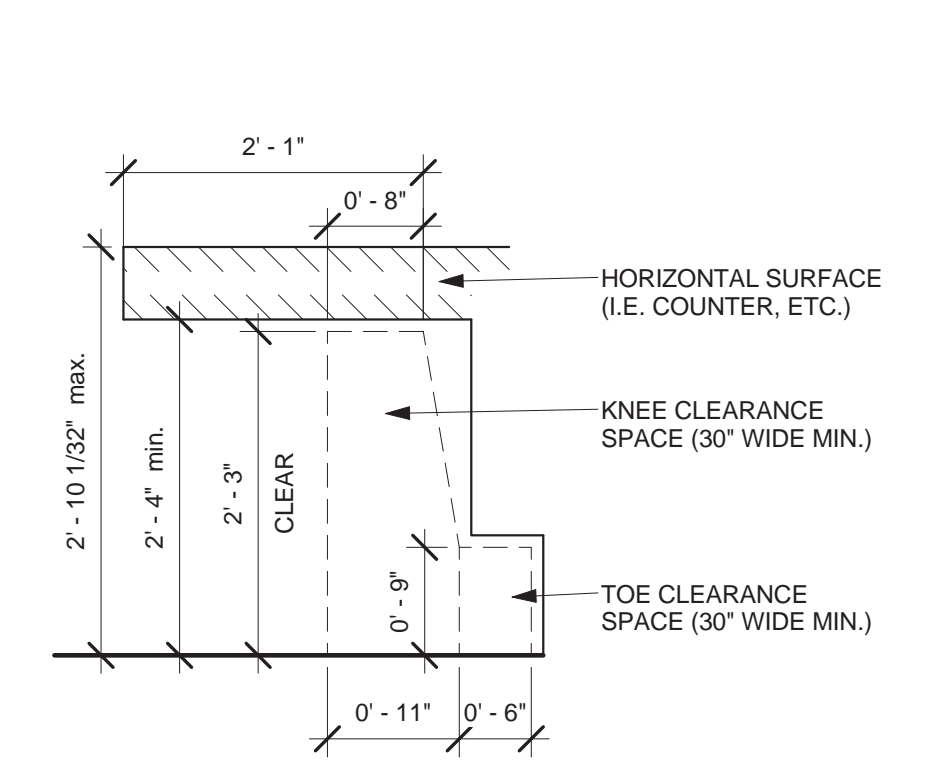
Sheet No.: A-1.4

Sheet Title: **ROOF PLAN**

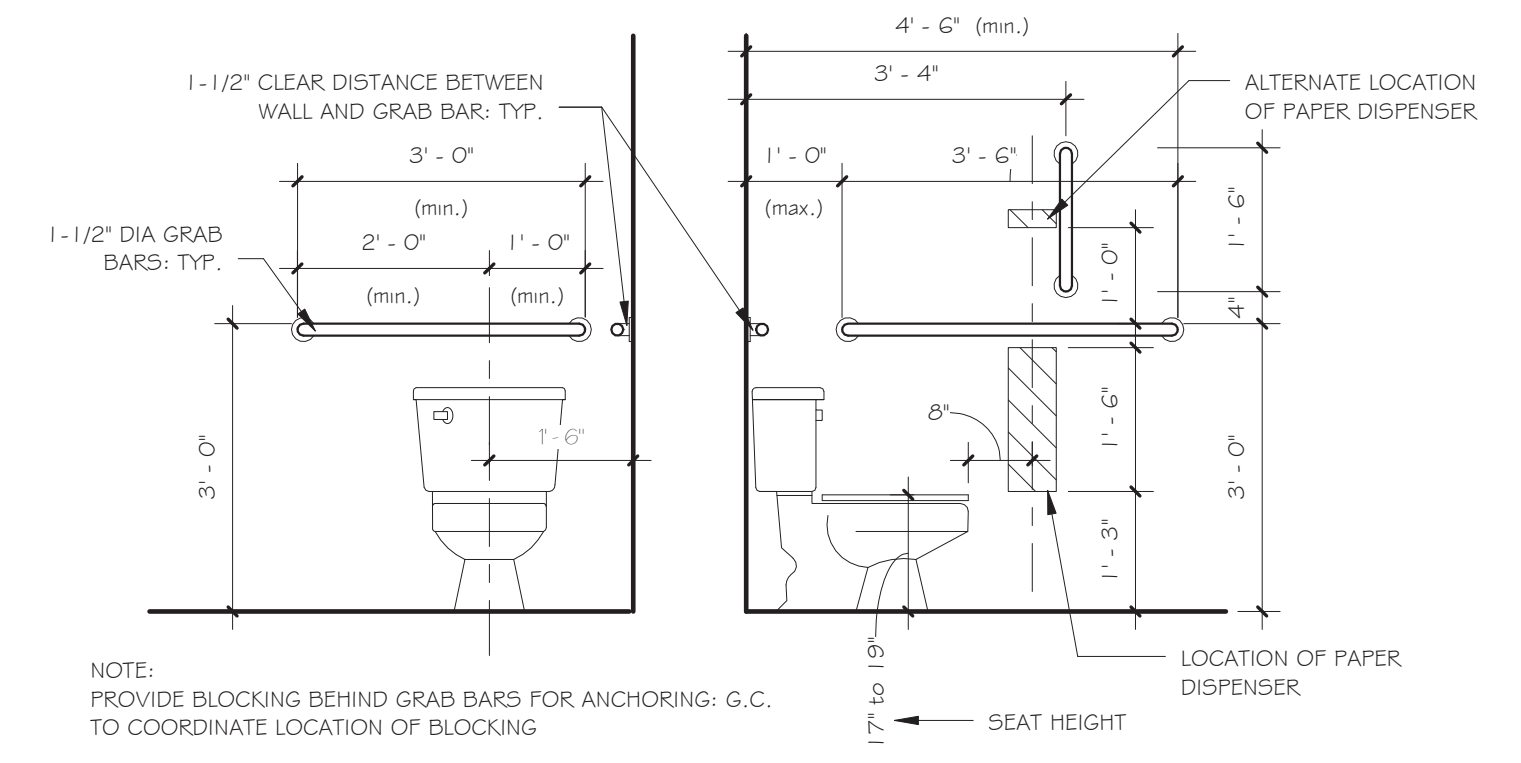
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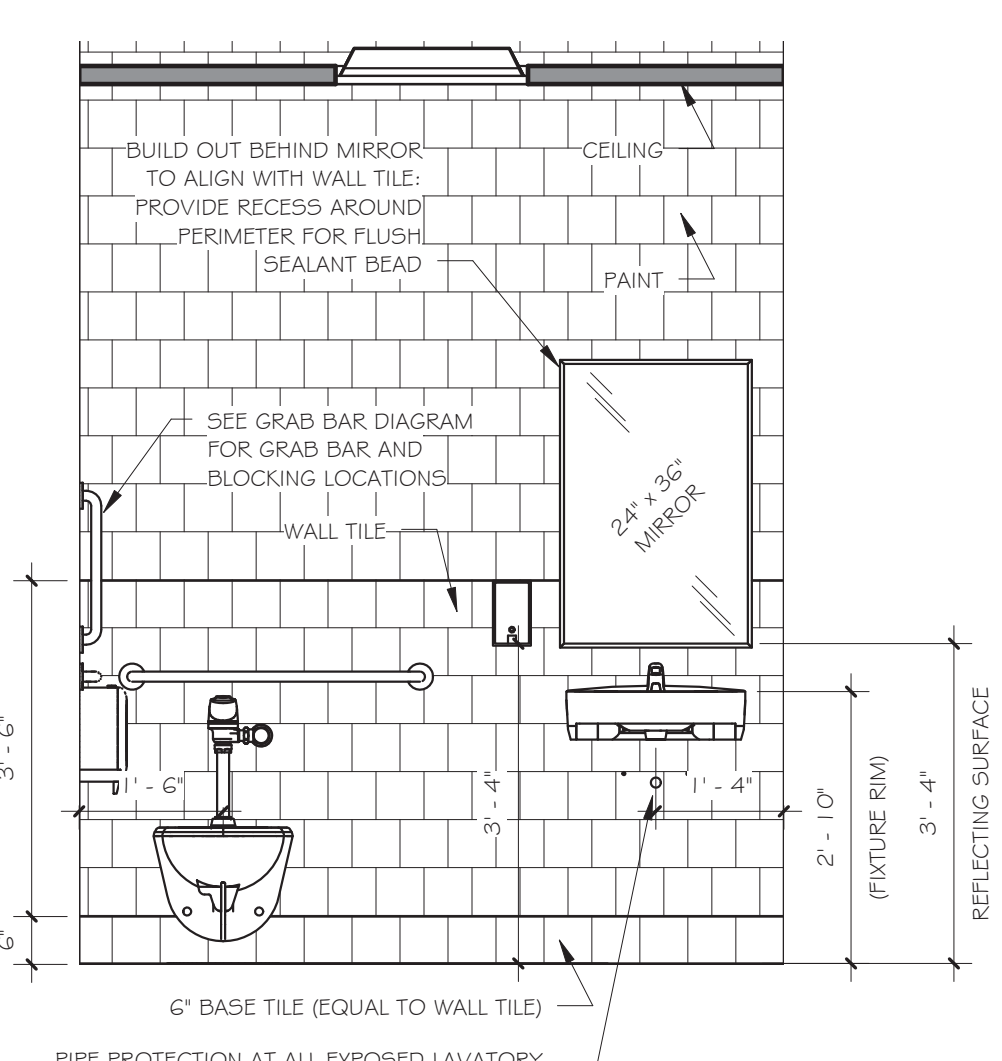
1 PLAN - TOILET ROOMS
3/8" = 1'-0"



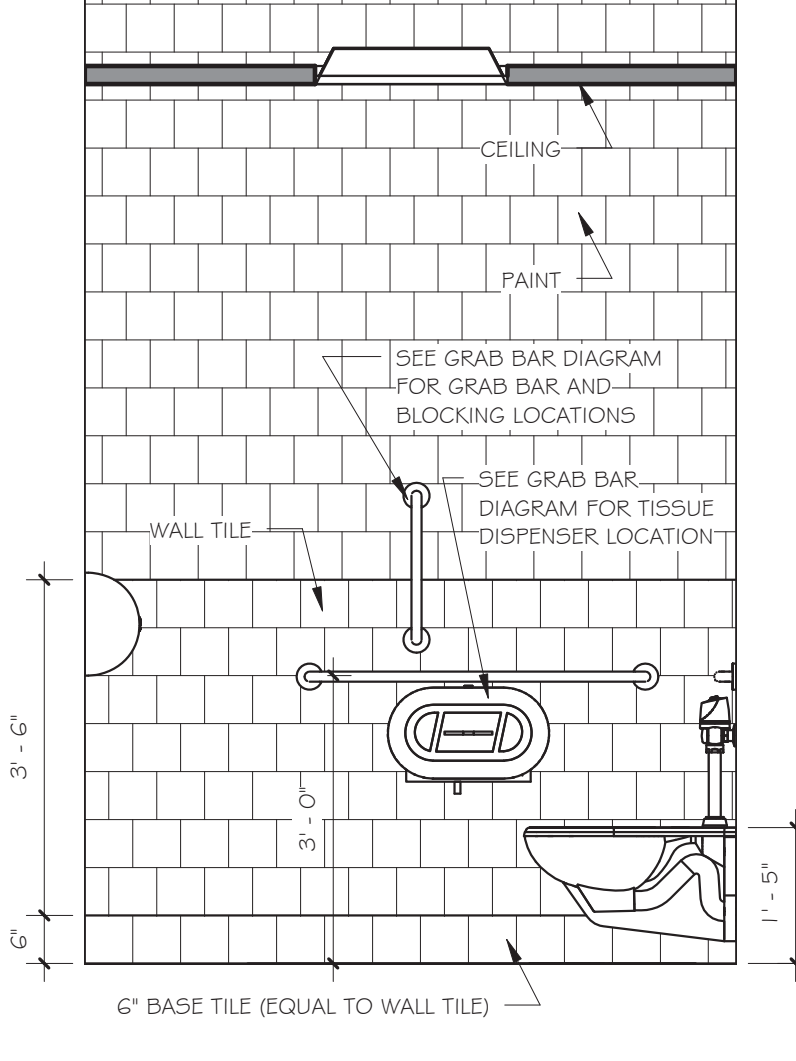
3 TOE AND KNEE CLEARANCES
3/4" = 1'-0"



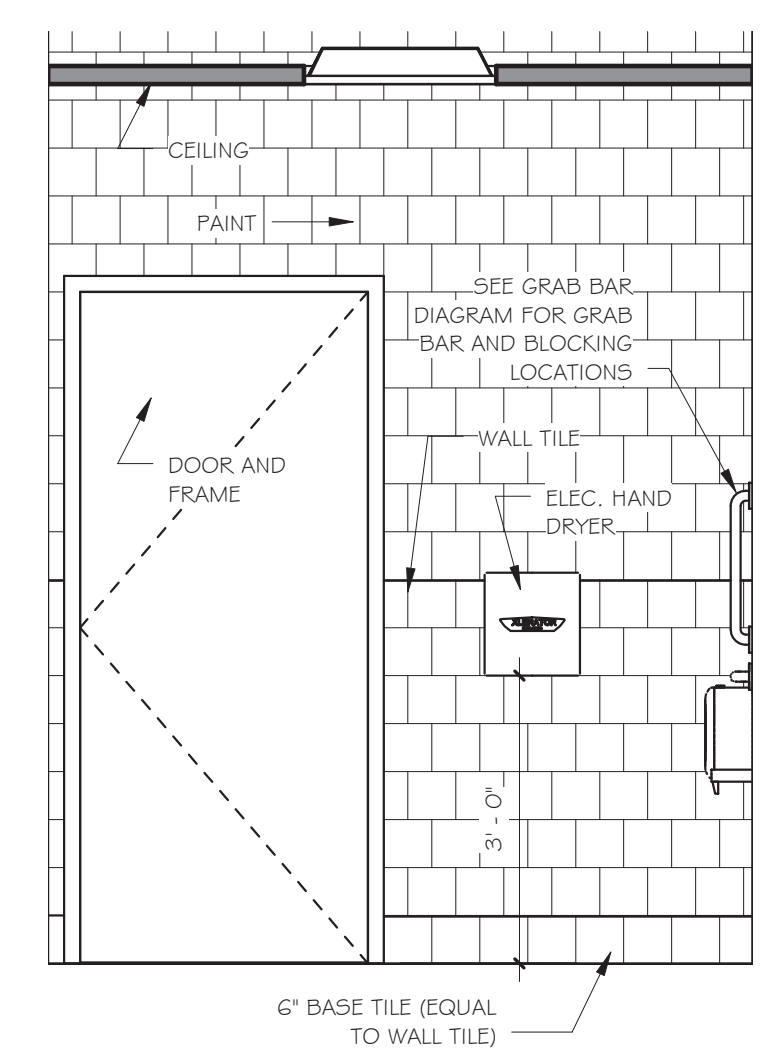
4 ADA TOILET DIMENSIONS
1/2" = 1'-0"



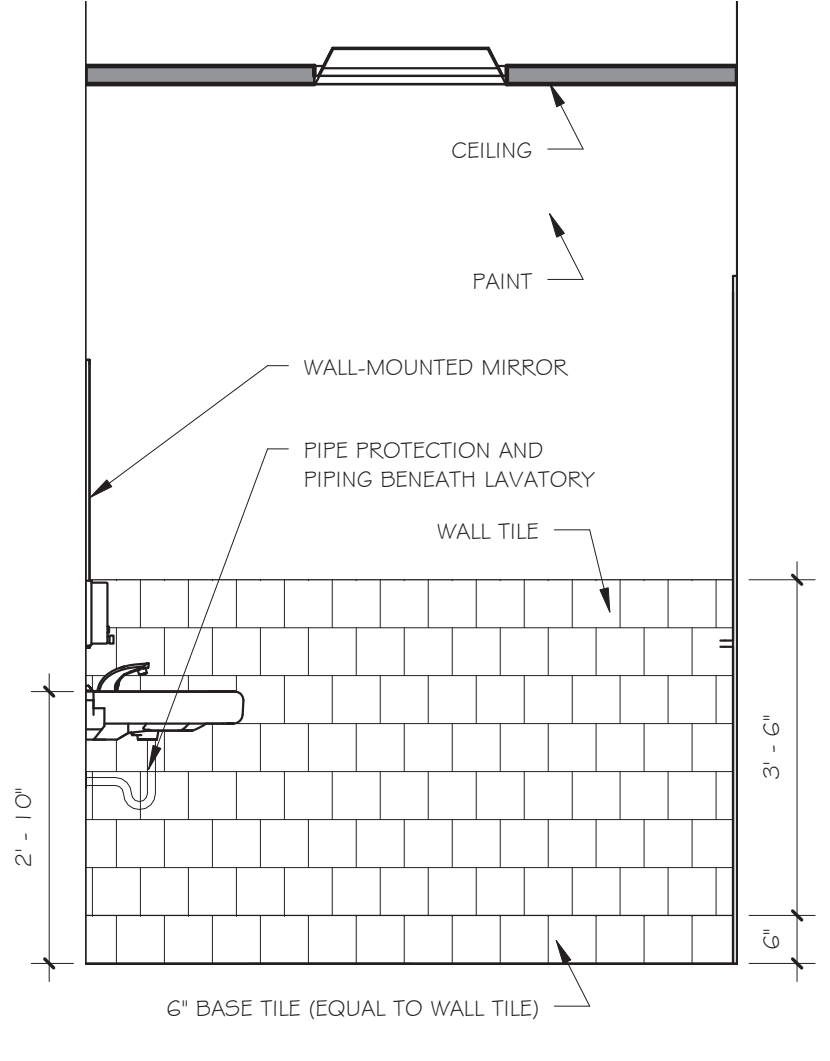
A TOILET ELEV. 1
1/2" = 1'-0"



B TOILET ELEV. 2
1/2" = 1'-0"



C TOILET ELEV. 3
1/2" = 1'-0"



D TOILET ELEV. 4
1/2" = 1'-0"

| PLUMBING FIXTURE SCHEDULE | | | | | |
|---------------------------|-----|--|--------------|------------------------|--|
| MARK | QTY | DESCRIPTION | MANUFACTURER | MODEL | REMARKS |
| PF-1 | 2 | WALL-MOUNT VITREOUS CHINA LAVATORY BASIN | SLOAN | SS-3105 | MOUNT AT ADA-COMPLIANT HEIGHT |
| PF-2 | 2 | 'OPTIMA PLUS' BATTERY POWERED - NO TOUCH FAUCET. VANDAL RESISTANT 1.9 LPM (0.5 GPM) FLOW SPRAY OUTLET. | SLOAN | EBF-615 | |
| PF-3 | 2 | TOP-SPUD VITREOUS CHINA REAR FLUSH TOILET FIXTURE. | SLOAN | ST-2059-A | MOUNT AT ADA-COMPLIANT HEIGHT |
| PF-4 | 2 | 'ROYAL' BATTERY-OPERATED FUSH MODULE FOR TOP SPUD WALL-MOUNT TOILET FIXTURES | SLOAN | Royal 111-1.6/1.1 DFSM | VERIFY COMPATIBILITY WITH TOILET BOWL UNIT |

NOTE: PLUMBING FIXTURES AND HARDWARE TO BE COORDINATED WITH OWNER'S STANDARD CAMPUS-WIDE FIXTURES, FINISHES AND OPERATION. G.C. TO COORDINATE.

| TOILET ROOM ACCESSORIES | | | | | |
|-------------------------|----------|--|------------------|---------------------------------|---------|
| MARK | QUANTITY | DESCRIPTION | MODEL No. | MANUFACTURER | REMARKS |
| TA-1 | 2 | Bobnck B-5806.99x18 Straight Peened Grab Bar | B-5806.99x18 | Bobnck Washroom Equipment, Inc. | |
| TA-2 | 2 | Bobnck B-5806.99x36 Straight Peened Grab Bar | B-5806.99x36 | Bobnck Washroom Equipment, Inc. | |
| TA-3 | 2 | Bobnck B-5806.99x42 Straight Peened Grab Bar | B-5806.99x42 | Bobnck Washroom Equipment, Inc. | |
| TA-4 | 2 | XLERATOR Hand Dryer | Wall Guard White | Excel Dryer | |
| TA-5 | 2 | Bobnck B-2892 Classic Series Surface Mounted Twin Jumbo-Roll Toilet Tissue Dispenser | B-2892 | Bobnck Washroom Equipment, Inc. | |
| TA-6 | 2 | Classic Series Surface Mounted Soap Dispenser | B-2111 | Bobnck Washroom Equipment, Inc. | |
| TA-7 | 2 | Bobnck B-165 2436 Channel Frame Mirror | B-165 2436 | Bobnck Washroom Equipment, Inc. | |

NOTE: TOILET ROOM ACCESSORIES AND ASSOCIATED FINISHES TO BE COORDINATED WITH OWNER'S STANDARD CAMPUS-WIDE ACCESSORIES, FINISHES AND OPERATION. G.C. TO COORDINATE.

| Revisions & Issues | | |
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IT Consultant

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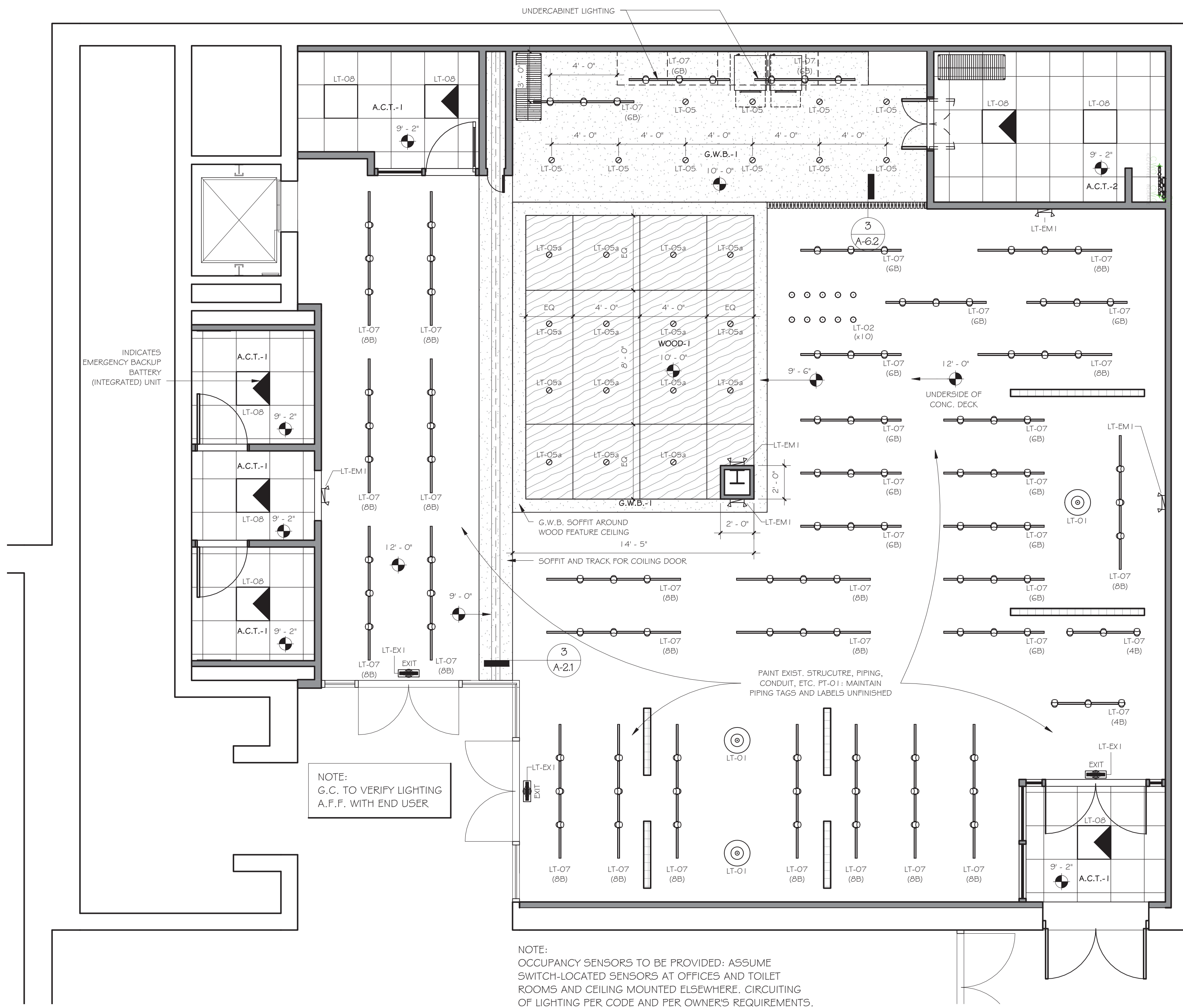
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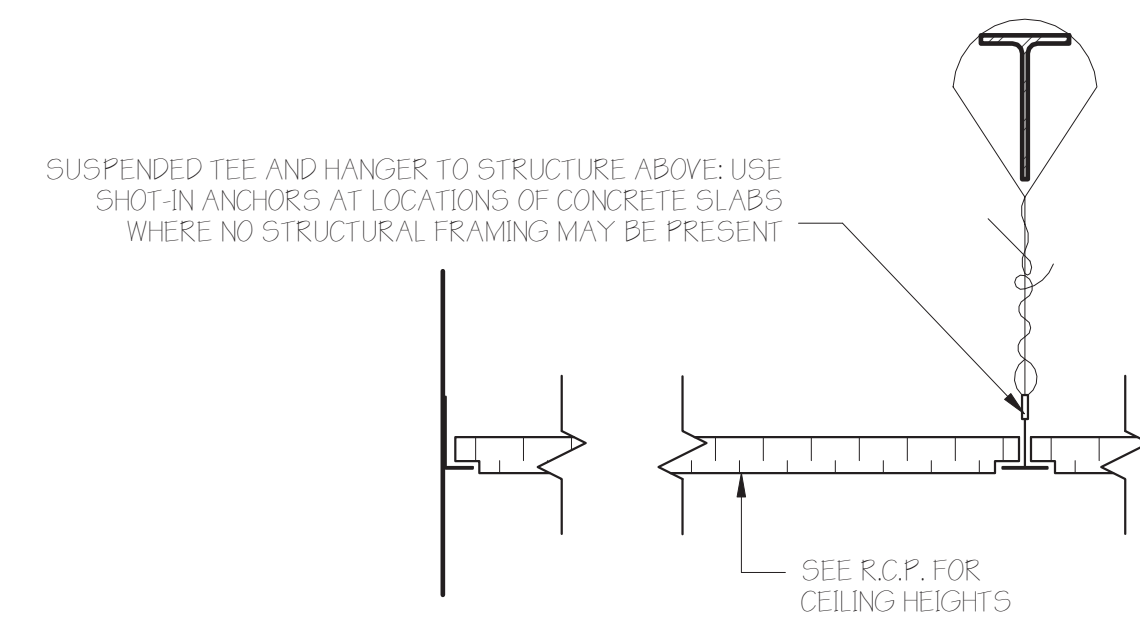
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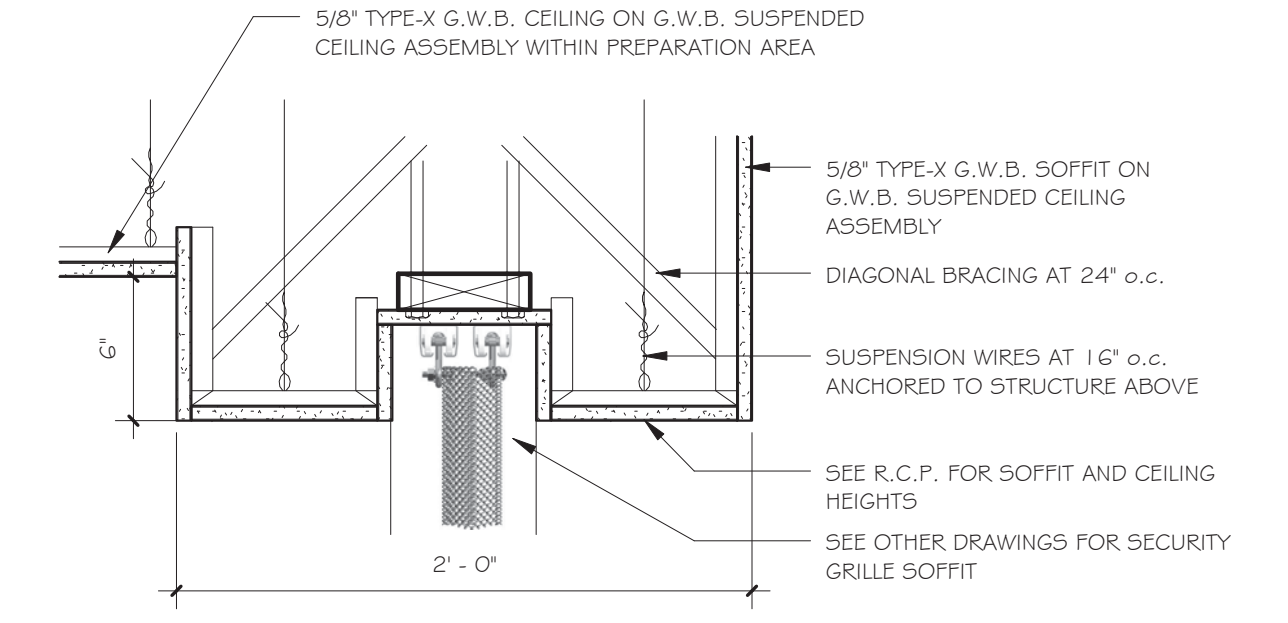
Issue Date: June 7, 2016
Project No.: 15.44
Sheet Title: TOILET ROOM PLANS
100% ARCHITECTURAL SUBMISSION: FOR REVIEW



1 MAIN FLOOR CEILING - PROPOSED
1/4" = 1'-0"



2 TYP. A.C.T. DETAIL
3" = 1'-0"



3 SOFFIT DETAIL
1 1/2" = 1'-0"

| LIGHTING FIXTURE SCHEDULE | | | | | | |
|---------------------------|-----|---|---------------|------------------------------------|----------------------|---|
| MARK | QTY | DESCRIPTION | MANUFACTURER | MODEL | LAMP | REMARKS |
| LT-01 | 3 | Colored pendant light, PMMA plastic, 13"x20.5"W | Kartell | KRB-FLY-9031 | 100W (G) | Color: Sage |
| LT-02 | 10 | (2) Strips of (5) Lamp each TRAC-12 | Juno | (2) TLPLED-78-27K-SL | (10) 5W LED | Opal Glass Shade Cylinder |
| LT-05 | 10 | 4" Dia. Universal IC Housing | Juno | K1-HW-WH | LLE-PAR20-LS-2700-40 | White Baffle, White Trim |
| LT-05a | 15 | 4" Dia. Universal IC Housing | Juno | K1-HW-WH | LLE-PAR20-LS-2700-40 | White Baffle, Bronze Trim |
| LT-07 (4B) | 2 | 48" Long 2-Head Track Lighting | Juno | T4BL-T620BL | LLE-PAR20-LS-2700-40 | 4-Foot Track |
| LT-07 (6B) | 15 | 72" Long 3-Head Track Lighting | Juno | T6BL-T620BL | LLE-PAR20-LS-2700-40 | 6-Foot Track |
| LT-07 (8B) | 20 | 96" Long 3-Head Track Lighting | Juno | T8BL-T620BL | LLE-PAR20-LS-2700-40 | 8-Foot Track |
| LT-08 | 5 | Recessed 24" x 24" LED Panel | Acuity Brands | 2TL2-40L-FW-A12-MOLT-EZ1-LP840-N80 | LED | ELML LED Battery Pack at Emergency Fixtures |
| LT-EM1 | 5 | Emergency Light Pack - 2 Lamp * | Navitite | NILWH15D | LED | Wall Mounted |
| LT-EX1 | 5 | Exit Sign w/ Light Pack - 2 Lamp * | Navitite | NIXP7-A-3-R-WH-HH | LED | Ceiling Mounted |

* - G.C. TO COORDINATE SUNY PURCHASE STANDARD EXIT / EMERGENCY LIGHTING SPECIFICATIONS WITH OWNER

LED STRIP LIGHTING AT MILLWORK NOT SCHEDULED HERE. SEE MILLWORK DETAILS AND NOTES FOR LOCATIONS.

| CEILING SCHEDULE | | |
|------------------|--------------------|--|
| MARK | MANUFACTURER | PRODUCT |
| A.C.T.-1 | ARMSTRONG | MESA 24"x24"x3/4" REGULAR #687 |
| A.C.T.-2 | ARMSTRONG | ULTIMA HEALTH ZONE 24"x24"x3/4" SQUARE #1936 |
| G.W.B.-1 | U.S.G. | 5/8" GYPSUM WALL PANELS |
| WOOD-1 | G.C. TO COORDINATE | WOOD PANEL |

| SUSPENSION SYSTEM | |
|---------------------------------|--|
| SUPRAFINE ML 9/16" WHITE STEEL | |
| PRELUDE 15/16" WHITE STEEL | |
| SEE DETAIL | |
| PER MANUFACTURER'S REQUIREMENTS | |

| Revisions & Issues | | |
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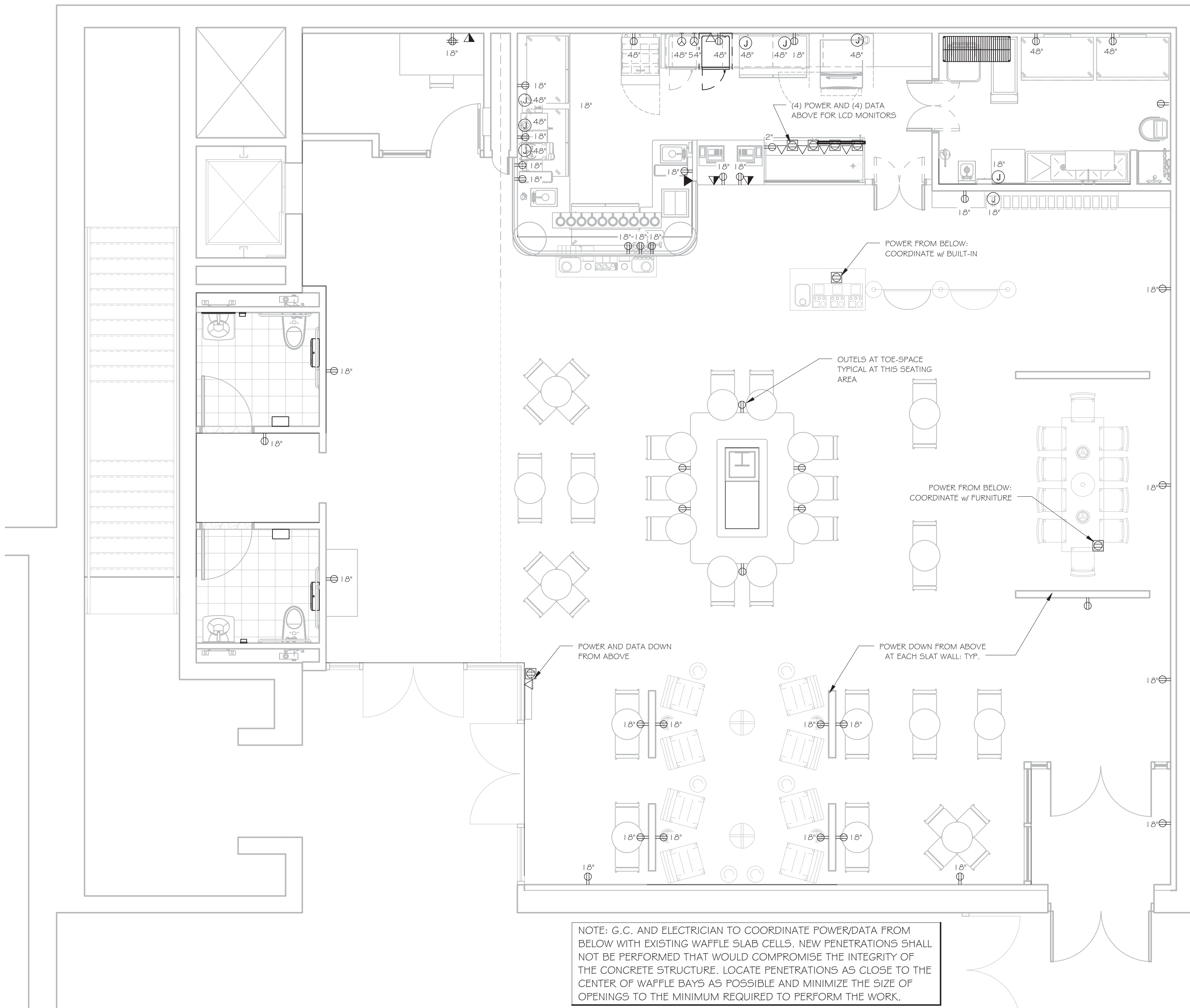
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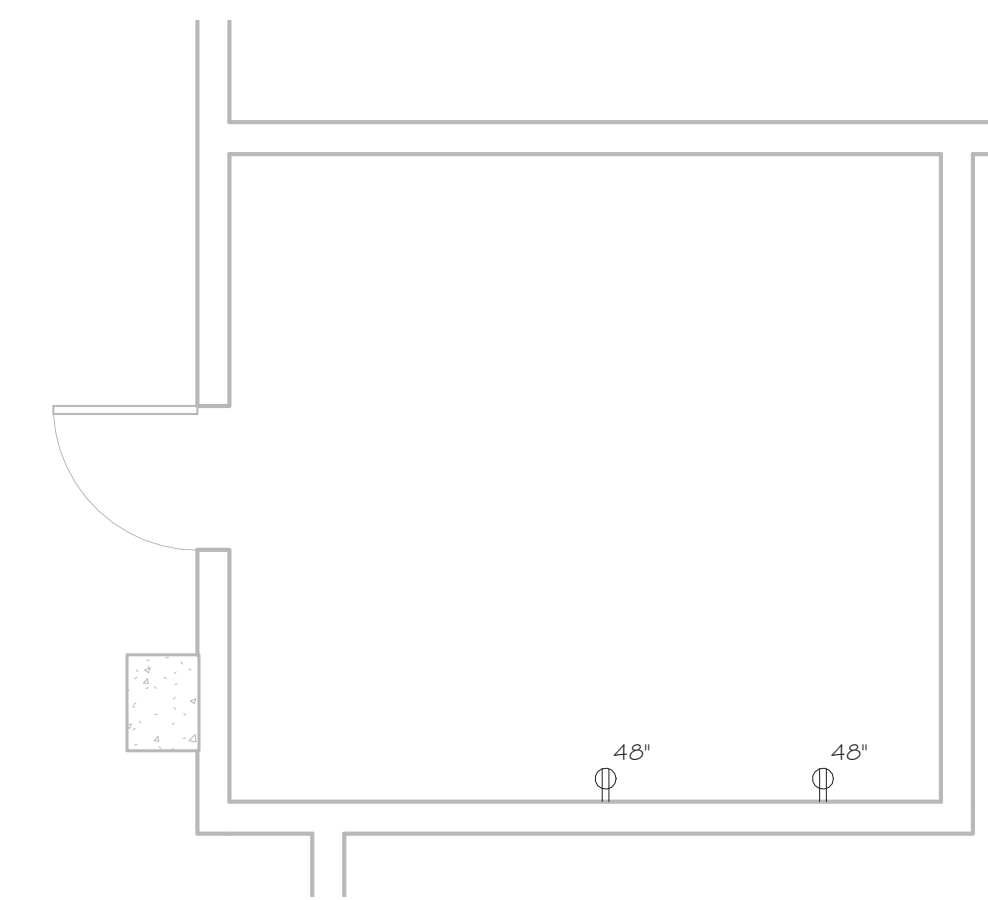
Issue Date: June 7, 2016
Project No.: 15.44
Sheet Title: R.C.P. AND CEILING DETAILS
Sheet No.: A-2.1

100% ARCHITECTURAL SUBMISSION: FOR REVIEW



1 MAIN FLOOR PLAN - POWER & DATA
1/4" = 1'-0"

- DEVICE SYMBOLS**
- Ⓧ JUNCTION BOX
 - Ⓛ POWER FROM BELOW OR ABOVE: SEE DRAWINGS
 - Ⓞ SPECIAL PURPOSE OUTLET
 - Ⓢ DUPLEX WALL OUTLET
 - Ⓠ QUAD WALL OUTLET
 - Ⓛ DATA FROM BELOW OR ABOVE : SEE DRAWINGS
 - ▲ DATA OUTLET - WALL
 - ▲ DATA / TEL. OUTLET - WALL
- NOTE: DIMENSION INDICATED NEXT TO DEVICE INDICATES LOCATION A.F.F. TO CENTERLINE OF DEVICE



2 PART BASEMENT - POWER & DATA
1/4" = 1'-0"

| Revisions & Issues | | |
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Do not scale drawings. Each Contractor shall be responsible for all field measurements.

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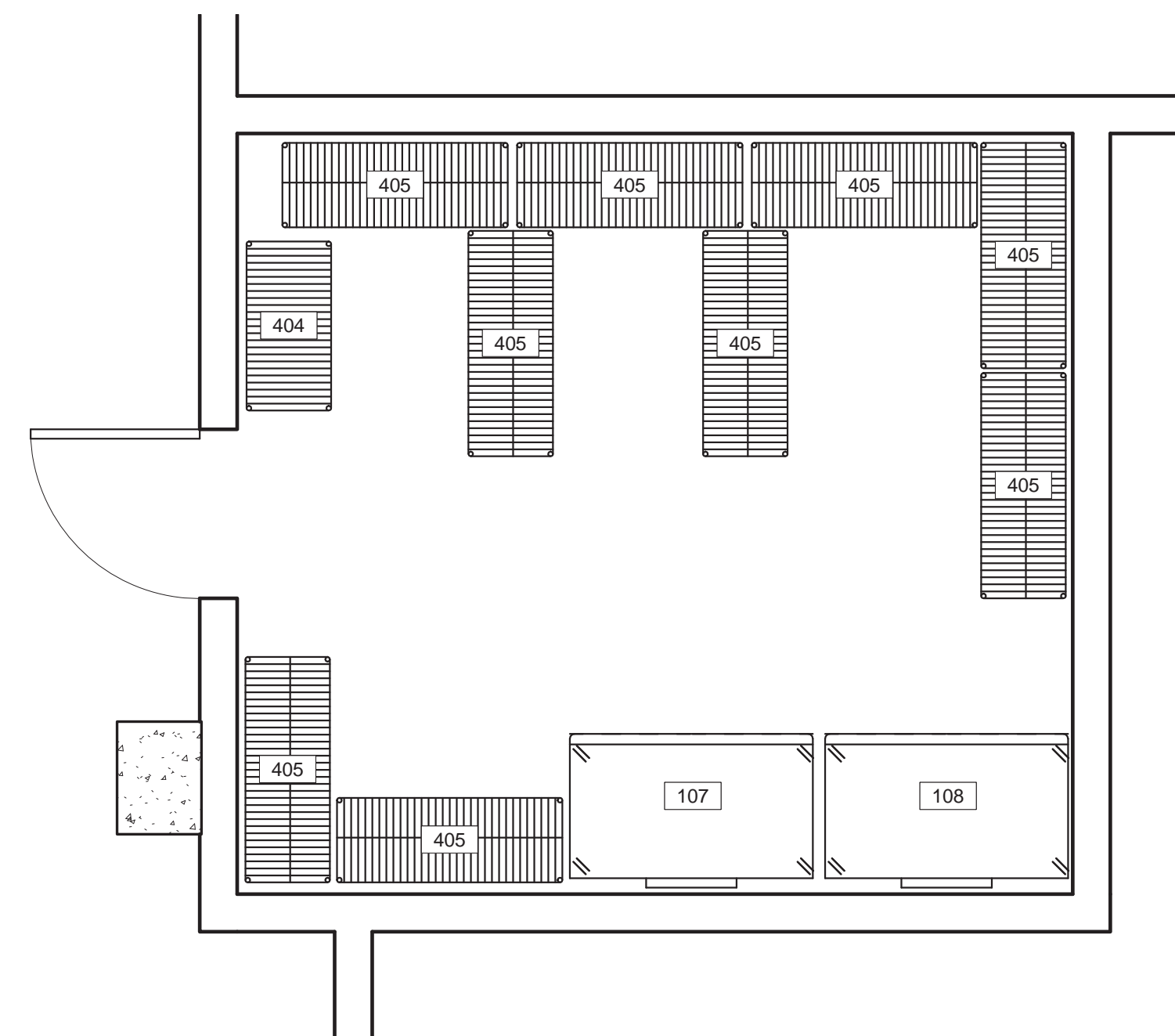
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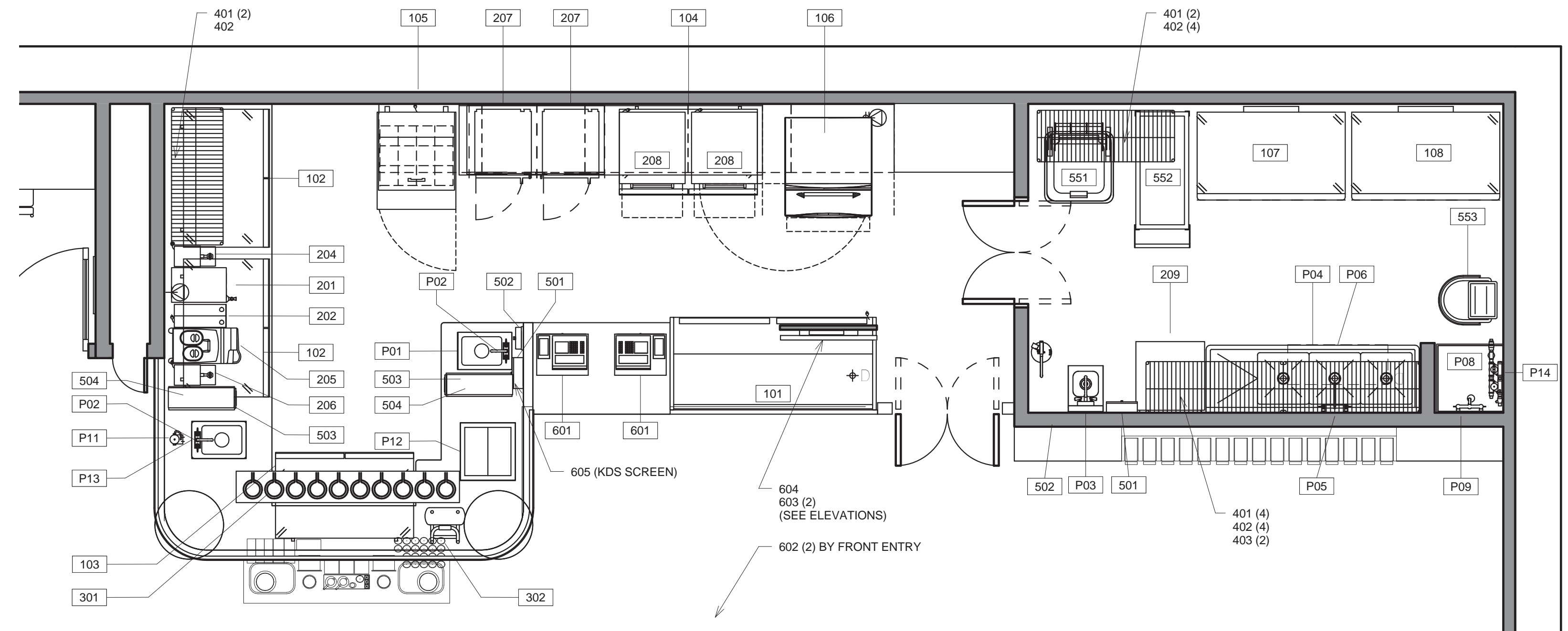
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Issue Date: June 7, 2016
Project No.: 15.44
Sheet Title: DATA AND POWER
Sheet No.: A-2.2
100% ARCHITECTURAL SUBMISSION: FOR REVIEW



1 PART BASEMENT - FOOD SERVICE PLAN
3/8" = 1'-0"



2 MAIN FLOOR PLAN - PROPOSED FOOD SERVICE
3/8" = 1'-0"

BOARD OF HEALTH NOTES

WESTCHESTER COUNTY BOARD OF HEALTH GENERAL NOTES:

- ALL EQUIPMENT & CONSTRUCTION SHALL CONFORM TO THE WESTCHESTER COUNTY & NEW YORK STATE SANITARY CODE.
- DESIGN, CONSTRUCTION, AND INSTALLATION OF FOOD EQUIPMENT AND UTENSILS SHALL MEET THE CURRENT STANDARDS OF THE NATIONAL SANITATION FOUNDATION.
- ALL WALL & FLOOR JUNCTURES SHALL BE COVERED IN FOOD PREPARATION, FOOD STORAGE, UTENSIL WASHING AREA, WALK-IN REFRIGERATORS, DRESSING OR LOCKER ROOMS AND TOILET ROOMS.
- PROTECTIVE SHIELDING SHALL BE PROVIDED FOR LIGHTING FIXTURES IN FOOD PREPARATION AREAS, UTENSIL AND EQUIPMENT WASHING AREAS AND OTHER AREAS WHERE FOOD IS DISPLAYED.
- PROVIDE LIGHTING OF 30 FOOT CANDLES (MIN.) ON WORKING SURFACES AND AT LEAST 20 FOOT CANDLES ON ALL OTHER SURFACES AND EQUIPMENT.
- ALL ROOMS SHALL BE ADEQUATELY VENTILATED, FORCED OR NATURAL.
- REFUSE IS TO BE STORED IN PLASTIC CONTAINERS WITH LIDS AND PLASTIC LINERS. GARBAGE IS TO BE DISPOSED OF ON A DAILY BASIS (MIN.) TO A DUMPSTER. SEE PLOT PLAN FOR DUMPSTER LOCATION.
- TOILET ROOM SHALL BE MECHANICALLY VENTED.
- SERVICE CONNECTIONS THROUGH FLOOR MUST BE ADEQUATELY SEALED.
- HORIZONTAL LINES 6 INCHES OF FLOOR AND 1 INCH FROM WALL.
- HOT AND COLD FOOD STORAGE FACILITIES SHALL BE PROVIDED WITH INDICATING THERMOMETERS.
- THREE COMPARTMENT SINK WITH DRAIN BOARDS FOR MANUAL UTENSIL WASHING OR MECHANICAL DISHWASHER.
- EXHAUST HOOD SHALL HAVE APPROVED REMOVABLE GREASE FILTERS WITH 6 INCH (MIN.) OVERLAP ON EXPOSED SIDES OF EQUIPMENT.
- UTILITY SINK SHALL BE PROVIDED FOR CLEANING MOPS AND SIMILAR WET FLOOR CLEANING TOOLS, DISPOSAL OF MOP WATER AND SIMILAR LIQUID WASTE. THE USE OF EXISTING EQUIPMENT IS SUBJECT TO FIELD EVALUATION.
- ALL SEAMS BETWEEN ADJACENT EQUIPMENT, EQUIPMENT AND WALLS, ETC. THROUGHOUT THE FOOD PREPARATION, STORAGE, UTENSIL WASHING, AND TOILET AREAS ARE TO BE SEALED USING METAL FLASHING, FOOD GRADE SILICONE SEALANT, OR OTHER SUCH TYPE OF MATERIAL.
- PROVIDE VERMIN, RODENT, & INSECT PROTECTION. PROVIDE WINDOW & DOOR SCREENING, SELF CLOSING DEVICES ON EXTERIOR DOORS, AND TIGHT FITTING DOOR SWEEPS.
- ALL EQUIPMENT TO MEET OR BE EQUIVALENT TO N.S.F. STANDARDS
- ALL FLOOR DRAINS SHALL BE PROVIDED WITH DEEP SEAL TRAPS AND SUITABLE WATER SUPPLY TO MAINTAIN TRAP SEAL.
- ALL FLOOR DRAINS RECEIVING INDIRECT WASTE PIPES DISCHARGING SOLID SUBSTANCE SHALL BE EQUIPPED WITH A REMOVABLE METAL STRAINER NOT LESS THAN 4 INCHES IN HEIGHT.
- HOT WATER PROVIDING EQUIPMENT TO HAVE A CAPACITY OF 75 GALLONS AT 180 DEGREES FAHRENHEIT AND RECOVERY RATE OF HIGH CAPACITY GALLON PER HOUR; EQUIPMENT TO BE VENTED.
- PROVIDE AUTOMATIC SHUT OFF VALVES TO ALL EQUIPMENT AS REQUIRED BY N.F.P.A. (ARTICLE 96).
- PROVIDE 'ANSUL' C O FIRE SUPPRESSION SYSTEM IN EXHAUST HOODS; SYSTEM SHALL BE PLUMBED AS PER CODE.
- USE OF BEVERAGE COOLING DEVICES IN UTENSIL WASHING OR FOOD PREPARATION SINKS, ETC. IS PROHIBITED. SEPARATE FACILITIES REQUIRED.
- COOKING UTENSILS ARE TO BE CLEANED IN A SINK EQUIPPED WITH A GREASE TRAP.
- ALL EXPOSED PLUMBING PIPES SHALL HAVE 6 INCHES OF CLEARANCE FROM ALL SURFACES FOR CLEANING PURPOSES.
- INDIRECT WASTES ARE TO BE INSTALLED FOR REFRIGERATOR CONDENSATES.
- ALL PLUMBING SHALL BE IN COMPLIANCE WITH STATE AND LOCAL LAWS.
- PROVIDE BACK SIPHONAGE PROTECTION FOR: CARBONATED BEVERAGE DISPENSERS, WATER CLOSET, URINALS, DISHWASHERS, POTATO PEELERS, GARBAGE GRINDERS, SINK, LAVATORIES, STEAM TABLES, HOSE CONNECTIONS, DIPPER WELLS, OTHER.
- PROVIDE INDIRECT DRAINS FOR: DISHWASHERS, REFRIGERATORS, STEAM KETTLES OR TABLES, POTATO PEELERS ICE MAKERS & STORAGE BINS, FOOD PREPARATION, SINKS, OTHER.
- REMOTE COMPRESSORS NOT TO BE INSTALLED WITHIN 5 FEET OF FOOD STORAGE OR WITHIN 15 FEET OF FOOD PREPARATION OR SERVICE AREA.
- PROVIDE HOT WATER BOOSTER FOR DISHWASHER FINAL RINSE AND HOT WATER TANK.
- SMOKING SHALL NOT BE PERMITTED IN THIS ESTABLISHMENT.

SCOPE OF ESTABLISHMENT

- ESTABLISHMENT SHALL BE CONSIDERED AN WALK-IN / WALK-OUT RESTAURANT SERVING COFFEE, NON-ALCOHOLIC DRINKS, PASTRY, PRE-PACKAGED FOODS AND OTHER OFF-PREMESIS PREPARED FOOD ITEMS. ESTABLISHMENT WILL HAVE A COUNTER TAKE-OUT COUNTER FOR 'TO-GO' ORDERS.
- TYPE OF FOOD SERVED SHALL BE PRE-MADE PASTRY AND LUNCH ITEMS, AND PRE-PACKAGED SNACKS THAT ACCOMPANY A COFFEE HOUSE MENU. DRINKS SHALL INCLUDE SODAS, WATER, JUICES, COFFEES AND TEAS.
- ALL FOOD ITEMS WILL BE PREPARED OFF-SITE. SOME FROZEN PRODUCTS WILL BE PRE-MADE AND DELIVERED TO THE SITE TO BE SERVED IN THE RESTAURANT. COFFEE AND DRINKS WILL BE ASSEMBLED ON SITE.

ALL KITCHEN EQUIPMENT SHALL COMPLY WITH THE FOLLOWING INSTALLATION REQUIREMENTS:

- FLOOR MOUNTING: SEALED TO THE FLOOR AROUND ENTIRE PERIMETER OF EQUIPMENT SO AS TO BE MOISTURE PROOF AND PREVENT ACCUMULATION OF DEBRIS.
- MASONRY BASES: MINIMUM HEIGHT OF 2 INCHES AND BE COVERED AT JUNCTURE OF BASE AND FLOOR. UNIT MUST BE SEALED TO BASE WITH MASTIC COMPOUND.
- PORTABLE EQUIPMENT OR WHEELED EQUIPMENT: NEED NOT MEET THE INSTALLATION REQUIREMENTS APPLICABLE TO FIXED EQUIPMENT.
- EQUIPMENT MOUNTED ON LEGS: MINIMUM HEIGHT SIX INCHES. LEGS TO BE DESIGNED TO PREVENT ACCUMULATION OF SOIL AT POINT OF FLOOR CONTACT.
- SPACING BETWEEN AND BEHIND EQUIPMENT: EQUIPMENT TO BE INSTALLED WITH SUFFICIENT UNOBSTRUCTED SPACE BEHIND EQUIPMENT AND BETWEEN EQUIPMENT AND WALLS TO PERMIT ACCESS FOR CLEANING OR EQUIPMENT IS TO BE SEALED TO THE WALL.

PROVIDE THE FOLLOWING WIDTH OF CLEAR UNOBSTRUCTED SPACE AS REQUIRED:

- DISTANCE TO BE CLEANED LESS THAN 2 FEET IN LENGTH. SPACE IS NOT TO BE LESS THAN 6 INCHES.
- DISTANCE TO BE CLEANED GREATER THAN 2 FEET BUT LESS THAN 4 FEET: SPACE IS NOT TO BE LESS THAN 8 INCHES.
- DISTANCE TO BE CLEANED GREATER THAN 4 FEET BUT LESS THAN 6 FEET: SPACE IS NOT TO BE LESS THAN 12 INCHES.
- DISTANCE TO BE CLEANED GREATER THAN 6 FEET: SPACE IS TO BE AT LEAST 18 INCHES.
- aisle SPACE - NOT LESS THAN 30 INCHES IN WIDTH. 42 INCHES WHERE MORE THAN ONE PERSON MAY WORK.
- WHEN EQUIPMENT IS BUTTED TOGETHER OR SPREADER PLATES USED. JOINT IS TO BE EFFECTED IN MANNER TO PREVENT ACCUMULATION OF DEBRIS AND MOISTURE.

TOILET AND HANDWASHING FACILITIES (1.4-1.142 AND 1.43 AND ARTICLE III SECTION 3.C. OF THE WESTCHESTER COUNTY SANITARY CODE).

- TOILET AND HAND WASHING FACILITIES TO BE ADEQUATE AND CONVENIENTLY LOCATED.
- TOILET ROOMS SHALL NOT OPEN DIRECTLY INTO A ROOM IN WHICH FOOD PRODUCTS ARE MANUFACTURED, OR IN WHICH UNWRAPPED FOOD PRODUCTS ARE PACKED, PREPARED, SOLD, OR SERVED.
- TOILETS AND HAND WASHING BASINS FOR PATRONS AND EMPLOYEES, SEPARATE FOR EACH SEX FOR ESTABLISHMENTS DESIGNED TO SEAT 20 OR MORE AND WHERE ALCOHOLIC BEVERAGES ARE SERVED.
- HOT AND COLD POTABLE, TEMPERED WATER BY MEANS OF A MIXING VALVE OR COMBINATION FAUCET TO ALL HAND WASHING SINKS.
- HAND DRYING (TYPE) AND SOAP DISPENSER
- SEPARATE HAND WASH BASIN REQUIRED IN FOOD PREPARATION AREA.

KITCHEN EQUIPMENT NOTE:

- KITCHEN EQUIPMENT SHOWN HEREON DERIVED FROM THAT PROVIDED TO ARCHITECT BY OWNER DURING THE PRELIMINARY DESIGN PHASE. OWNER, CONTRACTOR AND FOOD SERVICE EQUIPMENT PROVIDER SHALL COORDINATE ACTUAL AND FINAL EQUIPMENT MODELS AND MANUFACTURERS FOR INSTALLATION.
- ARCHITECTURAL AND ENGINEERING DRAWINGS SHALL BE USED FOR DETERMINATION OF KITCHEN EQUIPMENT TYPES, LOCATION, CLEARANCES AND GENERAL SIZES: FINAL SELECTED KITCHEN EQUIPMENT TO MATCH WHAT IS SHOWN ON DRAWINGS.

**FOOD SERVICE EQUIPMENT
(N. I. C.)**

| Revisions & Issues | | |
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Issue Date: June 7, 2016
Project No.: 15.44
Sheet Title: FOOD SERVICE PLAN
Sheet No.: A-3.1

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SUBMISSION: FOR REVIEW

FOOD SERVICE EQUIPMENT SCHEDULE

| ITEM NO | QTY | EQUIPMENT CATEGORY | MANUFACTURER | MODEL NUMBER | EQUIPMENT REMARKS | AMPS | KW | HP | VOLTS | PHASE | CYCLE | DIRECT | PLUG | NEMA | ELECTRICAL AFF (IN) | COLD WATER SIZE (IN) | COLD WATER AFF (IN) | HOT WATER SIZE (IN) | HOT WATER AFF (IN) | DIRECT DRAIN SIZE (IN) | DIRECT DRAIN AFF (IN) | INDIR DRAIN AFF (IN) | INDIR DRAIN AFF (IN) | ITEM NO |
|---------|-----|--|-------------------------|-----------------------|--|------|-----|----|---------|-------|-------|--------|------|-------|---------------------|----------------------|---------------------|---------------------|--------------------|------------------------|-----------------------|----------------------|----------------------|---------|
| 101 | 1 | OPEN MERCHANDISER | RPI | SCRFC7248-MS-MOD-AR | CUSTOM 72" WIDE UNIT | 12.0 | | | 115 | 1 | 60 | | X | 5-15P | 2 | | | | | | | | | 101 |
| 102 | 2 | REFRIGERATOR, UNDERCOUNTER | TURBO AIR | MUR-48 | | 6.5 | | | 115 | 1 | 60 | | X | 5-15P | 18 | | | | | | | | | 102 |
| 103 | 1 | REFRIGERATOR, UNDERCOUNTER | TURBO AIR | MUR-48-CUSTOM | | 6.5 | | | 115 | 1 | 60 | | X | 5-15P | 18 | 0.375 | 14 | | | | | | | 103 |
| 104 | 1 | FREEZER, UNDERCOUNTER | TURBO AIR | MUF-48 | | 8.3 | | | 115 | 1 | 60 | | X | 5-15P | 18 | | | | | | | | | 104 |
| 105 | 1 | REFRIGERATOR, SANDWICH/SALAD PREP | TURBO AIR | MST-28-12 | | 3.3 | | | 115 | 1 | 60 | | X | 5-15P | 48 | | | | | | | | | 105 |
| 106 | 1 | ICE MAKER w/BIN | MANITOWOC ICE | IY-0906A /B-570 | | 12.2 | | | 208-230 | 1 | 60 | X | | | 48 | 0.375 | 42 | | | | | 0.75 | FS | 106 |
| 107 | 2 | REFRIGERATOR, REACH-IN | TURBO AIR | M3R47-2 | (1) TO BE LOCATED IN BASEMENT (SEE Q200B FOR ROUGHIN LOCATION) | 9.2 | | | 115 | 1 | 60 | | X | 5-15P | 48 | | | | | | | | | 107 |
| 108 | 2 | FREEZER, REACH-IN | TURBO AIR | M3F47-2 | (1) TO BE LOCATED IN BASEMENT (SEE Q200B FOR ROUGHIN LOCATION) | 10.5 | | | 115 | 1 | 60 | | X | 5-15P | 48 | | | | | | | | | 108 |
| 201 | 1 | COFFEE MAKER, SATELLITE SYSTEM | BUNN-O-MATIC | 34800.0002 | | 19.2 | | | 120/208 | 1 | 60 | X | | | 48 | 0.375 | 14 | | | | | | | 201 |
| 202 | 1 | COFFEE GRINDER | BUNN-O-MATIC | 33700.0000 | | 9.4 | | | 120 | 1 | 60 | | X | 5-15P | 48 | | | | | | | | | 202 |
| 204 | 1 | DISPENSER, HOT WATER, 5 GALLON | BUNN-O-MATIC | 43600.0000 | | 19.5 | | | 208 | 1 | 60 | X | | | 48 | 0.25 | 14 | | | | | | | 204 |
| 205 | 1 | ESPRESSO MACHINE/GRINDER, SUPER-AUTOMATIC | LACIMBALI | M1 TurboSteam | | | 2.6 | | 208/240 | 1 | 60 | X | | | 48 | | | | | | | | | 205 |
| 206 | 1 | STEAMER, 2 BARISTA STEAM WANDS | CARIMALI | Service Unit Plus A02 | ESTIMATED UTILITIES - VERIFY SPECIFICATIONS | | | | 230 | 1 | 60 | X | | | 18 | | | | | | | | | 206 |
| 207 | 2 | OVEN, MICROWAVE/CONVECTION, COMBI | ACP, Inc. | JET14 | UNITS TO BE STACKED | 16.0 | | | 208-240 | 1 | 60 | | X | 6-20P | 48 / 54 | | | | | | | | | 207 |
| 208 | 2 | BAKING OVEN, ELECTRIC CONVECTION WITH STEAM CONDENSOR HOOD | MWWE America | Gusto / gu 3.0403 | ESTIMATED UTILITIES - VERIFY SPECIFICATIONS | | 3.4 | | 208 | 1 | 60 | X | | | 48 | | | | | | | | | 208 |
| 209 | 1 | WAREWASHER, UNDERCOUNTER, HIGH TEMP | MOYER DIEBEL | 201HT | (2) ELECTRICAL CONNECTIONS | 32.0 | | | 208 | 1 | 60 | X | | | 18 | | | 0.75 | 14 | | | 0.625 | FS | 209 |
| 301 | 1 | 12-FAUCET DISPENSING TOWER | APEX BEVERAGE EQUIPMENT | PTB12SS | | | | | | | | | | | | | | | | | | | | 301 |
| 302 | 1 | AIR COMPRESSOR, 1 GALLON CAPACITY, ULTRA QUIET | SENGO | PC1010 | | 4.0 | | | 110 | 1 | 60 | | X | 5-15P | 18 | | | | | | | | | 302 |
| 401 | 2 | WIRE SHELVING | FOCUS FOODSERVICE | FF1848C | | | | | | | | | | | | | | | | | | | | 401 |
| 402 | 10 | SHELVING WALL MOUNTS | FOCUS FOODSERVICE | FWB18SCH | | | | | | | | | | | | | | | | | | | | 402 |
| 403 | 7 | SHELVING WALL MOUNTS | FOCUS FOODSERVICE | FWB18DCH | | | | | | | | | | | | | | | | | | | | 403 |
| 404 | 1 | WIRE SHELVING w/CASTERS | FOCUS FOODSERVICE | FF1836C | LOCATED IN BASEMENT STORAGE AREA | | | | | | | | | | | | | | | | | | | 404 |
| 405 | 9 | WIRE SHELVING w/CASTERS | FOCUS FOODSERVICE | FF1848C | LOCATED IN BASEMENT STORAGE AREA | | | | | | | | | | | | | | | | | | | 405 |
| 501 | 2 | TOWEL DISPENSER, KITCHEN | BOBRICK | B-2621 | | | | | | | | | | | | | | | | | | | | 501 |
| 502 | 2 | SOAP DISPENSER, WALL MOUNT, HORIZONTAL | BOBRICK | B-2112 | | | | | | | | | | | | | | | | | | | | 502 |
| 503 | 2 | DISPENSER, CUP, COUNTER TOP | DISPENSE-RITE | WR-CT-4 | | | | | | | | | | | | | | | | | | | | 503 |
| 504 | 2 | DISPENSER, LID | DISPENSE-RITE | CTLD-15 | | | | | | | | | | | | | | | | | | | | 504 |
| 551 | 1 | GARBAGE BIN, 41 QUART | RUBBERMAID | FG295700-GREY | | | | | | | | | | | | | | | | | | | | 551 |
| 552 | 1 | ROLLING CART | RUBBERMAID | FG409100-BLA | | | | | | | | | | | | | | | | | | | | 552 |
| 553 | 1 | MOP BUCKET | RUBBERMAID | 7580-88 | | | | | | | | | | | | | | | | | | | | 553 |
| 601 | 2 | POS | PROVIDED BY OPERATIONS | TBD | CASH DRAWER, SCANNER, RECEIPT PRINTER & SCALE w/DISPLAY | 10.0 | | | 115 | 1 | 60 | | X | 5-15P | 18 | | | | | | | | | 601 |
| 602 | 2 | LED DISPLAY MONITOR (55") PROMOTIONAL MENU | PROVIDED BY OPERATIONS | ME55B | ESTIMATED UTILITIES - VERIFY SPECIFICATIONS | 10.0 | | | 115 | 1 | 60 | | X | 5-15P | 48 | | | | | | | | | 602 |
| 603 | 3 | LED DISPLAY MONITOR (40") TEA & COFFEE MENU | PROVIDED BY OPERATIONS | ME40B | ESTIMATED UTILITIES - VERIFY SPECIFICATIONS | 10.0 | | | 115 | 1 | 60 | | X | 5-15P | 48 | | | | | | | | | 603 |
| 604 | 1 | LED DISPLAY MONITOR (65") SIGNATURE DRINK MENU | PROVIDED BY OPERATIONS | ME65B | ESTIMATED UTILITIES - VERIFY SPECIFICATIONS | 10.0 | | | 115 | 1 | 60 | | X | 5-15P | 48 | | | | | | | | | 604 |
| P01 | 1 | SINK DROP-IN | ADVANCE TABCO | DI-1-10SP | | | | | | | | | | | | | | | | | | 1.5 | FS | P01 |
| P02 | 2 | FAUCET, PANTRY TYPE | FISHER | 3515 | | | | | | | | | | | | 0.5 | 14 | 0.5 | 14 | | | | | P02 |
| P03 | 1 | HAND SINK, WALL MOUNT | ADVANCE TABCO | 7-PS-56 | | | | | | | | | | | | | | | | 1.5 | 12 | | | P03 |
| P04 | 1 | 3-COMP SINK, NSF, 3 comp, 14 gauge | ADVANCE TABCO | FS-3-1818-18L | (3) DRAINS | | | | | | | | | | | | | | | | | 1.5 | FS | P04 |
| P05 | 1 | 3-COMP SINK FAUCET, 14" SPOUT | FISHER | 13277 | | | | | | | | | | | | 0.5 | 14 | 0.5 | 14 | | | | | P05 |
| P06 | 1 | GREASE TRAP | ROCKFORD | G-1412 | | | | | | | | | | | | | | | | | | | | P06 |
| P08 | 1 | MOP SINK | ZURN | Z1996-24 | | | | | | | | | | | | | | | | 1.5 | 0 | | | P08 |
| P09 | 1 | MOP SINK FAUCET | CHICAGO FAUCETS | 911-ISCP | | | | | | | | | | | | 0.5 | 48 | 0.5 | 48 | | | | | P09 |
| P10 | 1 | WATER HEATER | PROVIDED BY OTHER | TBD | | | | | | | | | | | | | | | | | | | | P10 |
| P11 | 1 | WATER FILTER FOR ESPRESSO MACHINE | 3M | ESPRESSOMATE EM2 | ESTIMATED UTILITIES - VERIFY SPECIFICATIONS | | | | | | | | | | | 0.75 | 14 | | | | | | | P11 |
| P12 | 1 | DROP-IN, ICE BIN | ADVANCE TABCO | D-24-IBL | | | | | | | | | | | | | | | | | | 1 | FS | P12 |
| P13 | 1 | DROP-IN SINK | ADVANCE TABCO | DI-1-10 | | | | | | | | | | | | | | | | | | 1.5 | FS | P13 |
| P14 | 1 | WATER FILTER ASSEMBLY | 3M PURIFICATION | ICE280-S | | | | | | | | | | | | 0.75 | 14 | | | | | | | P14 |

FOOD SERVICE EQUIPMENT (N. I. C.)

| Revisions & Issues | | |
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| No. | Description | Date |
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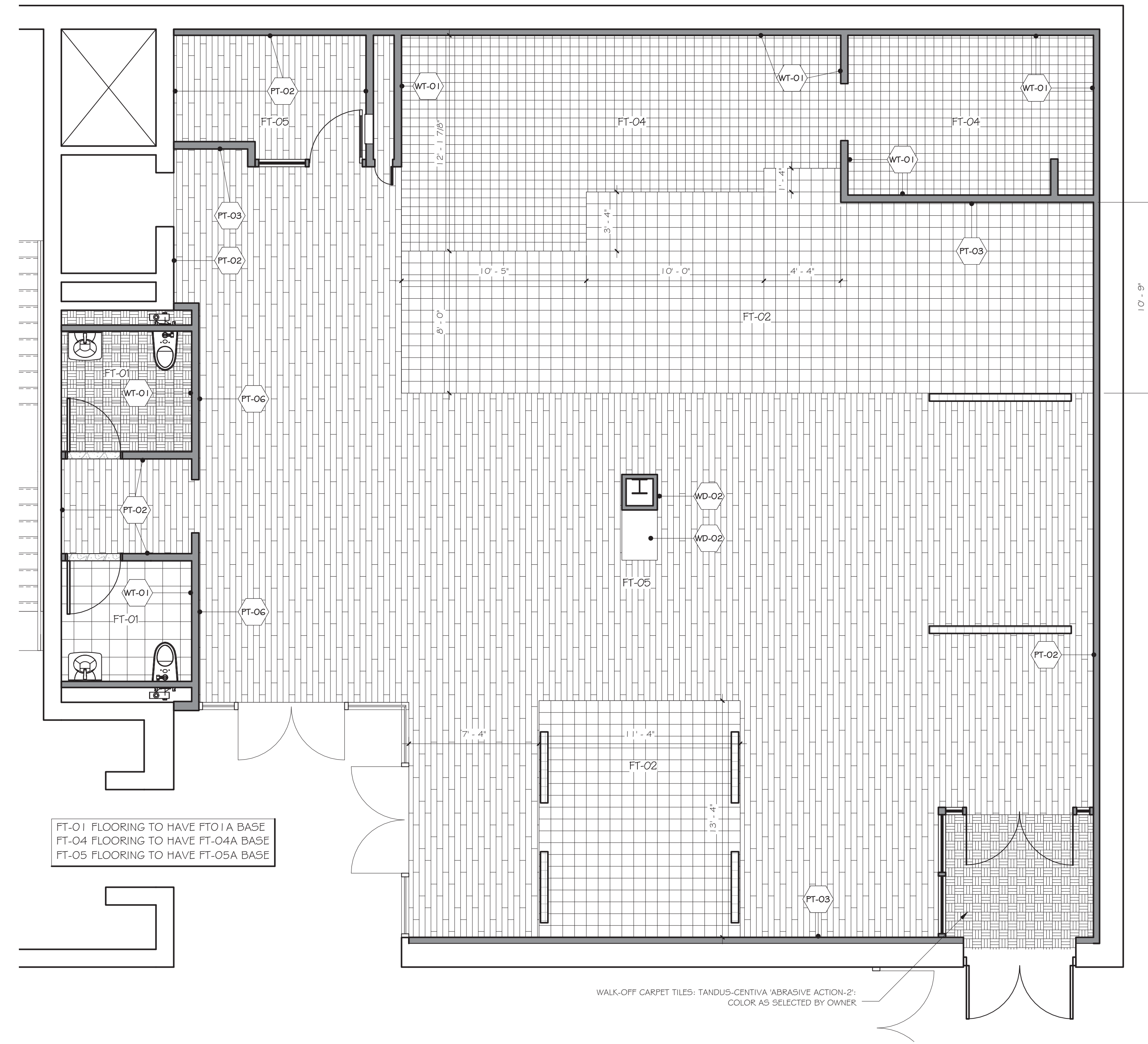
Issue Date: June 7, 2016

Project No.: 15.44

Sheet Title: FOOD SERVICE EQUIPMENT LEGEND

100% ARCHITECTURAL SUBMISSION: FOR REVIEW

Issue Drawn: A-3.2



1 MAIN FLOOR PLAN - FINISHES
1/4" = 1'-0"

| TAG | ITEM / DESCRIPTION | MANUFACTURER | FINISH / MODEL NUMBER | NOTES |
|--|---|---|---|---|
| CEILING | | | | |
| ACT-1 | LAY-IN ACOUSTICAL CEILING TILE | USG | PRODUCT: #3280 CLMPLUS (SO) EDGE SIZE: 2'x2'x1/2" COLOR: WHITE GRID: DX/DXL24 SHADOWLINE MOLDING #MS274 | VINYL-FACED GYPSUM PANELS USDA APPROVED. FOOD PREP AREAS, TYP. |
| ACT-2 | LAY-IN ACOUSTICAL CEILING TILE | USG | PRODUCT: #440 FROST (SLB) EDGE SIZE: 2'x2'x3/4" COLOR: WHITE GRID: DX/DXL24 SHADOWLINE MOLDING #M7 | PANELS AND GRID TO BE PAINTED BEFORE INSTALL - SEE CEILING PLAN FINISH NOTES CUSTOMER AREAS, TYP. |
| GWB-1 | GYPSUM WALL BOARD CEILING | USG | 5/8" GYPSUM WALLBOARD WITH USG DRYWALL SUSPENSION SYSTEM OR LIGHT-GUAGE FRAMING AT SOFFITS, PAINT AS NOTED. | SEE CEILING PLAN FOR FINISH NOTES |
| TILE - CERAMIC | | | | |
| FT-01 | Porcelain Floor Tile | Nemo tile www.nemotile.com | PRODUCT: Embarcadero Porcelain COLOR: Mission Beige SIZE: 12"x12" GROUT: Laticrete #17 Marble Beige JOINTS: 1/16" | Bathroom floor tile |
| FT-01a | Porcelain Wall Base, Wood Pattern | Nemo tile www.nemotile.com | PRODUCT: Embarcadero Porcelain COLOR: Mission Beige SIZE: 12"x12" GROUT: Laticrete #17 Marble Beige JOINTS: 1/16" | Bathroom floor tile |
| FT-02 | Concrete Floor Tile | Roca Tile Group www.rocatilegroup.com cristina.dordas@us.roca.com | PRODUCT: Bergen COLOR: Liana #FSXTEQ421 SIZE: 6"x4" JOINTS: 1/16" | Tea sampling and Pick up area floor tile |
| FT-03 | not used | | | |
| FT-04 | Quarry Tile | Roca Tile Group www.rocatilegroup.com cristina.dordas@us.roca.com | PRODUCT: Roca Quarry Tile COLOR: Puritan Gray SIZE: 6"x6" SKU: 507-66 GROUT: Laticrete #24 Natural Grey JOINTS: 1/8" | Service Area and BOH |
| FT-04a | Quarry Tile Cove Floor Base | Daltile www.daltile.com | PRODUCT: Suretread Cove COLOR: Grey #P-3665 SIZE: 6"x6" GROUT: Laticrete #24 Natural Grey JOINTS: 1/8" | Service Area and BOH |
| FT-05 | Porcelain Floor Tile, Wood Pattern | Roca Tile Group www.rocatilegroup.com cristina.dordas@us.roca.com | PRODUCT: Bergen COLOR: Wenge #FSXTEQ721 SIZE: 6"x24" JOINTS: 1/16" | Option to engineered wood flooring |
| FT-05a | Porcelain Wall Base, Wood Pattern | Roca Tile Group www.rocatilegroup.com cristina.dordas@us.roca.com | PRODUCT: Bergen COLOR: Wenge #FSXTEQ721 SIZE: 6"x24" JOINTS: 1/16" | Option to engineered wood flooring |
| TILE - WALL | | | | |
| WT-01 | Ceramic Wall Tile | Roca Tile Group www.rocatilegroup.com cristina.dordas@us.roca.com | PRODUCT: Color Collection - Roca tile COLOR: Bisquit Matte SIZE: 6"x6" SKU: U274-66 PATTERN: Horizontal alternating bond GROUT: Laticrete #44 Bright White JOINTS: 1/16" | Service Area and Toiletroom walls |
| LAMINATES | | | | |
| PL-01 | Plastic laminate, color core | Formica www.formica.com | PRODUCT: ColorCore2 COLOR: 933C, Mission White FINISH: 90, Gloss | Milwork and panelling |
| PL-02 | Plastic laminate | Formica www.formica.com | PRODUCT: Formica Laminate COLOR: 909 Black FINISH: 58, Matte | Milwork interiors |
| FRP PANELS | | | | |
| FRP-1 | Fiberglass reinforced fiberglass panels | Marlite | PRODUCT: S-100 S/2/S White SURFACE: Smooth SIZE: 48"x120"x3/32" TRIM: 48"x96"x3/32" TRIM: Trim moldings & corner guards as reqd. | Provide white marlite silicone sealant at wet areas as required |
| GLASS / GLAZING | | | | |
| GL-01 | Tempered glass, etched | Custom | 1/2" tempered glass, acid etched on interior surface, 60% opacity Match Argo Tea control sample | Interior storefront |
| GL-02 | Tempered glass, clear | Custom | 1/2" Tempered clear glass | Food display case & sneeze-guard, polished edges, see milwork drawings |
| METAL | | | | |
| MT-01 | Metal | Custom | MATERIAL: Steel COLOR: Raw mill-finish steel (dark grey) FINISH: Matte clear protective coat | Milwork and furniture accents |
| MTS-01 | Metal flooring transition strip | Schluter Schiene www.schluter.com | PRODUCT: Schluter Schiene MATERIAL: Aluminum, bronze anodized (AKB) SIZE: Coordinate with tile thickness | |
| PAINT | | | | |
| PT-01 | Paint - dark grey | Benjamin Moore www.benjaminmoore.com | COLOR: #1596 Nightfall FINISH: Flat | Exposed ceilings and accents |
| PT-02 | Paint - white | Benjamin Moore www.benjaminmoore.com | COLOR: #OC-131 White Down FINISH: Eggshell | Typical walls & ceiling soffit |
| PT-03 | Paint - metallic silver | Scuffmaster www.scuffmaster.com | PRODUCT: Environmental COLOR: #EM8005R FINISH: Custom application | Accent walls |
| PT-04 | Paint - white (high gloss laquer) | Benjamin Moore www.benjaminmoore.com | COLOR: #OC-131 White Down FINISH: High gloss Laquer "patino" finish | Milwork accents |
| PT-05 | Paint - white (high gloss) | Benjamin Moore www.benjaminmoore.com | COLOR: #OC-131 White Down FINISH: High gloss | Accent walls |
| PT-06 | Paint - Argo green | Benjamin Moore www.benjaminmoore.com | COLOR: "Pantone 395C" (custom) PAINT TINT ID: CF12251128601 BASE PAINT: BMCW3094X004 FORMULA: 0.4 x 1.4375 S1, 2 x 3.0, 3.125 V2, 0 x 0.3125 R3 FINISH: Gloss | Accent walls |
| QUARTZ | | | | |
| QZ-01 | Quartz | SILESTONE | PRODUCT: QUARTZ COUNTERS THICKNESS: 3/4" COLOR: BIANCO RIVER EDGE PROFILE: EASED EDGE, TOP & BOTTOM | Counters |
| SOLID SURFACE | | | | |
| SS-01 | Solid Surface | Corian www.dupont.com | PRODUCT: Solid Surface THICKNESS: 1.5" COLOR: Rice Paper | Barista counter, self-order table |
| SS-02 | Solid Surface | Corian www.dupont.com | PRODUCT: SOLID SURFACE THICKNESS: 1.5" COLOR: Medea | Rear service counters & BOH |
| UPHOLSTERY & FABRICS | | | | |
| FB-01 | Upholstery, Vinyl (olive-light) | Nassim LLC 212.643.8080 www.symphonycollection.com | Product #: SGL-007 Name: Glaze Color: Kivi | Banquette seating, typical seat back, U.N.O. Wood dining chair pad |
| FB-02 | Upholstery, Vinyl (olive-medium) | Nassim LLC 212.643.8080 www.symphonycollection.com | Product #: SVI004 Name: Vintage Color: Cypress | Banquette seating, typical seat bottom, U.N.O. Metal barstool seat pad color 1 |
| FB-03 | Upholstery, Leather (hibiscus) | Moore & Giles, Inc. 212.527.9757 | Product #: 1510MON Name: Mont Blanc Color: Cupid | Bolster/pillow Metal barstool seat pad color 2 |
| FB-04 | Fabric, curtains | Richloom Fabrics Group 212.685.5400 | Pattern: FR Colonial Color: Jute | Curtains |
| WALL BASE | | | | |
| WB-01 | Wall Base - Wood | Custom | MATERIAL: Stained wood COLOR: Match WF-01 or RF-01 flooring SIZE: 4" high x 1/2" deep | |
| WB-02 | Wall Base - Vinyl | Armstrong www.armstrong.com | PRODUCT: 4" Color-integrated cove wall base PROFILE: Cove COLOR: #60 Jet Black | |
| FLOORING - RESILIENT | | | | |
| RF-01 | Luxury vinyl floor tile | Architectural Systems, Inc. www.archsystems.com | 1/8" thick 7" wide X 48" Long strips installed with random joints COLLECTION: European Vinyl Collection COLOR/PATTERN: FLHTG141 FINISH: Prime eurothane & ceramic bead coating, anti-microbial nano-silver particles | Custom area floors |
| RF-02 | By GC | Match RF-01 | transition profiles | |
| FLOORING - WOOD | | | | |
| WF-01 | Wood flooring | Nydear Flooring www.nydearflooring.com | PRODUCT: Engineered acrylic impregnated wood flooring SIZE: 3/8" Thick x 4" Width x Random length (12'-47") SPECIES: Plainsawn White Oak COLOR: Natural with custom 'slightly blue' stain FINISH: Factory-applied pedestrian urethane EDGE DETAIL: Micro bevel | See drawing details & specifications for install notes & trim accessories |
| WOOD | | | | |
| WD-01 | Wood (solid) | Custom | SPECIES: Walnut FINISH: Monocoat (match architect's sample) | Milwork details |
| WD-02 | Wood (veneer) | Custom | SPECIES: White Oak STAIN: Walnut (match Argo Tea Sample) PATTERN: Quarter Sawn | Milwork details |
| NOTES: | | | | |
| 1 FOLLOW MATERIAL PATTERNS SHOWN ON PLANS, UNLESS NOTED OTHERWISE. | | | | |
| 2 SEE ALSO NOTES & RESPONSIBILITIES SCHEDULE FOR FINISHES PROVIDED BY OWNER. | | | | |

| Revisions & Issues | | |
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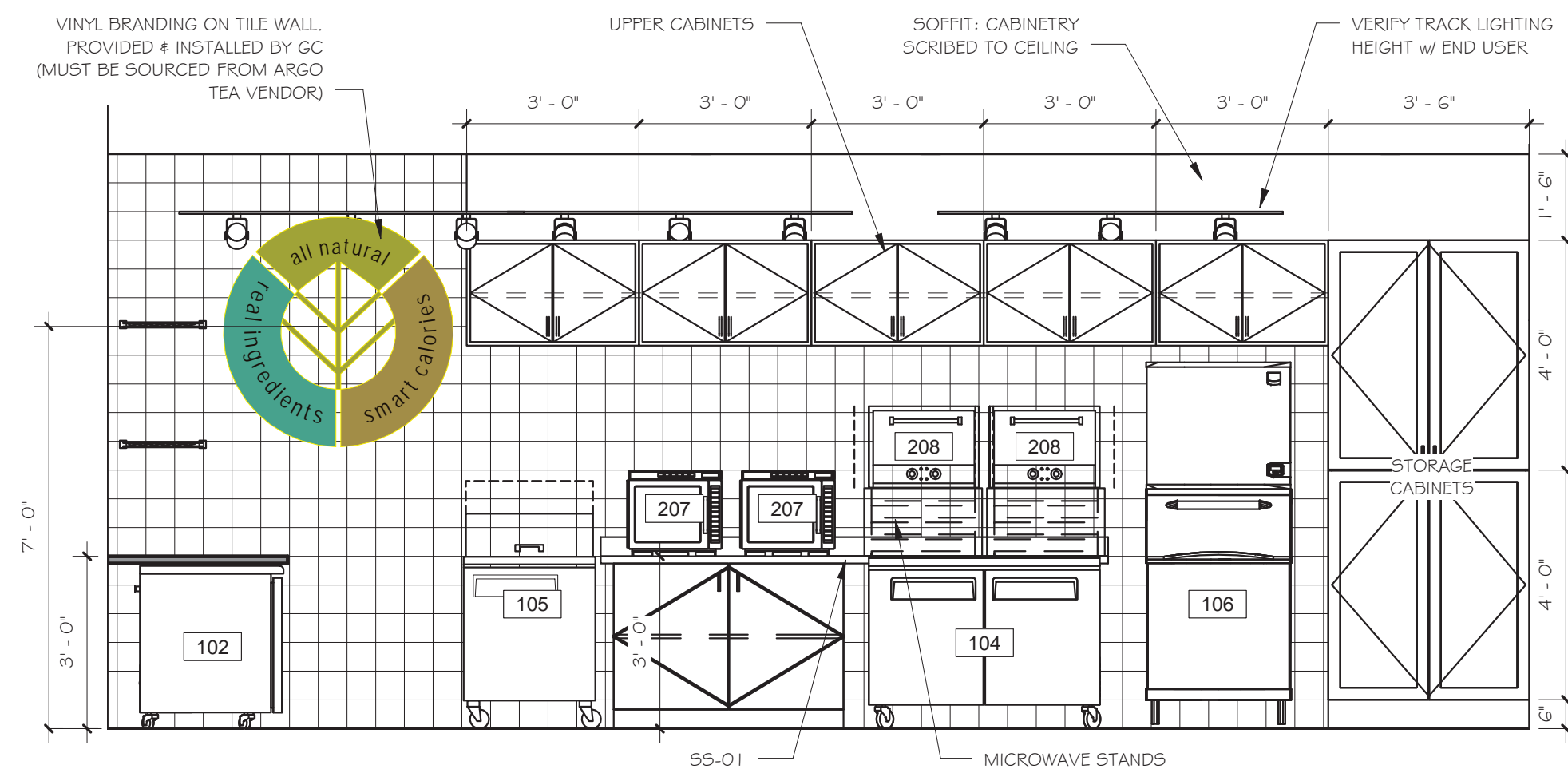
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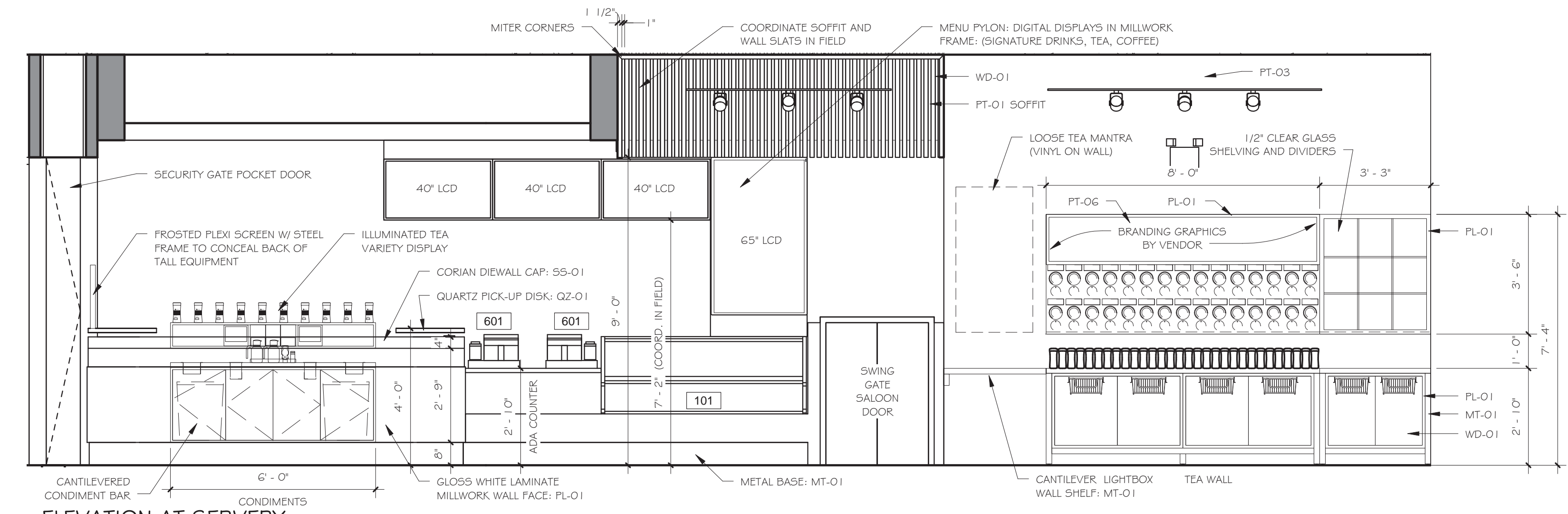
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Project No.: 15.44
Sheet Title: FINISH DRAWING AND SCHEDULES
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Sheet No.: A-4.1

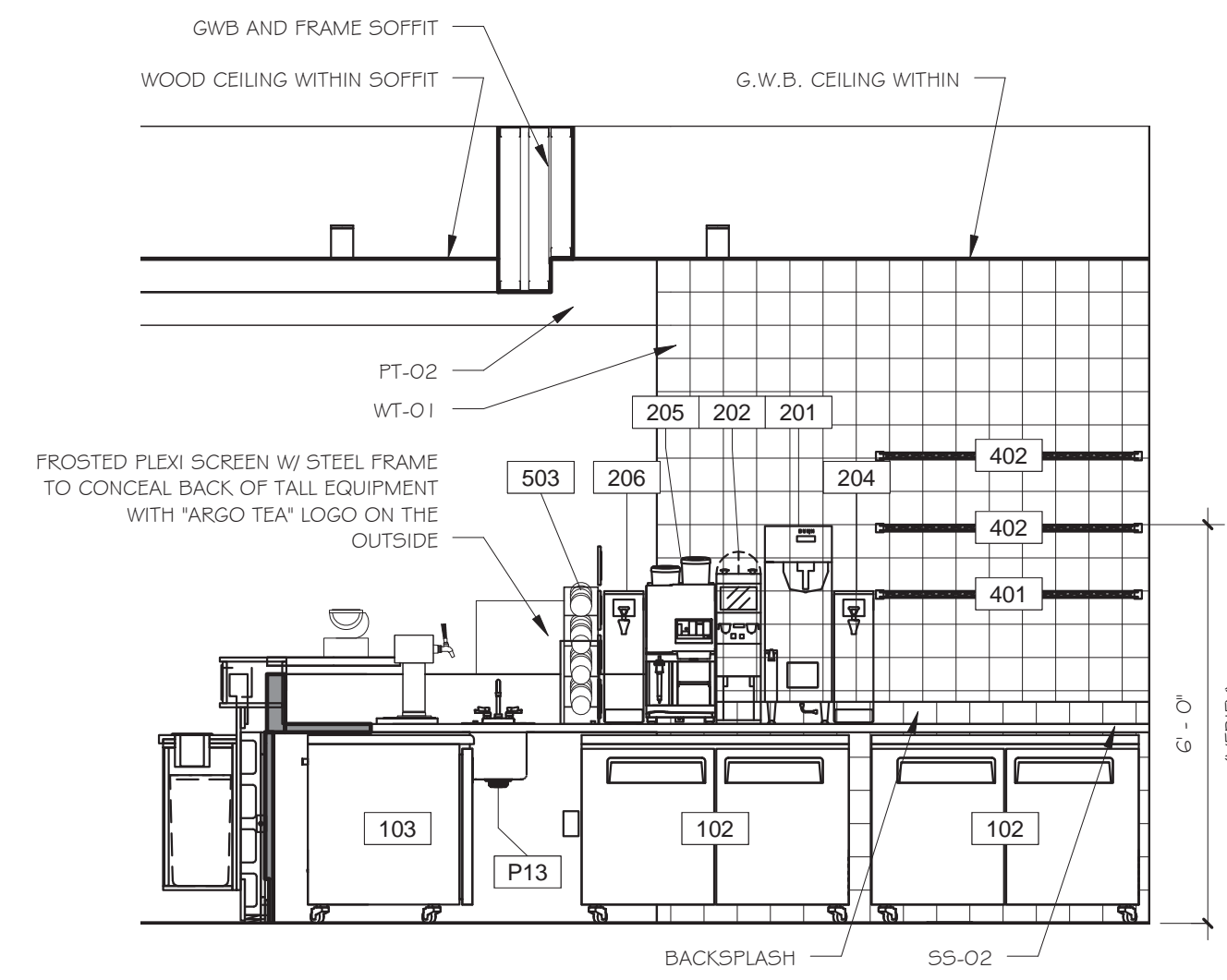
Do not scale drawings. Each Contractor shall be responsible for all field measurements.



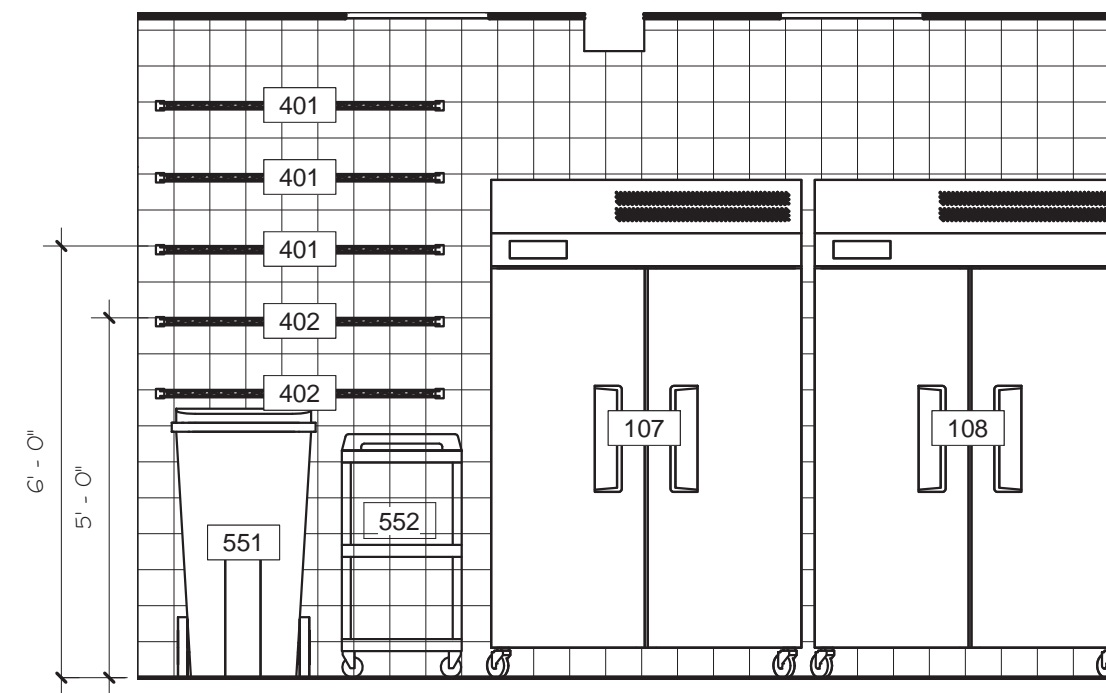
7 ELEVATION AT BACK LINE
3/8" = 1'-0"



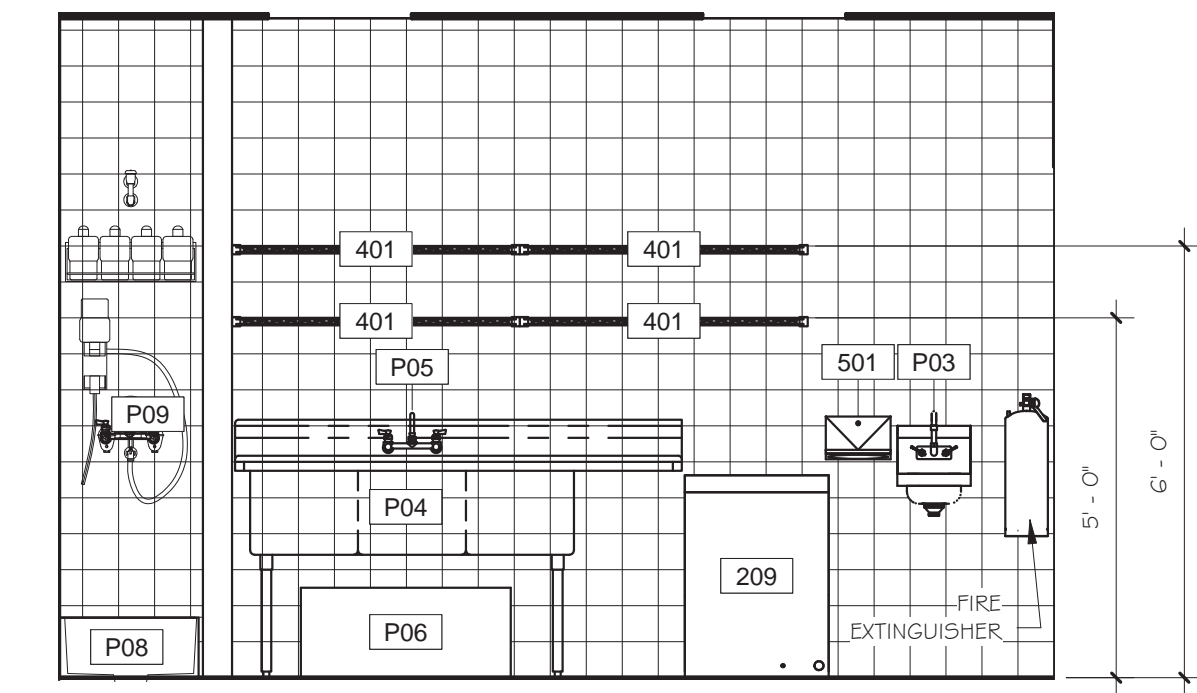
8 ELEVATION AT SERVERY
3/8" = 1'-0"



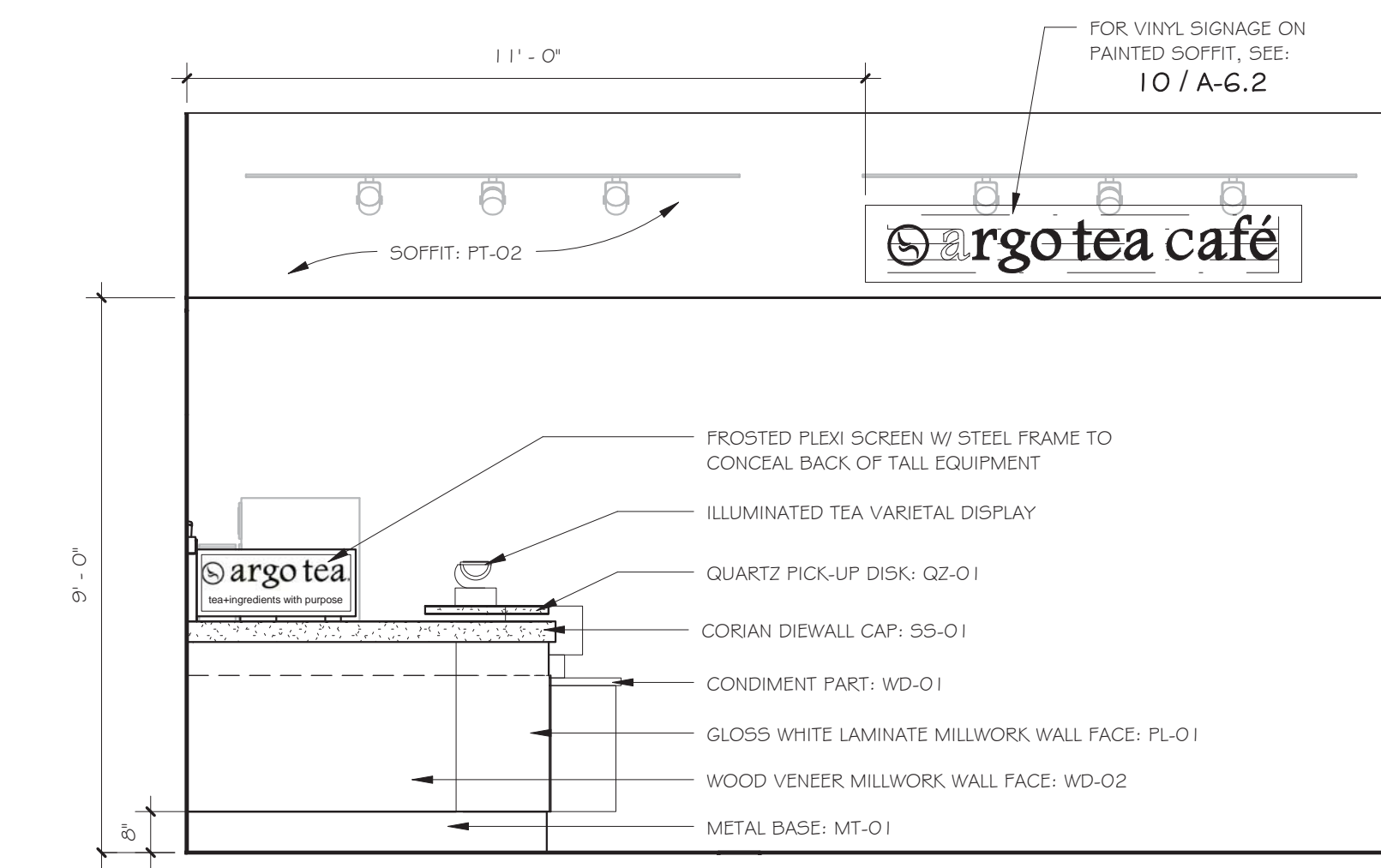
4 ELEVATION AT SIDE PREP LINE
3/8" = 1'-0"



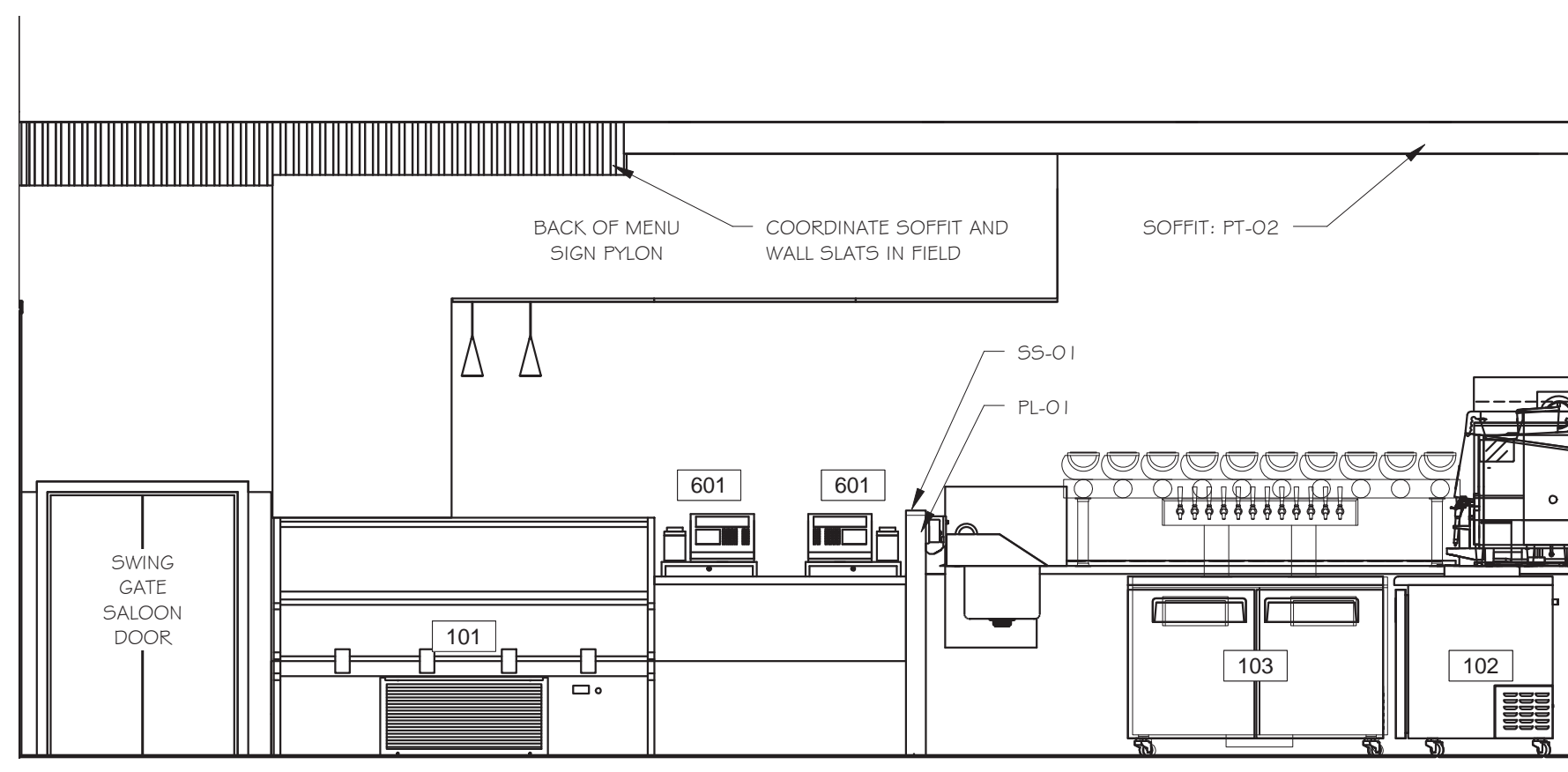
5 BACKROOM - ELEVATION A
3/8" = 1'-0"



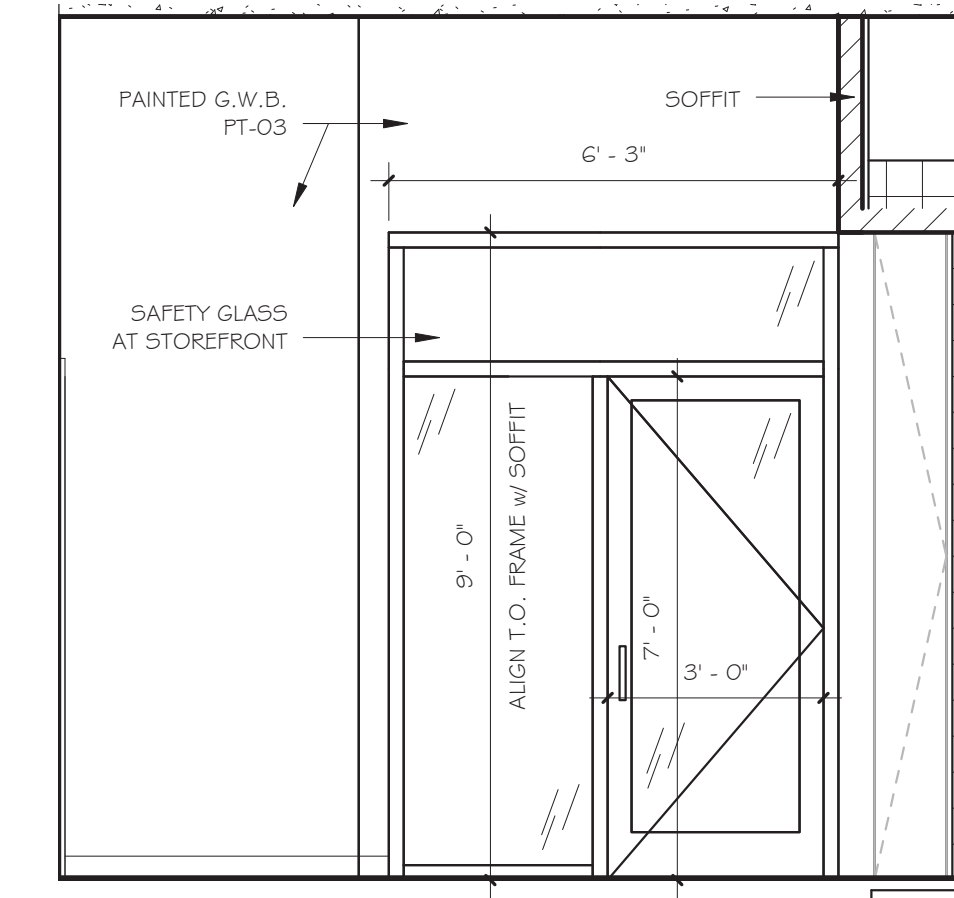
6 BACKROOM - ELEVATION B
3/8" = 1'-0"



1 SIDE ELEVATION - PICK-UP COUNTER
3/8" = 1'-0"



2 ELEVATION AT FRONT LINE
3/8" = 1'-0"



3 OFFICE STOREFRONT
3/8" = 1'-0"

FOOD SERVICE MILLWORK (N. I. C.)

| Revisions & Issues | | |
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TECHNOLOGY SOLUTIONS design group

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MORAIS C. MIRANDA, RCDD - 917-533-3689

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Seal

REGISTERED ARCHITECT
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STATE OF NEW YORK
028059

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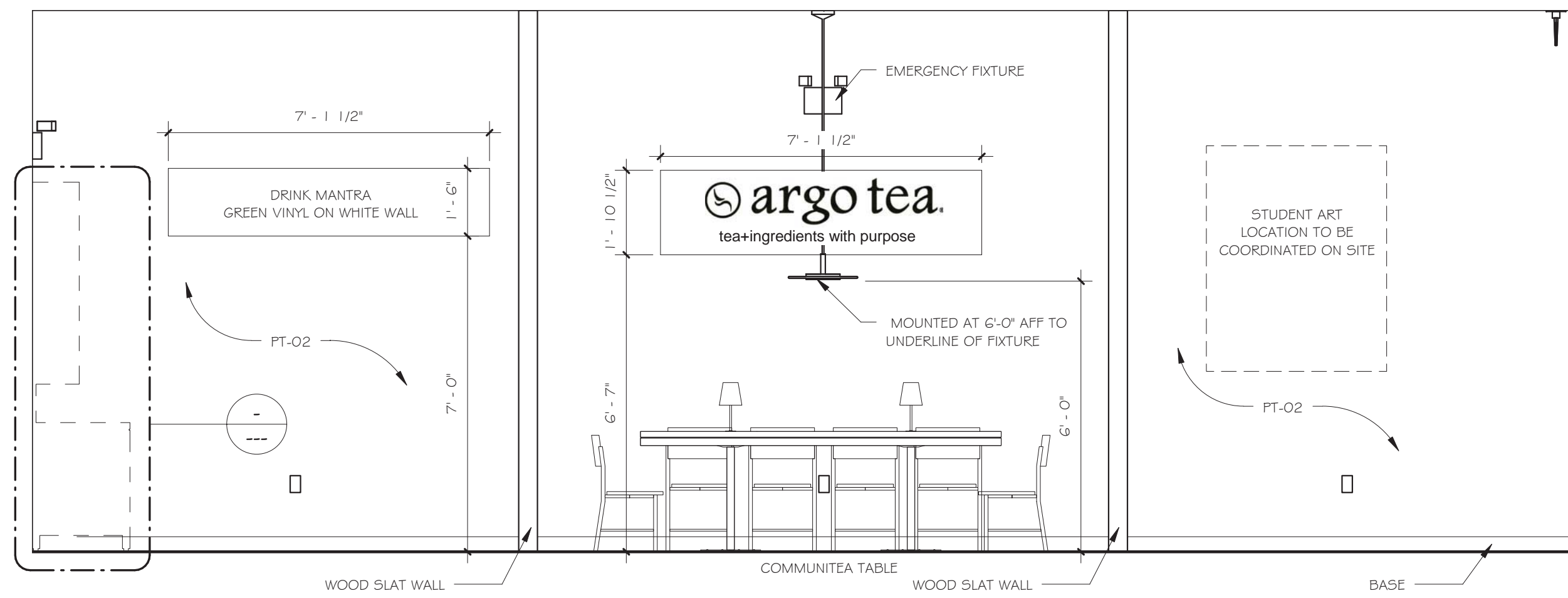
Architect

DAVID A. TETRO

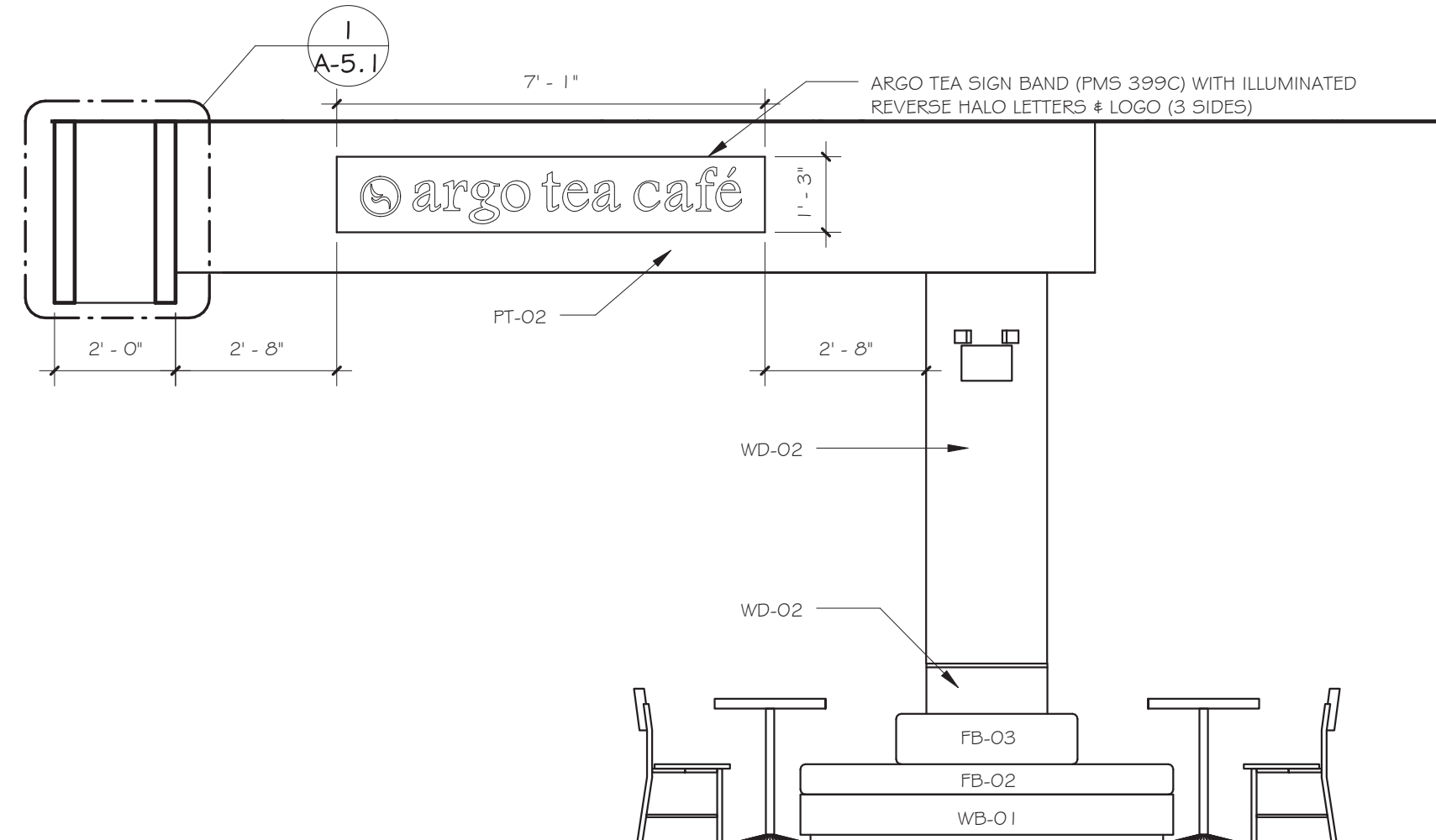
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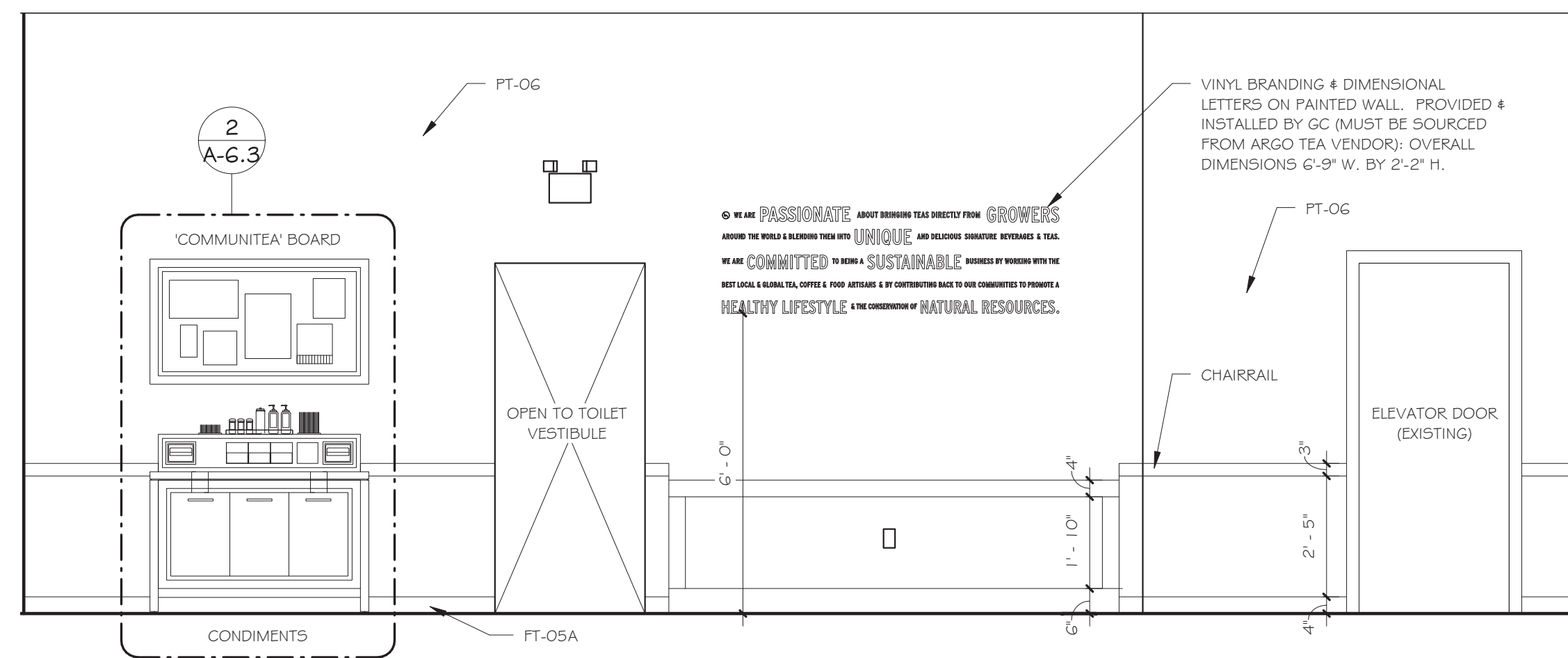
Issue Date: June 7, 2016
Project No.: 15.44
Sheet Title: INTERIOR ELEVATIONS-1
Sheet No.: A-4.2
100% ARCHITECTURAL SUBMISSION: FOR REVIEW



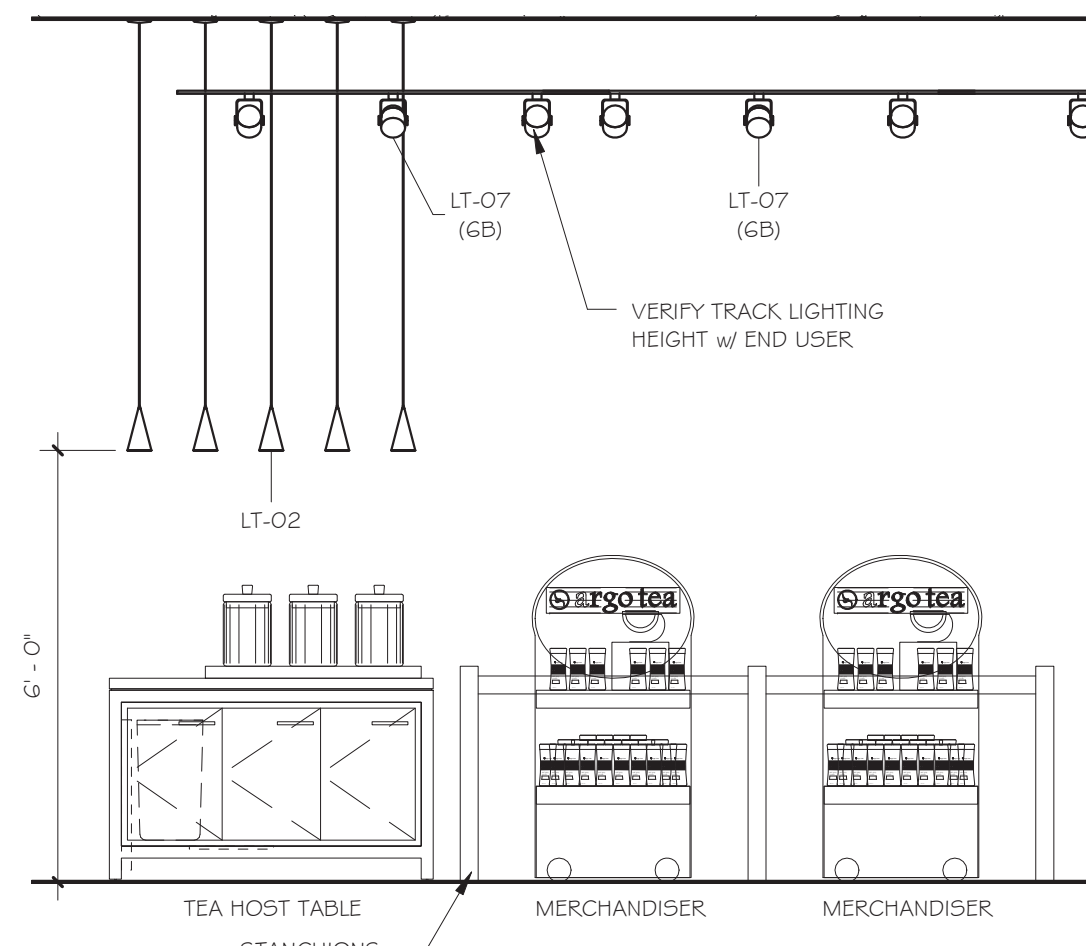
5 ELEVATION TO COMMUNITEA TABLE
3/8" = 1'-0"



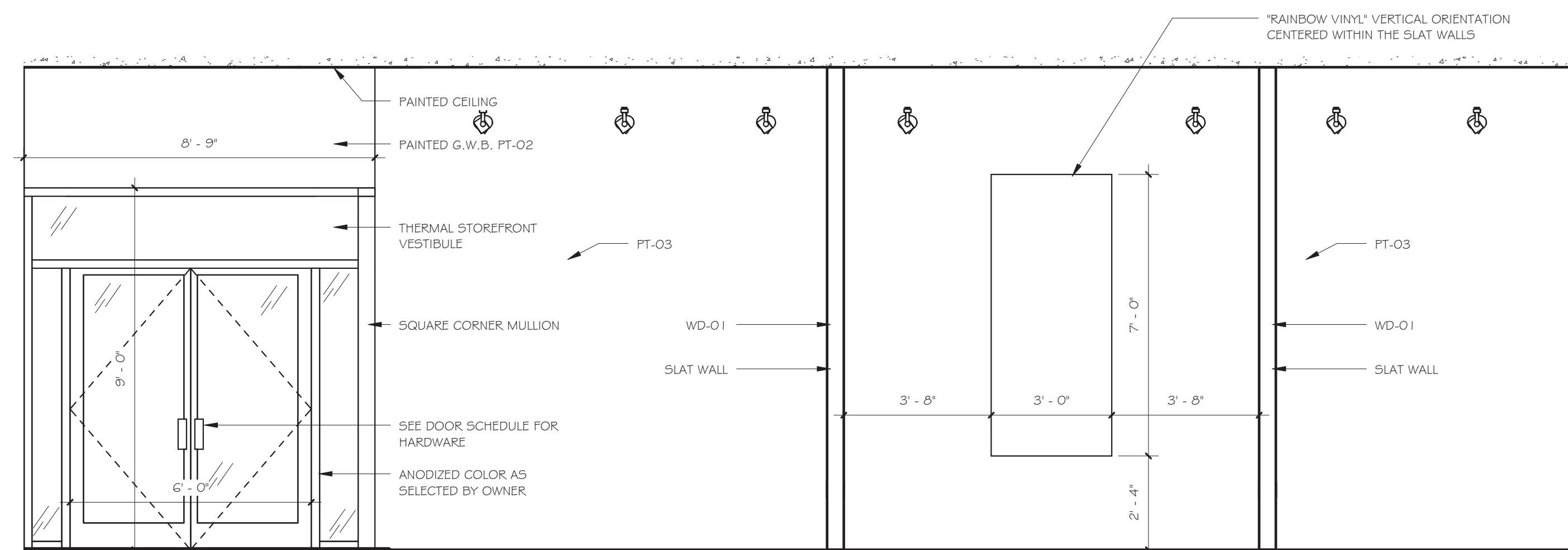
6 ELEVATION AT BANQUETTE
3/8" = 1'-0"



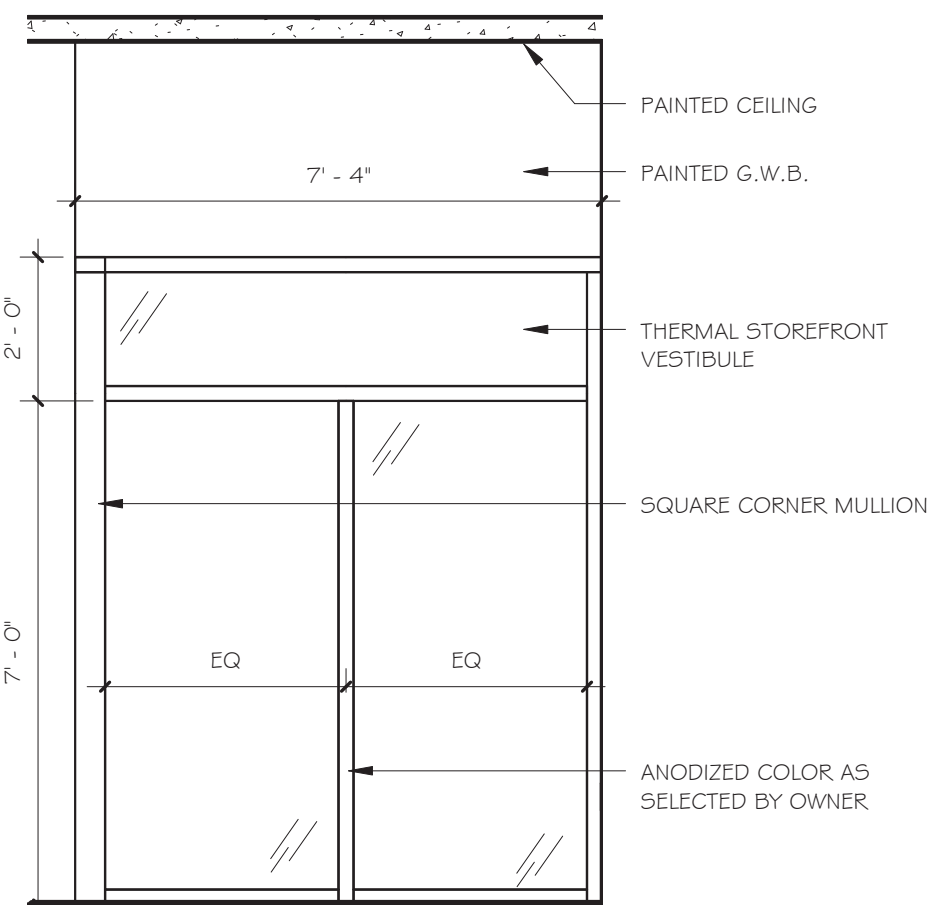
3 ELEVATION AT CONDIMENTS WALL
3/8" = 1'-0"



4 ELEVATION AT MERCHANDISE
3/8" = 1'-0"



1 VESTIBULE WALL
3/8" = 1'-0"



2 VESTIBULE STOREFRONT
3/8" = 1'-0"

| MILLWORK SCHEDULE (Argo 3.0) | | | | |
|---------------------------------------|------|--|--------------------------------|--|
| TAG | QTY. | ITEM & DESCRIPTION | SIZE (Length x Width x Height) | NOTES |
| MILLWORK: SERVICE AREA MODULES | | | | |
| MOD-01 | 1 | POS & Pastry case counter/diewall | See drawings | - |
| MOD-02 | 1 | Drink counter/diewall | See drawings | - |
| MOD-03 | 1 | Barista counter/diewall | See drawings | - |
| MOD-03a | 1 | Barista: Pick up disc 1 | 24" diameter | - |
| MOD-03b | 1 | Barista: Pick up disc 2 | 24" diameter | - |
| MOD-03c | 1 | Barista: Tea varietal display | See drawings | Provide & Install lighting with whip for site installation. |
| MOD-04 | 1 | Food prep island/diewall | See drawings | - |
| MILLWORK: CORE ELEMENTS: | | | | |
| MIL-01 | 1 | Loose tea wall | See drawings | - |
| MIL-01a | 0 | Loose tea: Slat wall surround | See drawings | - |
| MIL-01b | 1 | Loose tea: Overhead wall unit / tea canister display | See drawings | - |
| MIL-01c | 1 | Loose tea: Base cabinet - retail | See drawings | - |
| MIL-01d | 1 | Loose tea: Base cabinet - sampling | See drawings | - |
| MIL-01e | 1 | Loose tea: Retail glass shelves | See drawings | - |
| MIL-02 | 1 | Tea host sampling table - small | 3'-0" x 2'-6" x 3'-2" | Install electrical & data outlets as indicated |
| MIL-02a | 1 | Tea host: Light box - small | 2'-2" x 5" x 2'-14" | - |
| MIL-04 | 0 | Bar counter | See drawings | - |
| MIL-05 | 2 | Condiment station base cabinet | 4'-4-1/2" x 1'-10" x 2'-10" | - |
| MIL-06 | 2 | Condiment station upper condiment bar | 4'-4-1/2" x 9" x 6" | - |
| MIL-08 | 1 | Condiment station upper TEA board | 4'-4-1/2" x 2'-5-1/2" x 3" | - |
| MIL-09 | 8 | Slat wall - floor-to-ceiling | - | - |
| MIL-10 | 1 | Slat wall - ceiling element | - | - |
| MILLWORK: MISCELLANEOUS: | | | | |
| MIL-20 | 1 | Layout template | See drawings | MDF template with diewall and plumbing core locations scribed on surface |
| MIL-21 | 1 | Base cabinet - carbonator & air compressor | See drawings | - |
| MIL-22a | 0 | Base cabinet - platform | 33"x24" curved | - |
| MIL-22b | 0 | Base cabinet - platform | 21"x24" curved | - |
| MIL-22c | 1 | Base cabinet - POS | See drawings | - |
| MIL-22d | 3 | Base cabinet - storage | See drawings | - |
| MIL-22e | 8 | Base cabinet - solid leg support | See drawings | - |
| MIL-23 | TBD | Chair rail | - | - |
| MIL-25 | TBD | Wall base | - | - |
| MIL-26 | TBD | Wainscot | - | - |
| MIL-27 | 1 | Manager desk | - | - |
| MIL-28 | 1 | Manager desk - upper cabinet | - | - |
| MIL-30 | 2 | Toiletroom wall cabinet | - | - |
| MIL-32 | 1 | Menu board pylon | See drawings | - |
| MIL-34 | 1 | Double swing gate w/ bomber hinge | See drawings | - |

| MILLWORK: CUSTOM FURNITURE (see also FF&E schedule) | | | | |
|---|----|--------------------------------|-----------------------|---|
| TB-01 | 21 | Dining table - 22" diameter | 22" diameter | - |
| TB-02 | 5 | Dining table - 28" diameter | 28" diameter | - |
| TB-03 | 1 | CommunitEA table | 8'-0" x 2'-6" x 2'-8" | Install electrical outlets if indicated |
| TB-04 | 0 | Standing table | 2'-0" x 4'-0" x 3'-6" | - |
| TB-05 | 0 | Dining table - rectangular | 20" x 30" | - |
| TB-06 | 0 | Lounge table - large | 24"diameter x 18"H | - |
| TB-07 | 2 | Lounge table - small | 18"diameter x 24"H | - |
| CH01A | 0 | Upholstered seat pad for CH01A | - | FB-01 (light olive) |
| CH02A | 0 | Upholstered seat pad for CH02A | - | FB-03 (hibiscus) |
| CH02B | 0 | Upholstered seat pad for CH02B | - | FB-02 (olive medium) |
| BQ-01 | 1 | Banquette | See drawings | Install electrical outlets if indicated |

| SIGN ELEMENTS: | | | | |
|----------------|---|---|--|--|
| 1 | 1 | Sign band w/ illuminated push-through letters | | |
| | | Sign band w/ illuminated push-through letters | | |

| MILLWORK ACCESSORIES SCHEDULE | | | | |
|-------------------------------|----------|---|-------------------------|---|
| TAG | QTY. | ITEM & DESCRIPTION | FINISH | MANUFACTURER / MODEL # |
| - | SEE DWGS | GROMMETS: 2.5" GROMMET - LINER ONLY FOR UNDERCOUNTER | BLACK | DOUG MOCKETT & CO. EDP W/FLIP-TOP TAB / BLACK |
| - | SEE DWGS | DOOR / DRAWER PULLS: 1" DIAM. GROMMET SLEEVE FINGER PULL | BLACK | DOUG MOCKETT & CO. #0C1, BLACK |
| - | SEE DWGS | DOOR / DRAWER PULLS: Thin square rail 8.68"Lx.375"Wx1.31"projection | Black | Atlas Homewares (www.atlasmhomeares.com) #A826 |
| - | SEE DWGS | DOOR / DRAWER PULLS (option): Thin square rail 5"L x 5"W | Venetian Bronze | Residential Essentials Model #10281VB / Lites Item #424842 |
| - | See dwgs | Stainless steel bullet feet | - | - |
| - | SEE DWGS | CABINET HINGES: DOUBLE-FOLD PIANO HINGE | BLACK POWDER COAT | TBD |
| - | SEE DWGS | CABINET LOCKS: REMOVABLE LOCK PLUGS, KEY ALL LOCKS ALIKE | BLACK | TIMBERLINE, OR EQUAL |
| - | SEE DWGS | SHelf BRACKETS: 1.57"x1.5" ANGLE PROFILE, SIZE AS NEEDED | BLACK | FASTCAP SPEEDBRACE, OR SIMILAR, BLACK FINISH |
| - | SEE DWGS | DRINK LEDGE HARDWARE, 2" DIAM S.S. "FLOOR FLANGE" | Brushed stainless steel | LAVI INDUSTRIES #R322 |
| - | 60 | Graphic signage hanging posts 1/2" long barrel x 3/8" diam, 10-24 tapped hole | Machined Aluminum | Gyford Standoff Systems (www.standoffsystems.com) Part #SO-050 |
| - | 60 | Graphic signage hanging caps 3/8" diameter cap w/ 1/4" cap height & 10-24 tapped hole | Machined Aluminum | Gyford Standoff Systems (www.standoffsystems.com) Part #SO-CAP7 for 1/4" material thickness |
| - | 4 | Napkin dispenser (2 per condiment bar) | Glass black acrylic | DISPENSE-RITE #FMB1 |
| - | 4 | Bain Marie (2 per condiment bar) | Brushed stainless steel | VOLLRATH COMPANY #78710 |
| - | 4 | Trash chute (2 per condiment bar) | Brushed stainless steel | DISPENSE-RITE #TC2-2NB |
| - | 6 | Condiment bar sugar tray | MT-01 | Custom, see drawings |
| - | 2 | Condiment bar inset tray | MT-01 | Custom, see drawings |

NOTES:
1. ALL SCHEDULED ACCESSORIES SUPPLIED & INSTALLED BY MILLWORK CONTRACTOR. U.N.O.
2. ACCESSORIES NOT NOTED ARE PROVIDED BY OWNER. INSTALLED BY MILLWORK CONTRACTOR.

| Revisions & Issues | | |
|--------------------|-------------|------|
| No. | Description | Date |
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Client / Project

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AT

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IT Consultant

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Issue Date: June 7, 2016

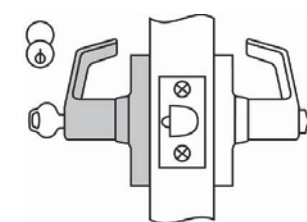
Project No.: 15.44

Sheet No.: A-4.3

Sheet Title: INTERIOR ELEVATIONS-2

100% ARCHITECTURAL SUBMISSION: FOR REVIEW

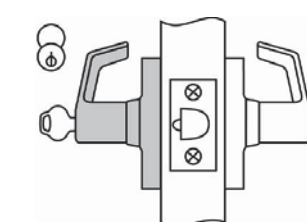
INTERIOR DOOR LOCKSET FUNCTIONS



CL3351
CORBIN RUSSWIN
(OR APPROVED EQUAL)

ANSI #109:
ENTRANCE/OFFICE
FUNCTION

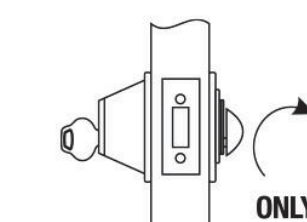
- Inside lever always free.
- Inside button locks outside lever by turning and pushing
- Turning inside lever unlocks outside lever.
- Deadlocking latchbolt by lever either side except when turnbutton locks outside lever.
- Pushing turn button in locks outside lever (requiring key to unlock).



CL3359
CORBIN RUSSWIN
(OR APPROVED EQUAL)

BARRIER-FREE
PRIVACY
FUNCTION

- Deadlocking latchbolt by inside lever.
- Key outside unlocks outside lever to retract latchbolt.
- Key is retained in unlock mode.
- When key is removed outside lever is locked.
- (Lever handle is freewheeling in locked position.) Inside lever always free.



DL3017
CORBIN RUSSWIN
(OR APPROVED EQUAL)

ANSI E0170:
CLASSROOM
FUNCTION

- By key outside and by thumbturn inside.
- Thumbturn will retract but not project deadbolt.

DOOR HARDWARE SETS

HARDWARE SET #1

| | | | | | |
|-------|----------------|--|----------------|-------------|-----|
| 3 ea. | HINGES | 5-Knuckle, 4.5"x4.5", Mortised, Heavy Weight | HAGER | BB1168 | 619 |
| 3 ea. | SILENCERS | Flat Round Rubber Plug-Type | HAGER | 307D | CHA |
| 1 ea. | LOCKSET | Office Function | CORBIN RUSSWIN | CL3351 | 625 |
| 1 ea. | OVERHEAD STOP | Grade 1 Heavy Duty Overhead Stop & Holder | HAGER | 1700 Series | 619 |
| 1 ea. | PERMANENT CORE | 7-Pin Coordinate Keying of Lockset Cylinder w/ Owner | BEST | IE-Series | 625 |

HARDWARE SET #2

| | | | | | |
|-------|-----------------------|--|----------------|-------------|-----|
| 3 ea. | HINGES | 5-Knuckle, 4.5"x4.5", Mortised, Standard Weight | HAGER | BB1168 | 625 |
| 3 ea. | SILENCERS | Flat Round Rubber Plug-Type | HAGER | 307D | CHA |
| 2 ea. | KICKPLATE - Each Side | 10" x 0.050", 4-Bevel | HAGER | 1945 | 628 |
| 2 ea. | PERMANENT CORE | 7-Pin Coordinate Keying of Lockset Cylinder w/ Owner | BEST | IE-Series | 625 |
| 1 ea. | DEADBOLT | Keyed Outside, Thumbblatch Inside | CORBIN RUSSWIN | CL3017 | 625 |
| 1 ea. | LOCKSET | Privacy Function, Barrier-Free Cylinder Lockset | CORBIN RUSSWIN | CL3359 | 625 |
| 1 ea. | OVERHEAD STOP | Grade 1 Heavy Duty Overhead Stop & Holder | HAGER | 1700 Series | 619 |

HARDWARE SET #3

| | | | | | |
|-------|-------------------------|--|------------|----------------|-----|
| 2 ea. | CLOSER | Grade 1 Surface, Heavy Duty Arm with Cushion Stop & Hold Open | HAGER | 5100 | ALM |
| 2 ea. | DOOR BOTTOM | Bottom Sweep, No Drip (verify door thickness) | HAGER | 7795 | MIL |
| 2 ea. | HINGES | Continuous Heavy-Duty Geared Rotun Hinge - Powered for Card Key Access | HAGER | 1200-650XHD | MIL |
| 2 ea. | LEVER | 1 w/ Cylinder; Match campus standard lever configurations | VON DUPRIN | 17 (98L Style) | 625 |
| 2 ea. | PANIC EGRESS BAR | Surface-Mounted Concealed-Rod | VON DUPRIN | 98 SERIES | 625 |
| 2 ea. | WEATHERSTRIPPING | Jamb and Head | HAGER | 2695 | MIL |
| 2 ea. | WEATHERSTRIPPING | Meeting Stile; Twin Pile Inset | HAGER | 847 | MIL |
| 1 ea. | AUTOMATIC OPENER/CLOSER | ADA Access Controlled; coordinate with Owner | | | |
| 1 ea. | PERMANENT CORE | 7-Pin Coordinate Keying of Lockset Cylinder w/ Owner | BEST | IE-Series | 625 |
| 1 ea. | THRESHOLD | ADA Compliant; Bronze, Anchored and Set in Sealant (Coord. w/ Panic Rod) | HAGER | 4135 | DBA |

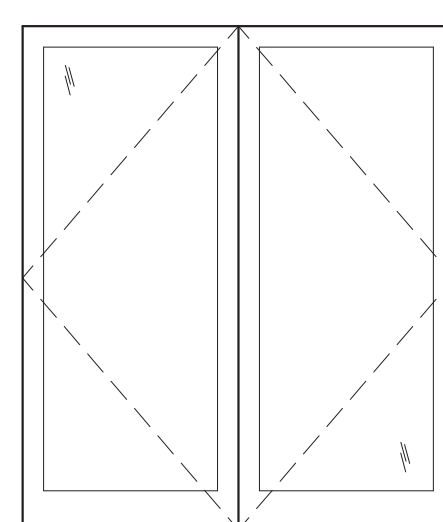
HARDWARE SET #4

| | | | | | |
|-------|-------------------------|--|------------|----------------|-----|
| 2 ea. | CLOSER | Grade 1 Surface, Heavy Duty Arm with Cushion Stop & Hold Open | HAGER | 5100 | ALM |
| 2 ea. | HINGES | Continuous Heavy-Duty Geared Rotun Hinge - Powered for Card Key Access | HAGER | 1200-650XHD | MIL |
| 2 ea. | LEVER | 1 w/ Cylinder; Match campus standard lever configurations | VON DUPRIN | 17 (98L Style) | 625 |
| 2 ea. | PANIC EGRESS BAR | Surface-Mounted Concealed-Rod | VON DUPRIN | 98 SERIES | 625 |
| 2 ea. | WEATHERSTRIPPING | Meeting Stile; Twin Pile Inset | HAGER | 847 | MIL |
| 2 ea. | WEATHERSTRIPPING | Jamb and Head | HAGER | 2695 | MIL |
| 1 ea. | AUTOMATIC OPENER/CLOSER | ADA Access Controlled; coordinate with Owner | | | |
| 1 ea. | PERMANENT CORE | 7-Pin Coordinate Keying of Lockset Cylinder w/ Owner | BEST | IE-Series | 625 |

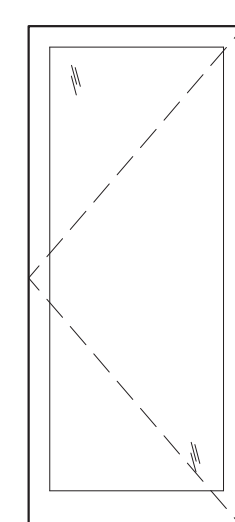
GENERAL DOOR NOTES:

1. All hardware to comply with all applicable portions of the New York State Building Code.
2. Coordinate hardware with all Campus standards and coordinate locksets and keying cores with campus locksmith or Owner's vendor and with Owner prior to placing order.
3. Finish of all accessories (kick-plates, wall stops, weather-stripping, seals, etc.) and hardware to be coordinate w/ Owner prior to Contractor completing hardware schedule and shall match Owner's standard hardware and accessories throughout remainder of building.
4. Accessory hardware shall be compatible with door rating.
5. Provide silencers on all doors and weather stripping on all rated and exterior doors.
6. All lock sets shall have push-bars (on all panic devices) or lever-acting handles (on all non-panic devices) complying with ANSI A117.1.
7. Door heads shall be aligned with each other and door bottoms shall be undercut as necessary for saddle conditions.
8. Provide compliant hardware and door assemblies at rated doors.
9. One leaf at each new entry door to be controlled by Handicap access push pad (coordinate w/ Owner).
10. Vestibule doors to be dogged.
11. Provide electrical continuous hinge strikes for future card-key access at vestibule doors.
12. Verify compatibility of bottomrod at ext doors w/ saddles. Adjust saddle type as necessary.
13. Assume Hager Hardware as those items specified in the hardware sets. Alternates and substitutes only permitted with Owner's review and acceptance.
14. Contractor to provide final cores and keys for Owner to install. Contractor to provide construction cores.

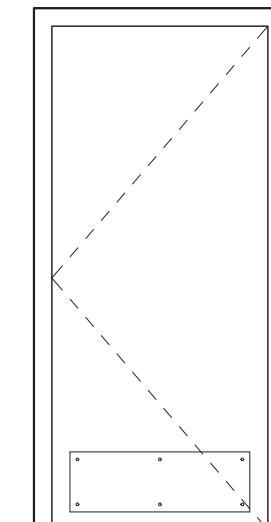
| | | DOOR SCHEDULE | | | | | | | | | | |
|----------|--------|---------------|-----------|---------|---------|-----------|----------|-----------|-----------|---------------|-----------------|--|
| DOOR No. | RATING | DOOR | | | | | FRAME | | | HARDWARE TYPE | REMARKS | |
| | | MATERIAL | ELEVATION | WIDTH | HEIGHT | THICKNESS | MATERIAL | SILL DET. | JAMB DET. | | | HEAD DET. |
| 1 | None | ALUM. | 1 | 6' - 0" | 7' - 0" | 1 3/4" | ALUM. | 1 | 1 | 1 | Set #3 | |
| 2 | None | ALUM. | 1 | 6' - 0" | 7' - 0" | 1 3/4" | ALUM. | 2 | 1 | 1 | Set #4 | |
| 3 | None | ALUM. | 2 | 3' - 0" | 7' - 0" | 1 3/4" | ALUM. | 2 | 1 | 1 | Set #1 | |
| 4 | None | BIRCH VEN. | 3 | 3' - 0" | 7' - 0" | 1 3/4" | H.M. | 3 | 2 | 2 | Set #2 | |
| 5 | None | BIRCH VEN. | 3 | 3' - 0" | 7' - 0" | 1 3/4" | H.M. | 3 | 2 | 2 | Set #2 | |
| 6 | None | WOOD # LAM. | 4 | 3' - 0" | 7' - 0" | 1 3/4" | H.M. | 2 | - | - | MANUF. STANDARD | ELLIASON SCP-15 (LAMINATE FINISH PER END USER) |
| 7 | None | WOOD # LAM. | 5 | 3' - 0" | 4' - 2" | 1 3/4" | - | 2 | - | - | MANUF. STANDARD | 'SALOON' DOOR |
| 8 | None | WOOD # LAM. | 6 | 1' - 0" | 9' - 0" | 1" | STEEL | - | - | - | SEE DETAIL | CUSTOM DOOR |



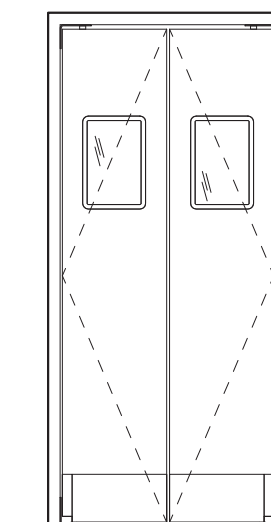
DOOR TYPE - 1



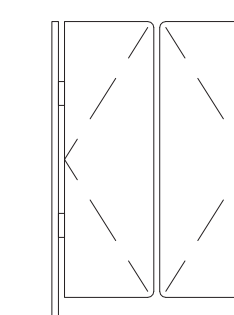
DOOR TYPE - 2



DOOR TYPE - 3



DOOR TYPE - 4



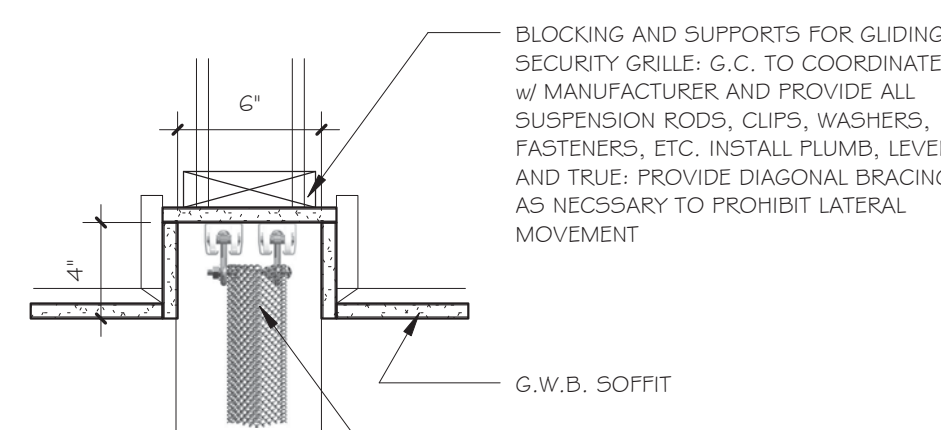
DOOR TYPE - 5



DOOR TYPE - 6

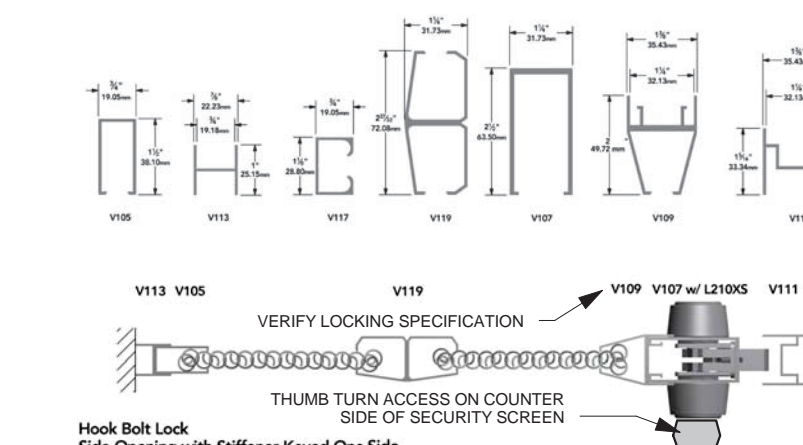
DOOR LEGEND

3/8" = 1'-0"



BLOCKING AND SUPPORTS FOR GLIDING SECURITY GRILLE, G.C. TO COORDINATE w/ MANUFACTURER AND PROVIDE ALL SUSPENSION RODS, CLIPS, WASHERS, FASTENERS, ETC. INSTALL PLUMB, LEVEL AND TRUE; PROVIDE DIAGONAL BRACING AS NECESSARY TO PROHIBIT LATERAL MOVEMENT

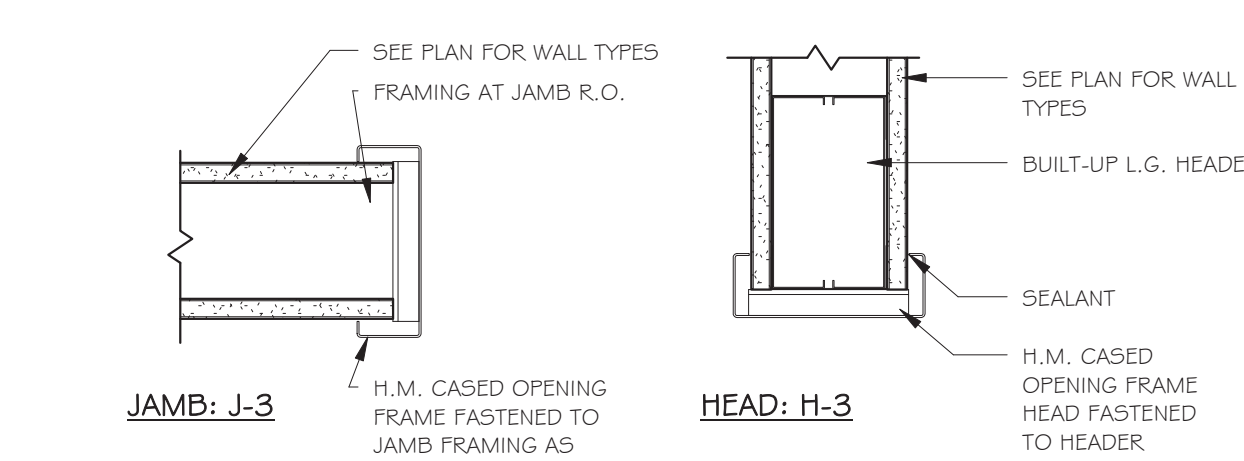
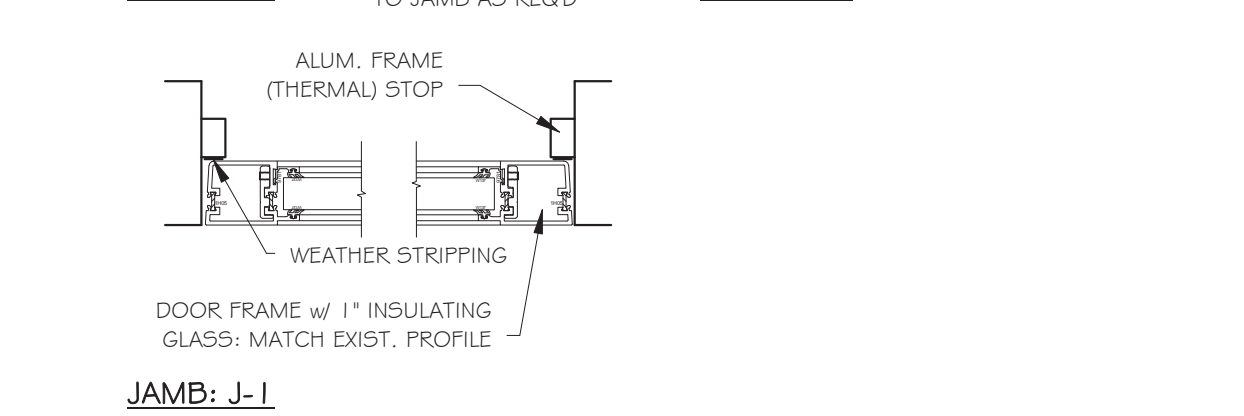
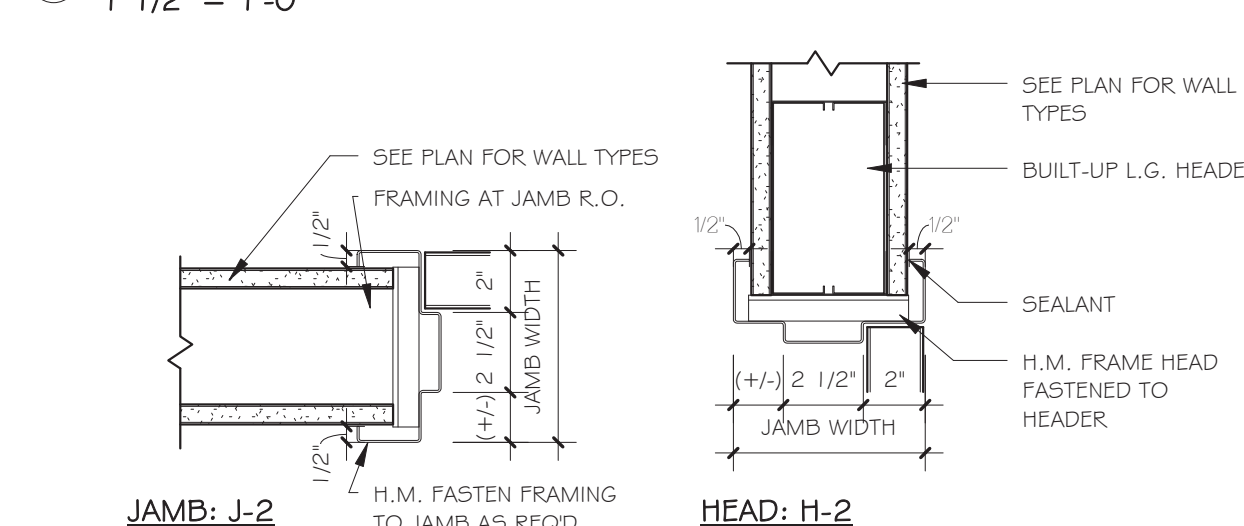
OPENING FOR SECURITY GRILLE: COORDINATE WIDTH w/ MANUFACTURER'S REQUIREMENTS; FASTEN TRACK SECURELY TO SUSPENDED BLOCKING; PROVIDE G.W.B. SOFFIT OR MANUFACTURER'S FABRICATED STEEL SOFFIT



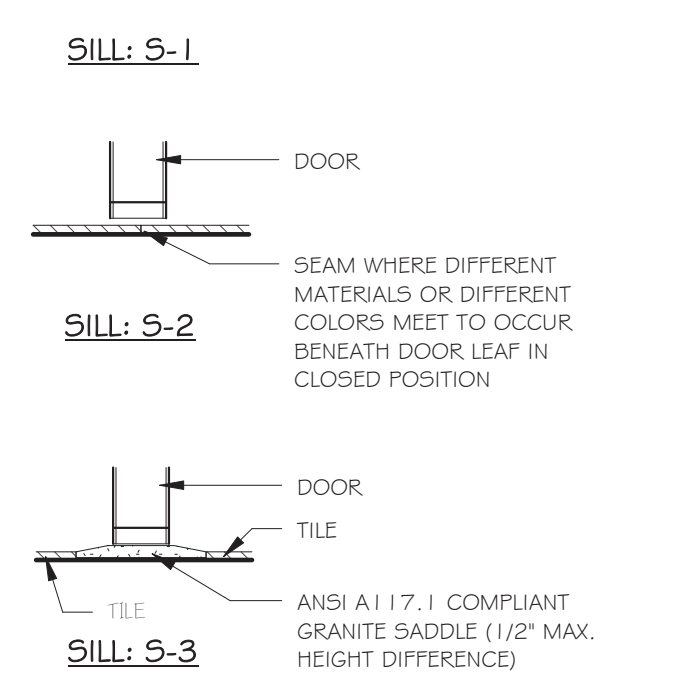
COILING DOOR COMPONENTS

No Scale

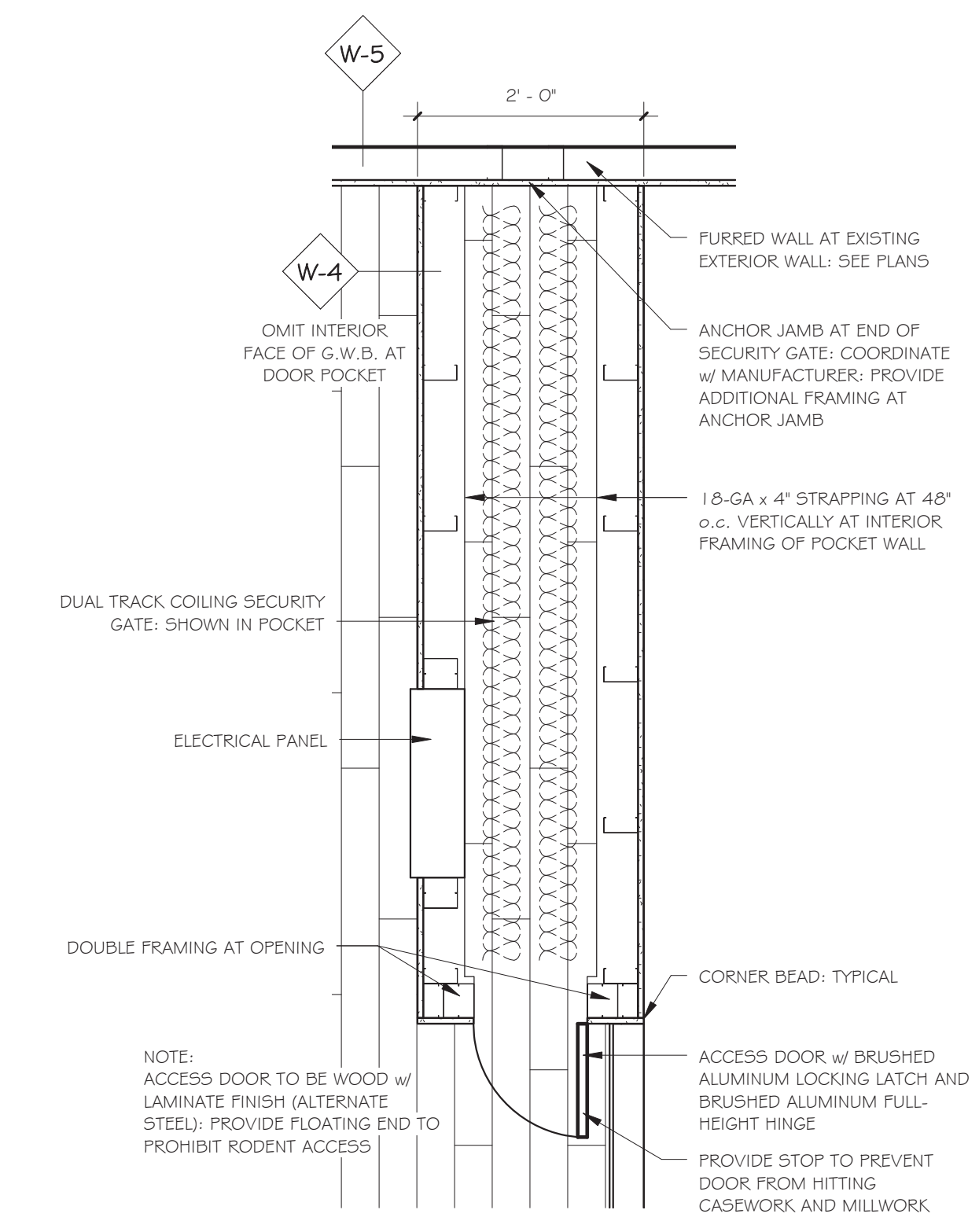
1 COILING DOOR TRACK
1/2" = 1'-0"



2 DOOR FRAME DETAILS
2" = 1'-0"



3 DOOR SILL DETAILS
2" = 1'-0"



4 SECURITY GRILL POCKET
3/4" = 1'-0"

| Revisions & Issues | | |
|--------------------|-------------|------|
| No. | Description | Date |
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www.DavidTetroArchitect.com

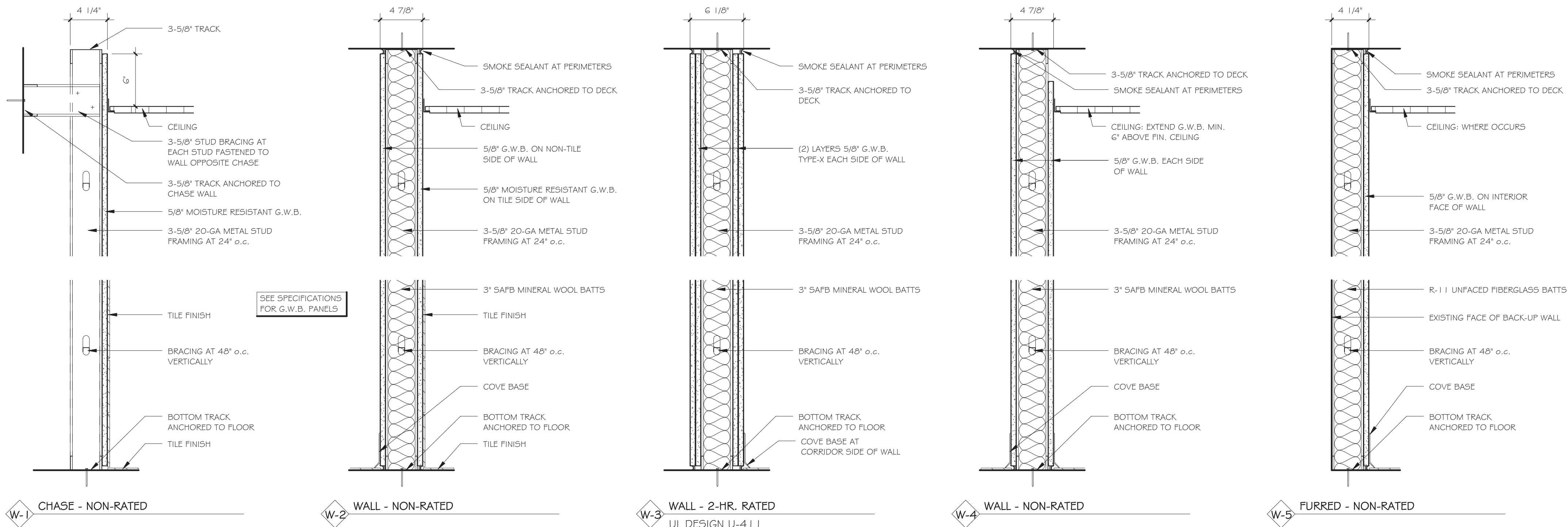
Issue Date: June 7, 2016

Project No.: 15.44

Sheet Title: DOOR TYPES AND DETAILS

Sheet No.: A-5.1

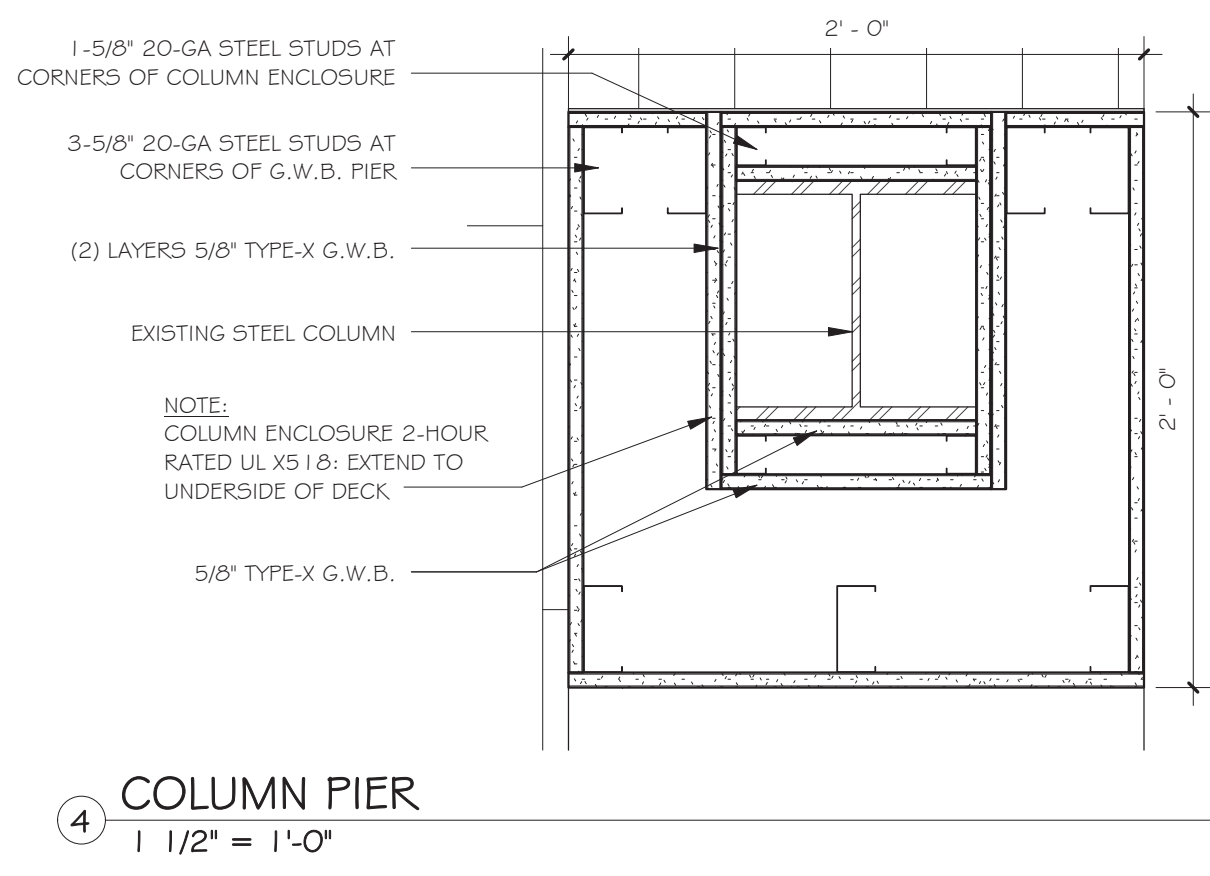
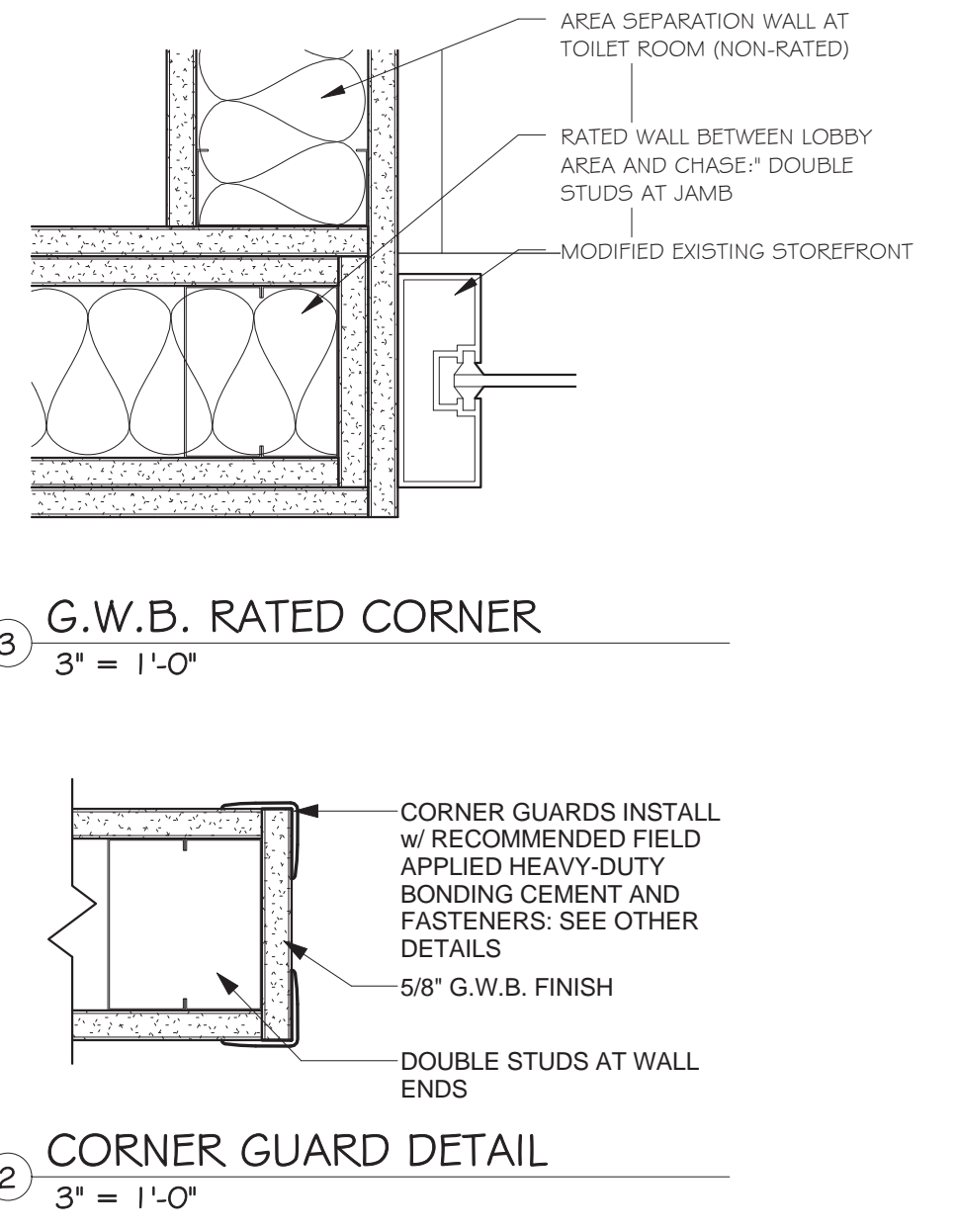
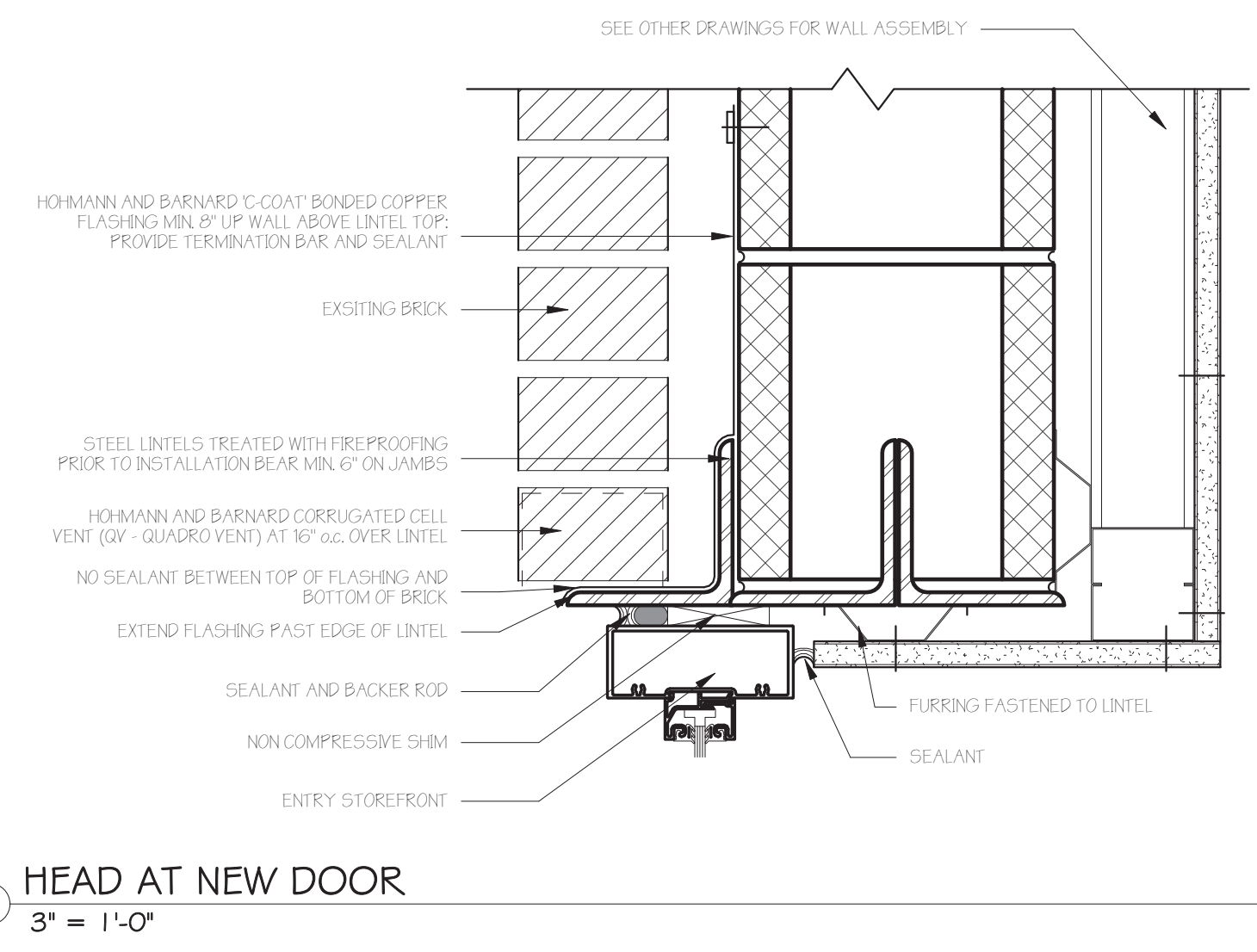
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3-5/8" 20-ga (362PDS 125-19) studs at 24" o.c. w/ (2) layers 5/8" Firecode Type-X GWB moisture-resistant applied parallel to each side of studs; Drywall screws at 24" o.c. to fasten into studs, top track and bottom track/wall. Provide horizontal bracing at studs at 48" o.c. vertically. Mineral Wool Batts friction fit between studs and smoke sealant at entire perimeter.

WALL TYPES
1 1/2" = 1'-0"

NOTE:
DECORATIVE WOOD PLANK WALLS ARE PART OF MILLWORK PACKAGE AND ARE SHOWN ON THE MILLWORK DETAIL DRAWINGS



| Revisions & Issues | | |
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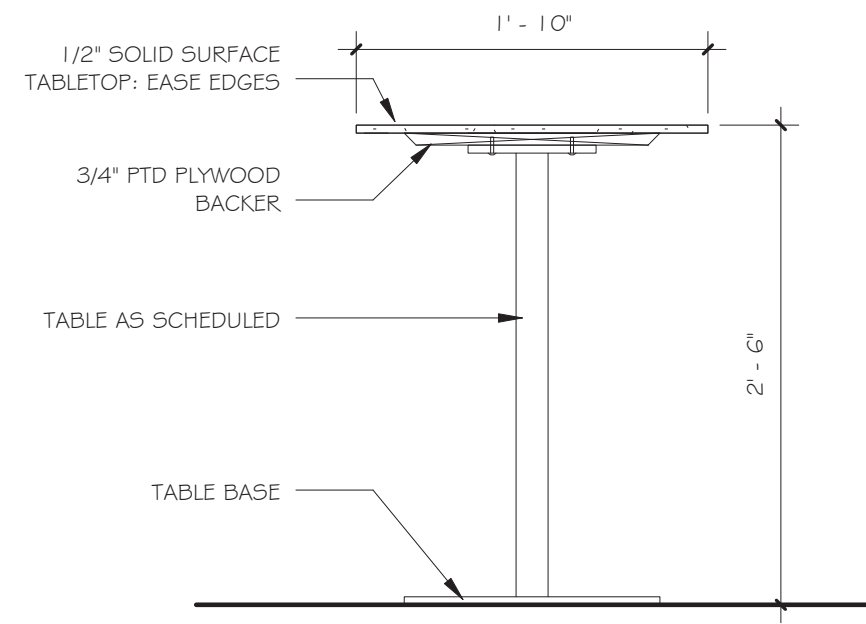
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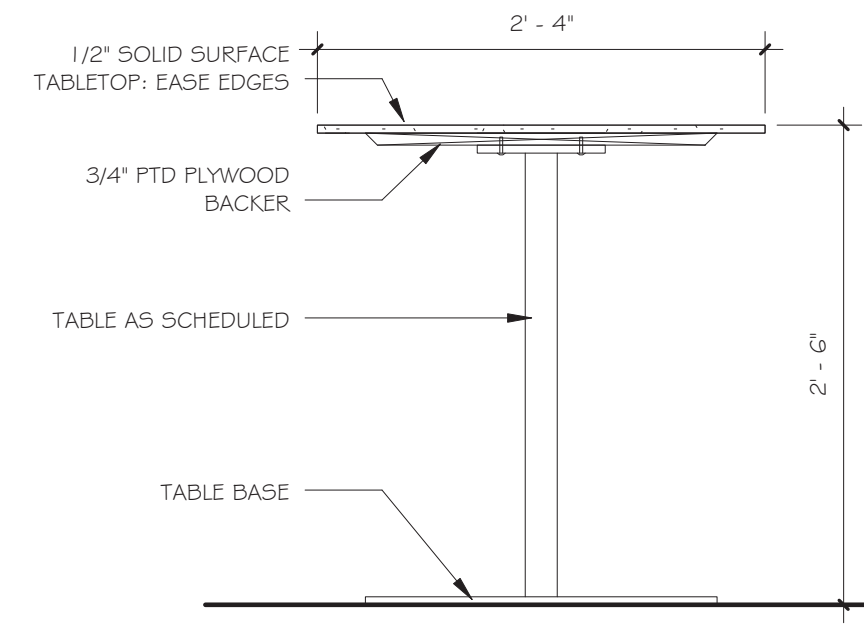
Issue Date: June 7, 2016
Project No.: 15.44
Sheet Title: WALL TYPES AND MISCELLANEOUS DETAILS
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Sheet No.: A-5.2

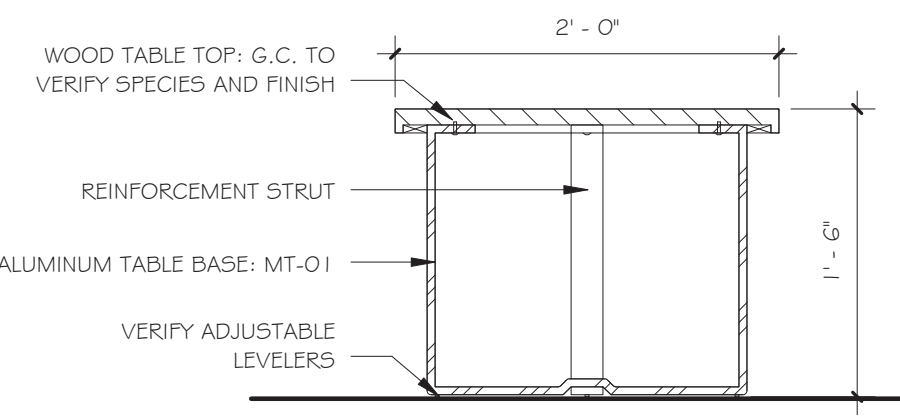
FOOD SERVICE MILLWORK (N. I. C.)



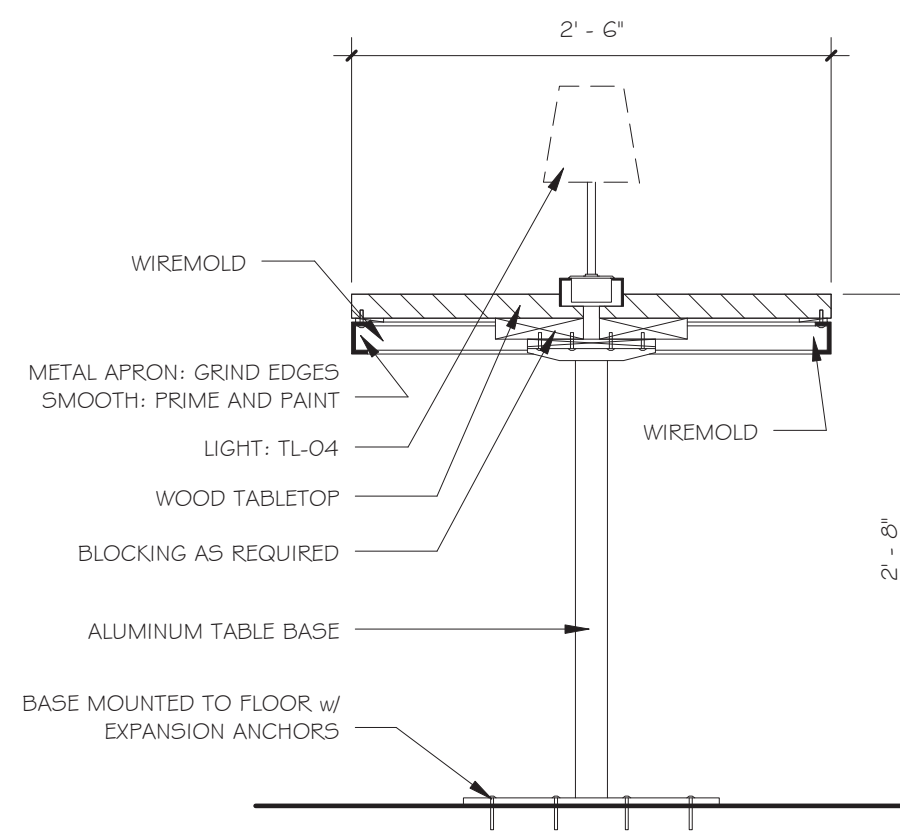
① 22" DINING TABLE
1" = 1'-0"



② 28" DINING TABLE
1" = 1'-0"



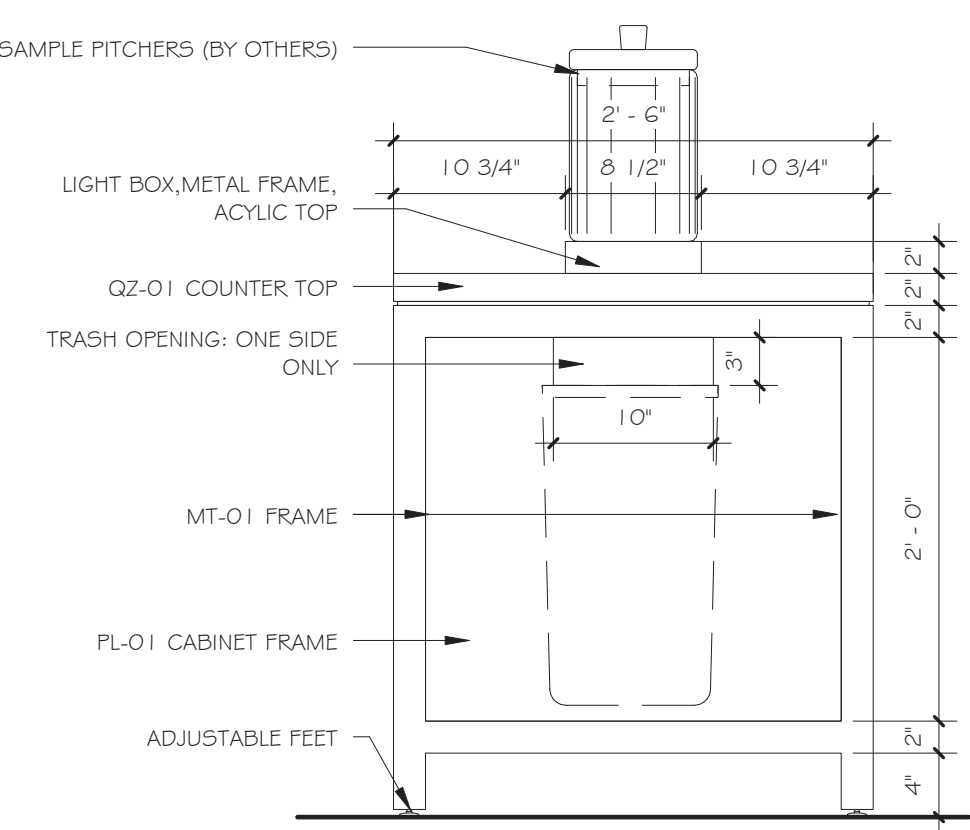
③ LOUNGE TABLE
1" = 1'-0"



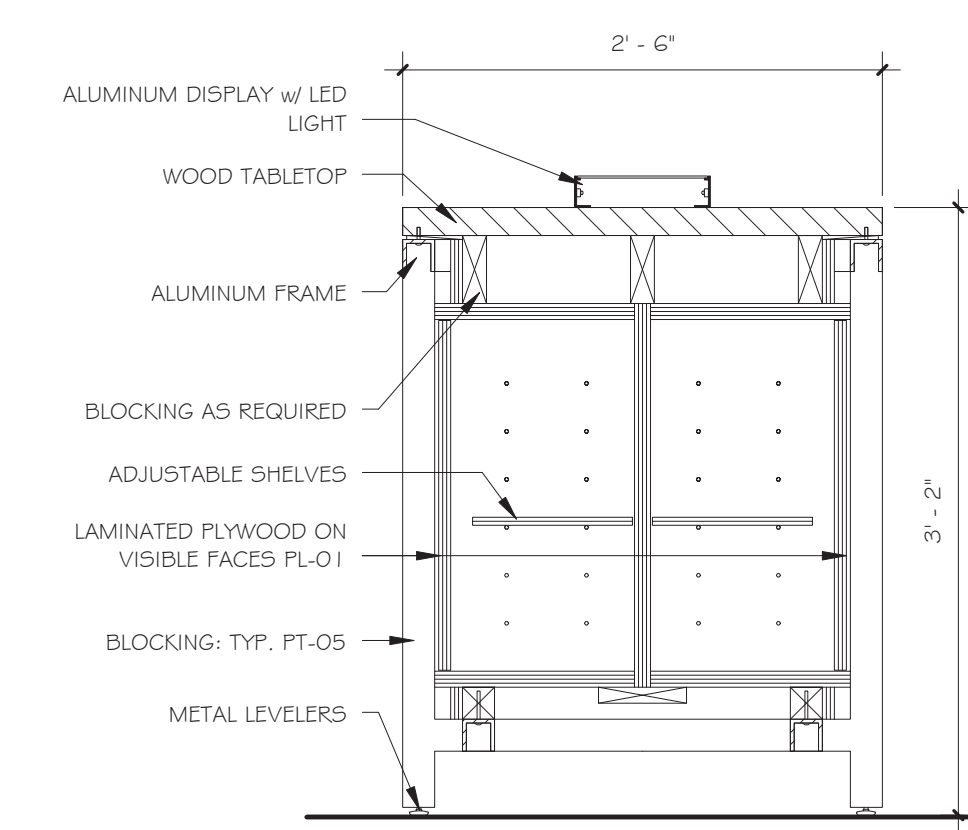
④ COMMUNITA TABLE
1" = 1'-0"

SEATING DETAILS ARE SHOWN AS A GENERAL REPRESENTATION OF PROFILE AND MATERIAL PLACEMENT. SEATING DETAILS ARE NOT TO BE CONSTRUED AS A MEANS AND METHODS FOR CONSTRUCTION/FABRICATION.

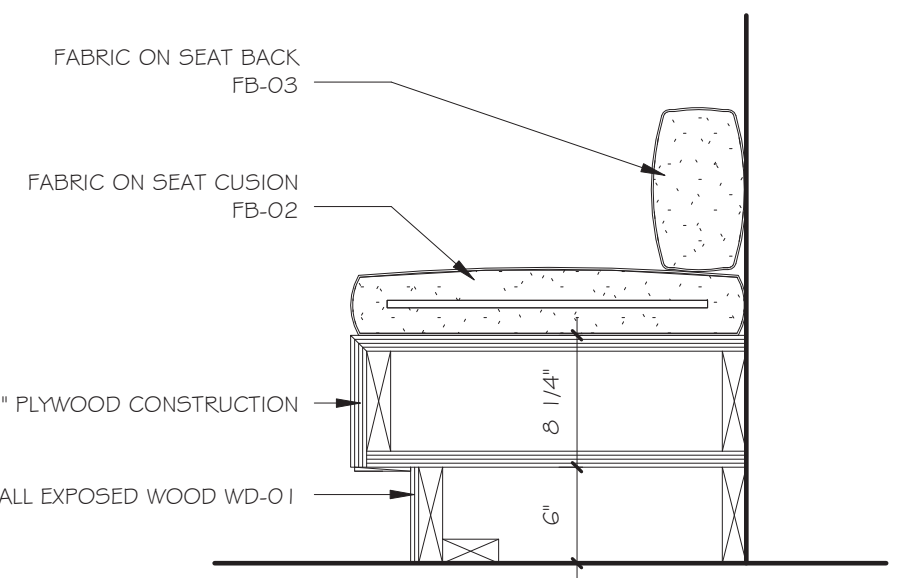
SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL.



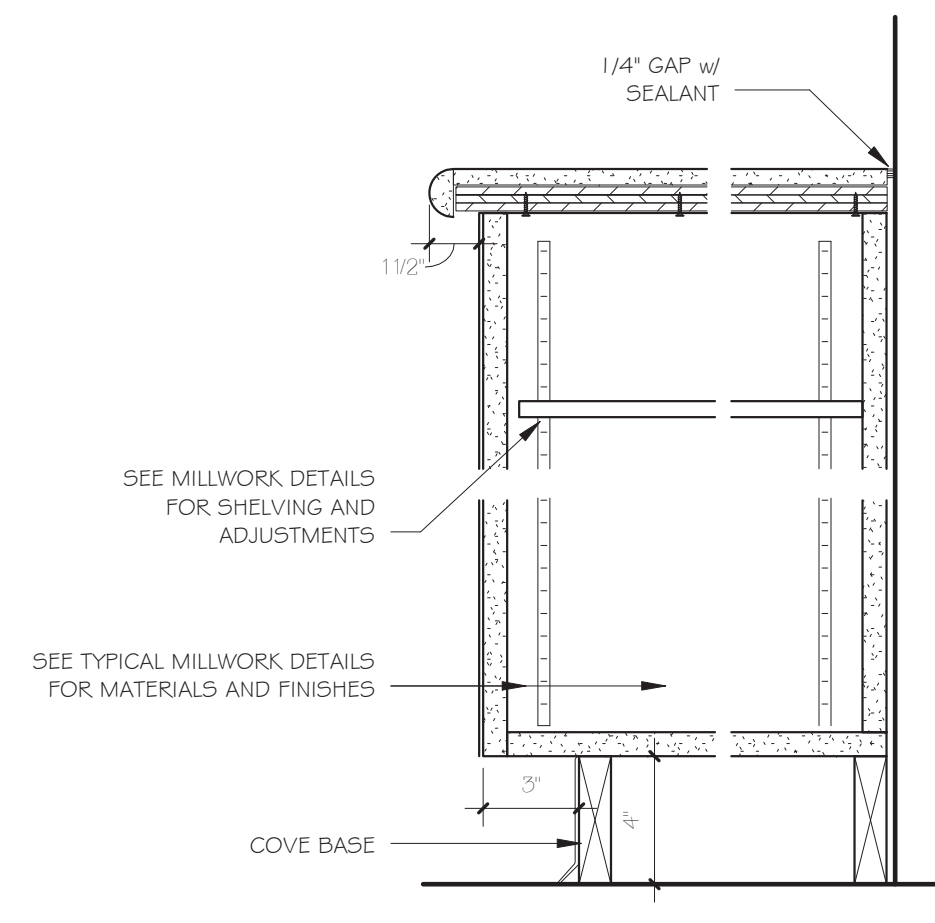
⑤ TEA HOST TABLE - 1
1" = 1'-0"



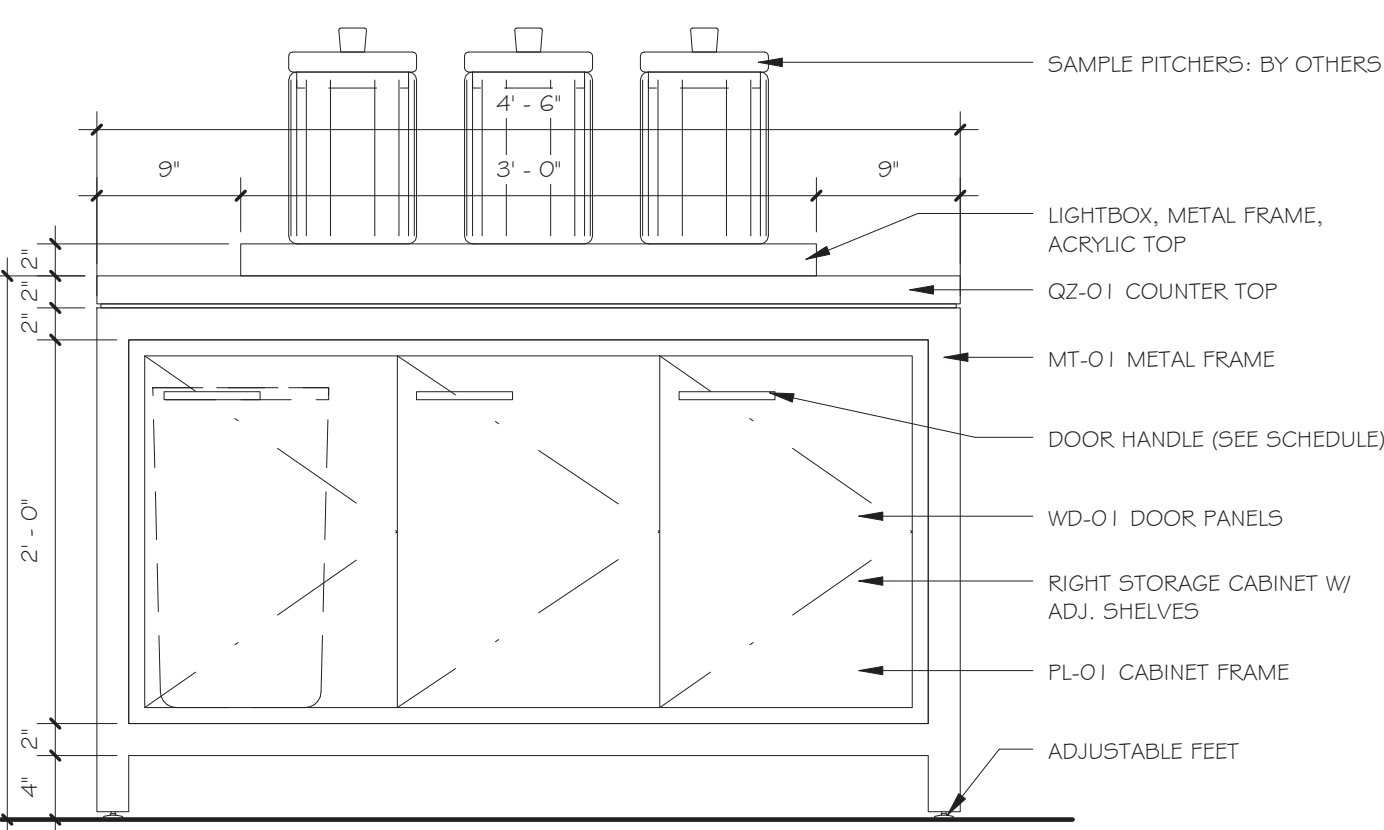
⑥ TEA HOST TABLE - 2
1" = 1'-0"



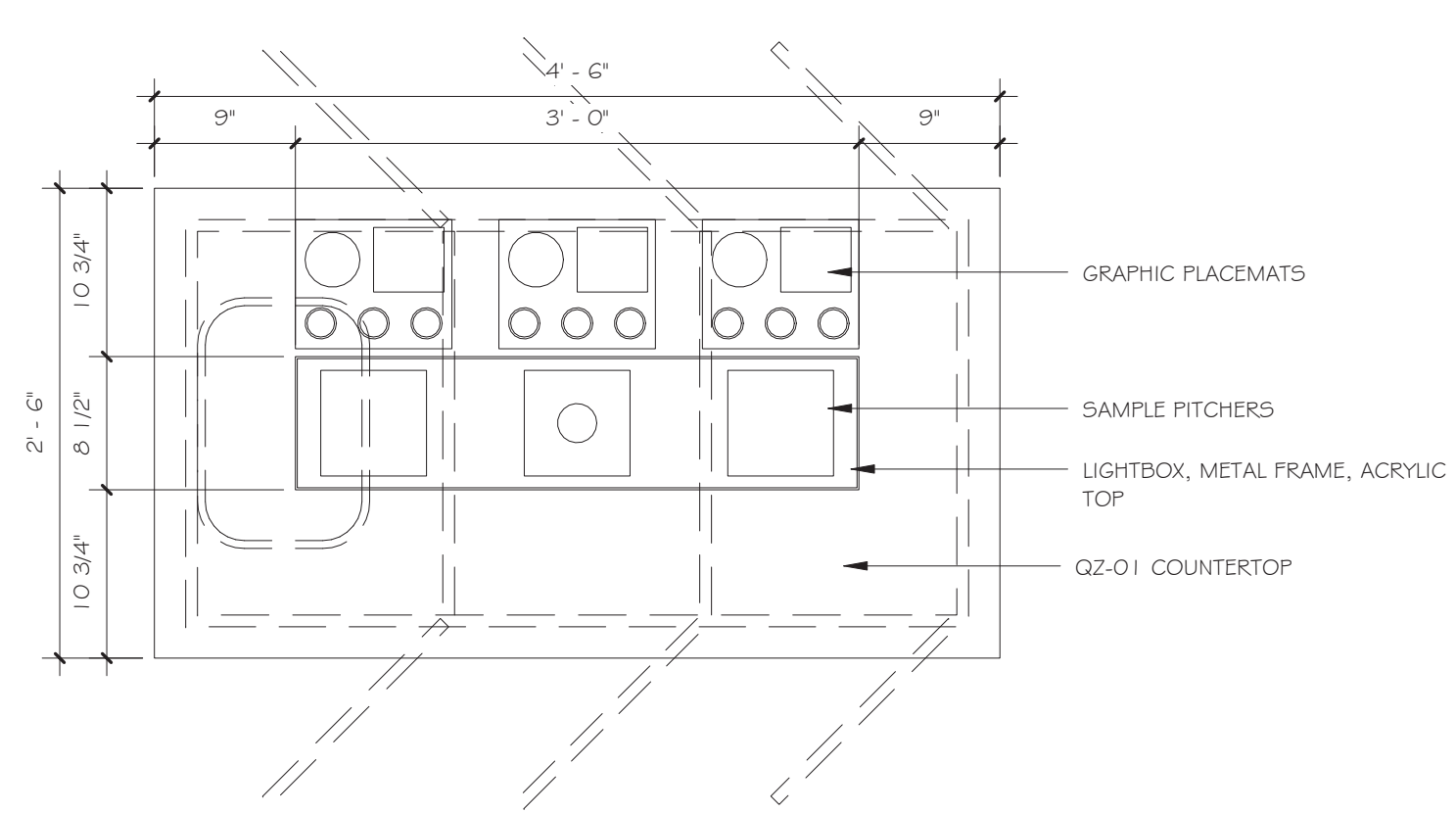
⑦ BANQUETTE SEAT
1" = 1'-0"



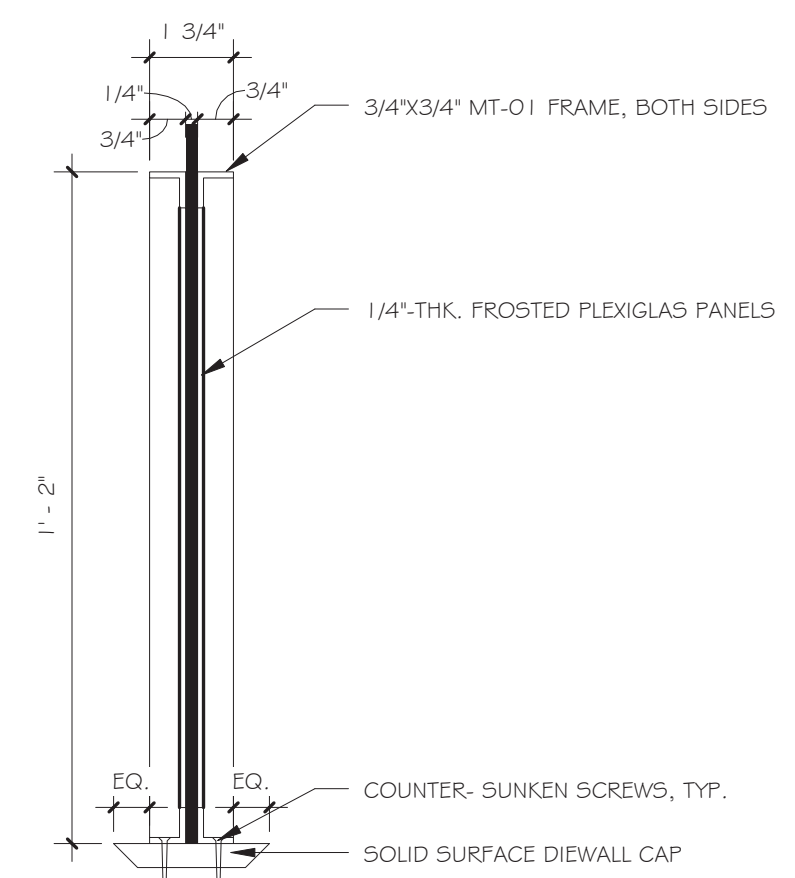
⑫ COUNTER AND CABINET DETAIL
2" = 1'-0"



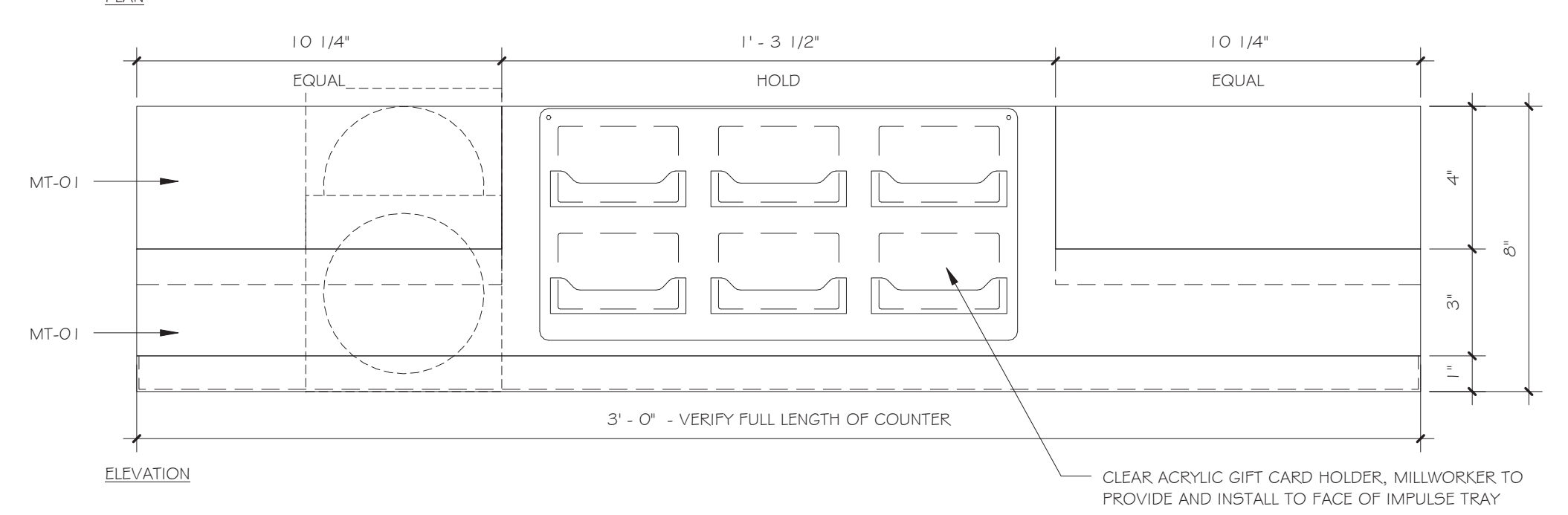
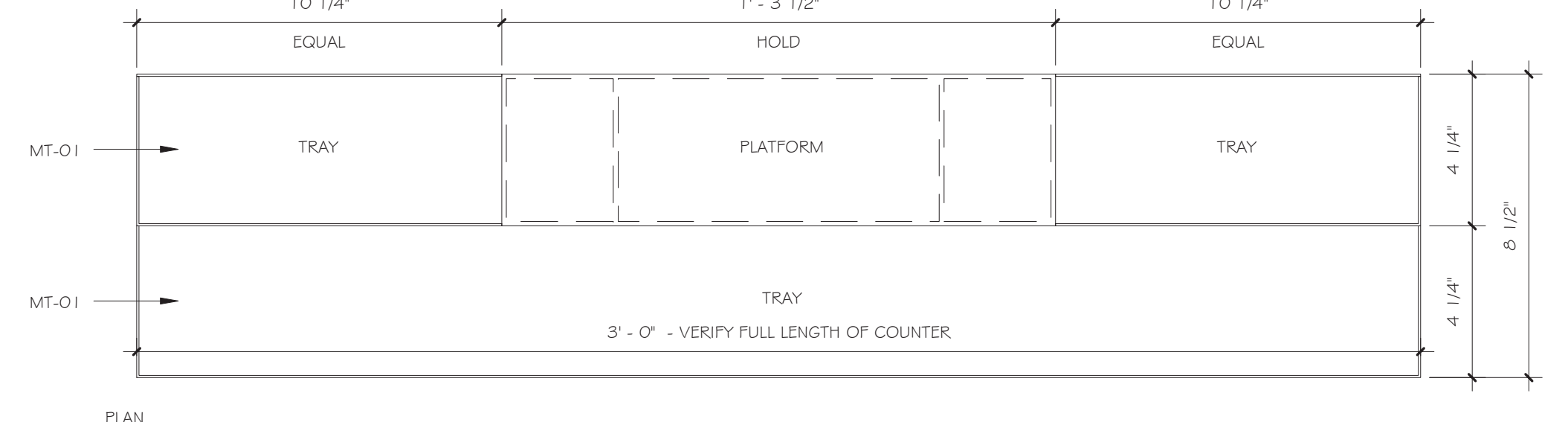
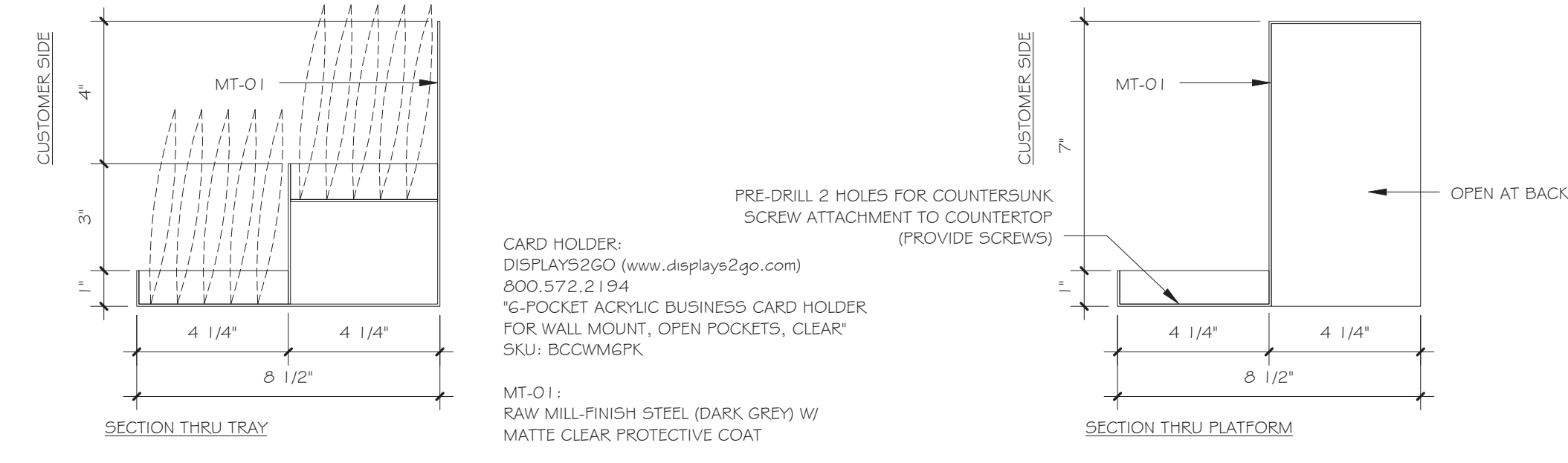
⑧ TEA HOST - FRONT ELEVATION
1" = 1'-0"



⑨ PLAN AT TEA HOST TABLE
1" = 1'-0"



⑩ PLEXI EQUIPMENT SCREEN
3" = 1'-0"



⑪ P.O.S. IMPULSE FIXTURE
3" = 1'-0"

MILLWORK NOTES

1. INSTALL CORNER GUARDS AT ALL LAMINATE CORNERS.
2. SUB DRAWINGS SHALL BE SUBMITTED TO VISION BUILDERS FOR APPROVAL PRIOR TO FABRICATION.
3. REFER TO FINISHES SCHEDULE FOR SOLID SURFACE COLOR AND PATTERN.
4. ALL SOLID SURFACES TO BE INSTALLED IN A PROFESSIONAL MANNER IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
5. MILLWORK CONTRACTOR TO SITE VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
6. MILLWORK CONTRACTOR TO SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS, CREVICES AND ANY OTHER OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS.
7. DRAWINGS TO BE READ IN CONJUNCTION WITH EQUIPMENT SCHEDULE & ASSOCIATED DOCUMENTATION SUBMITTED BY VISIONBUILDERS & DESIGN.
8. MILLWORK CONTRACTOR / MILLWORK CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION / FABRICATION FOR DESIGNER'S APPROVAL.
9. ALL CONSTRUCTION TO BE 3/4" C-3 GRADE PLYWOOD WITH MELAMINE ONE SIDE C/W SELECTED LAM FINISH UNLESS OTHERWISE NOTED.
10. ALL SURFACES TO BE FINISHED. NO EXPOSED SURFACES WILL BE ACCEPTED.
11. MILLWORK CONTRACTOR TO ENSURE COUNTER FITS SNUG WITH SURROUNDING SITE AND MILLWORK CONDITIONS. IF NECESSARY SCRIBE COUNTER ON SITE.
12. MILLWORK CONTRACTOR TO ENSURE ALL SPECIFIED EQUIPMENT FITS INTO COUNTER AS NOTED. CHECK ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO FABRICATION.
13. ALL END GABLES CONCEALED FROM VIEW ALL CABINET DOORS C/W CONCEALED 180° HINGES.
14. MILLWORK CONTRACTOR TO PROVIDE ADEQUATE VENTILATION IN COUNTERS FOR REQUIRED EQUIPMENT. CHECK ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO FABRICATION.
15. AS AN ALTERNATE, MILLWORK CONTRACTOR MAY PROPOSE TO FABRICATE FRONT AND SIDE / END PANELS OF COUNTER SUPPORTS OUT OF STANDARD LIGHT-GUAGE CONSTRUCTION. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OF THIS ALTERNATE.
16. LED STRIP LIGHTS SHOWN FOR MILLWORK NOT INCORPORATED WITH LIGHTING SCHEDULE. G.C. TO COORDINATE STRIP LIGHTING AND POWER REQUIREMENTS ACCORDINGLY. LED STRIP TO BE THL480WW (16-FT FLEXIBLE LED TAPE LIGHT) WITH P30WHW 12V POWER SUPPLY - ALL BY LED LIGHTING INC. (847.412.4880)

| Revisions & Issues | | |
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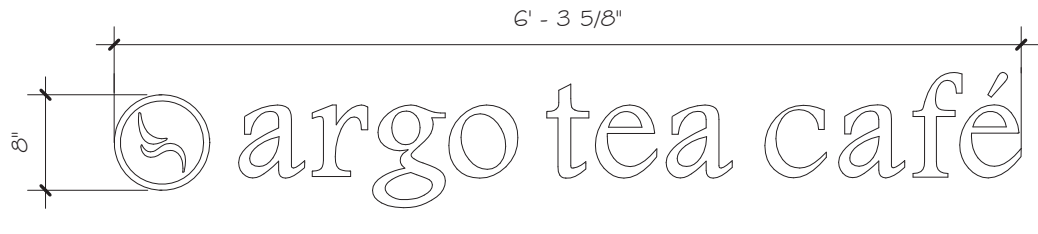
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Issue Date: June 7, 2016
Project No.: 15.44
Sheet Title: MILLWORK DETAILS - 1
Sheet No.: A-6.1

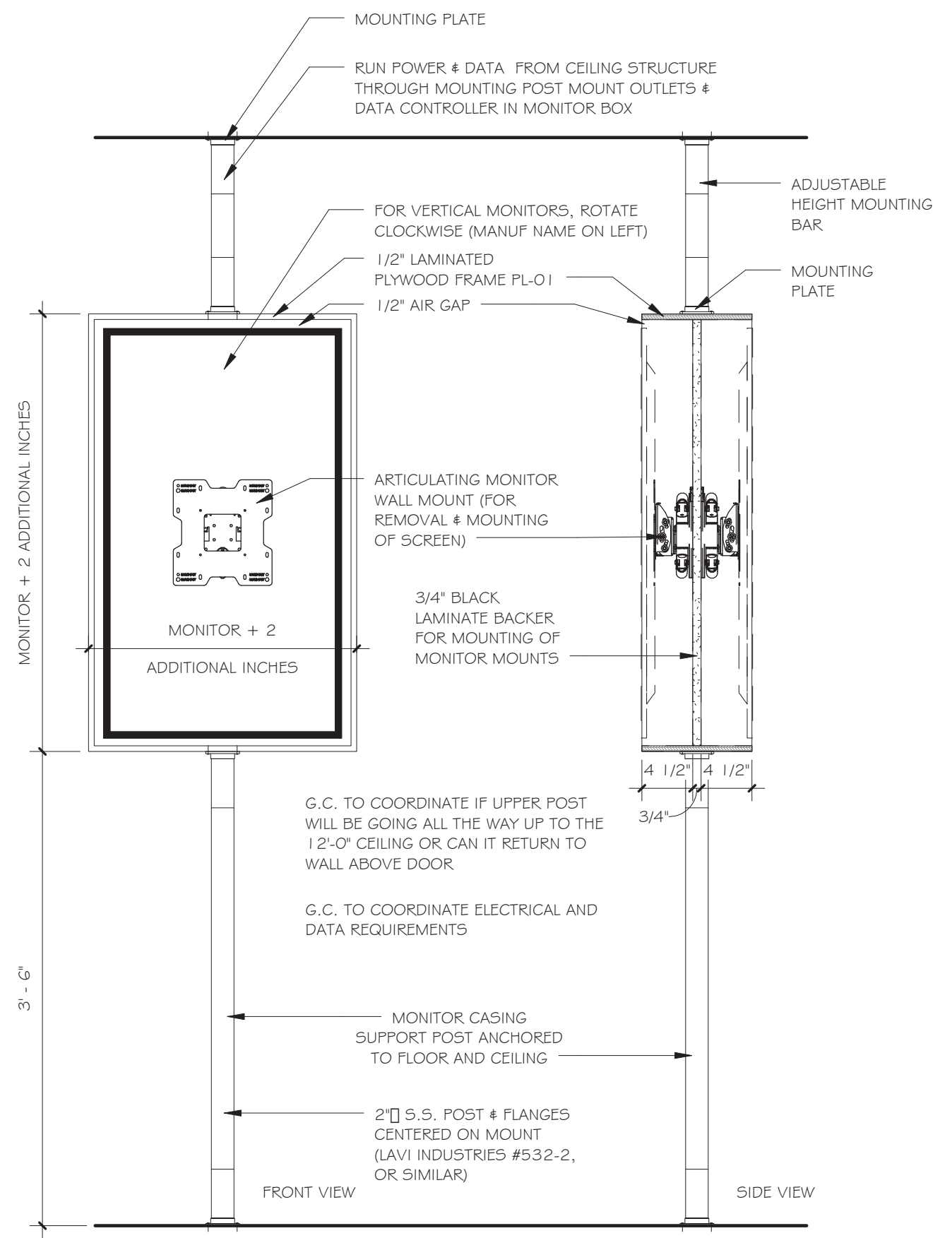
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**FOOD SERVICE MILLWORK
(N. I. C.)**



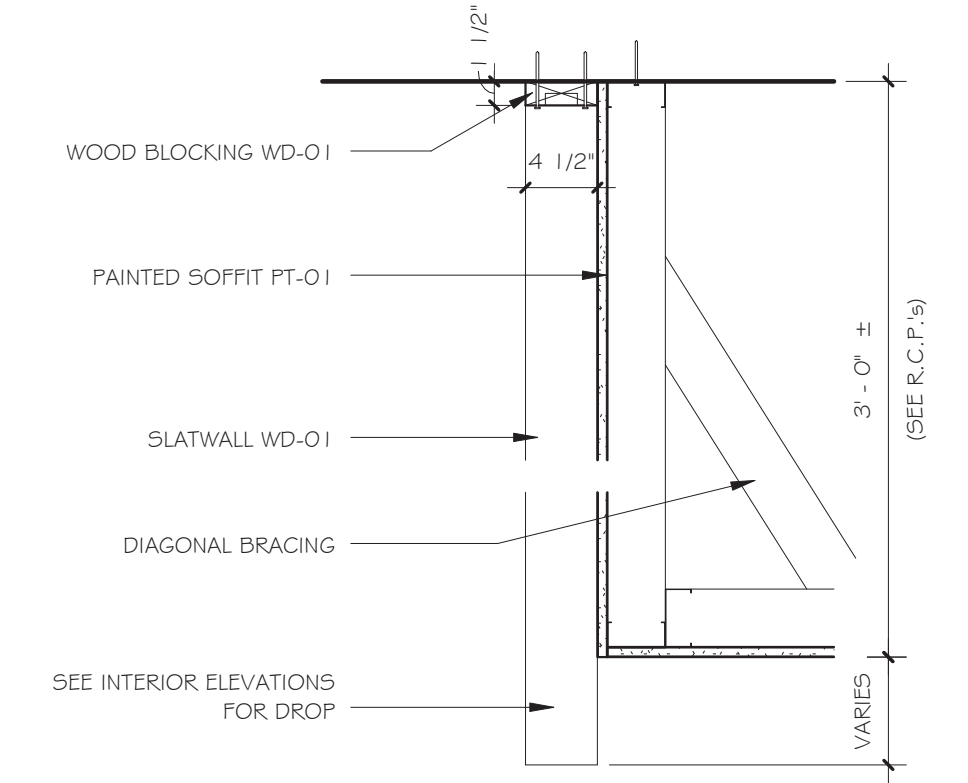
10 VINYL SIGNAGE
3/4" = 1'-0"

11 SIGN BRAND DETAIL
3" = 1'-0"

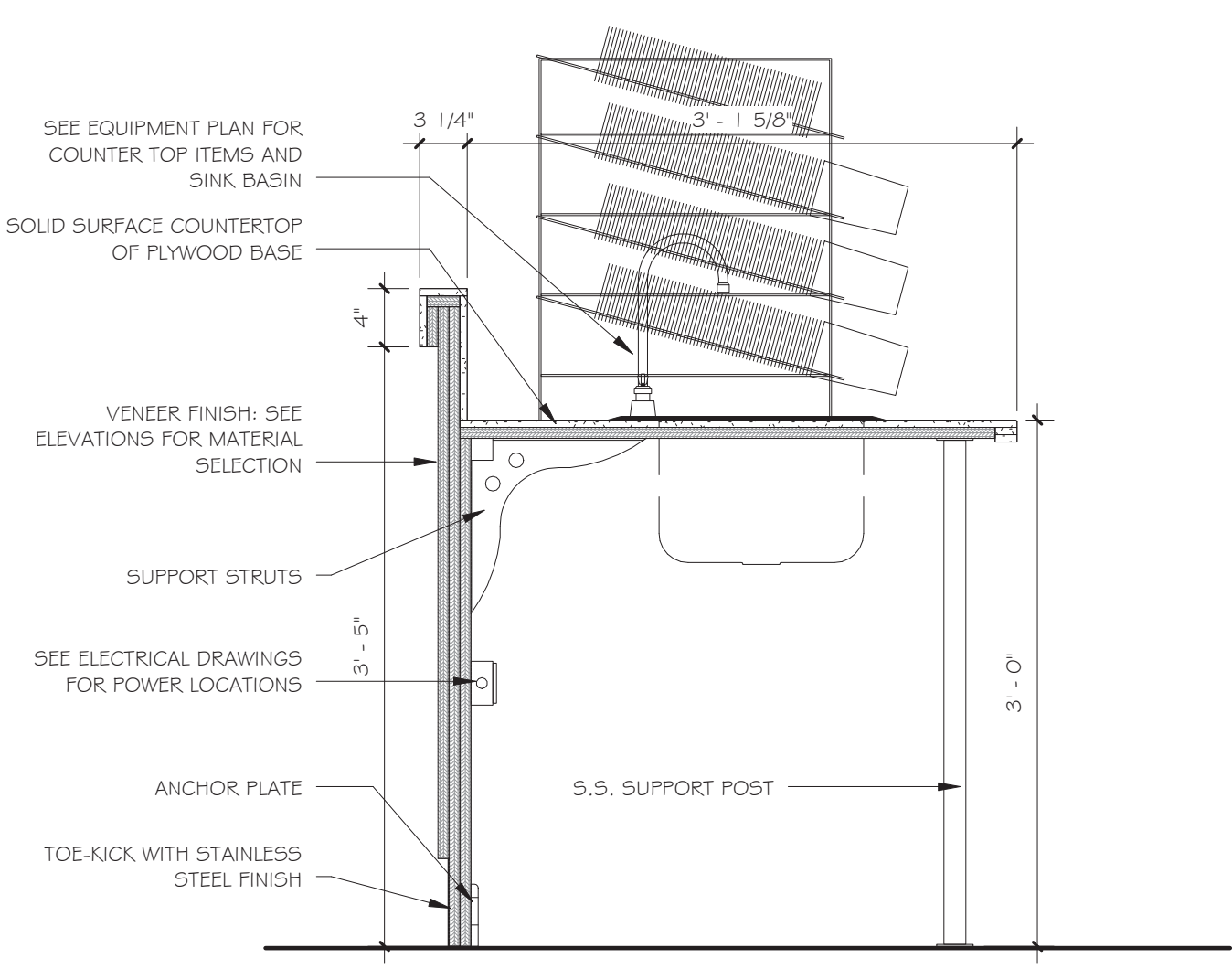
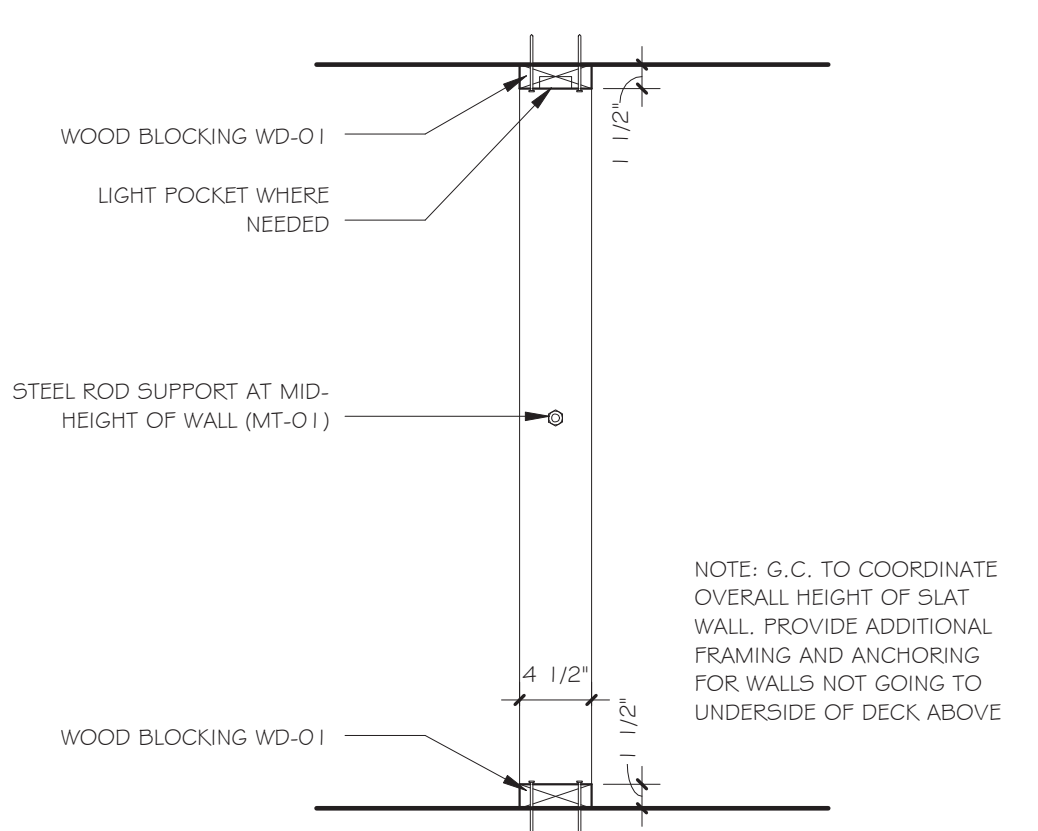


1 PROMOTION MONITOR
1" = 1'-0"

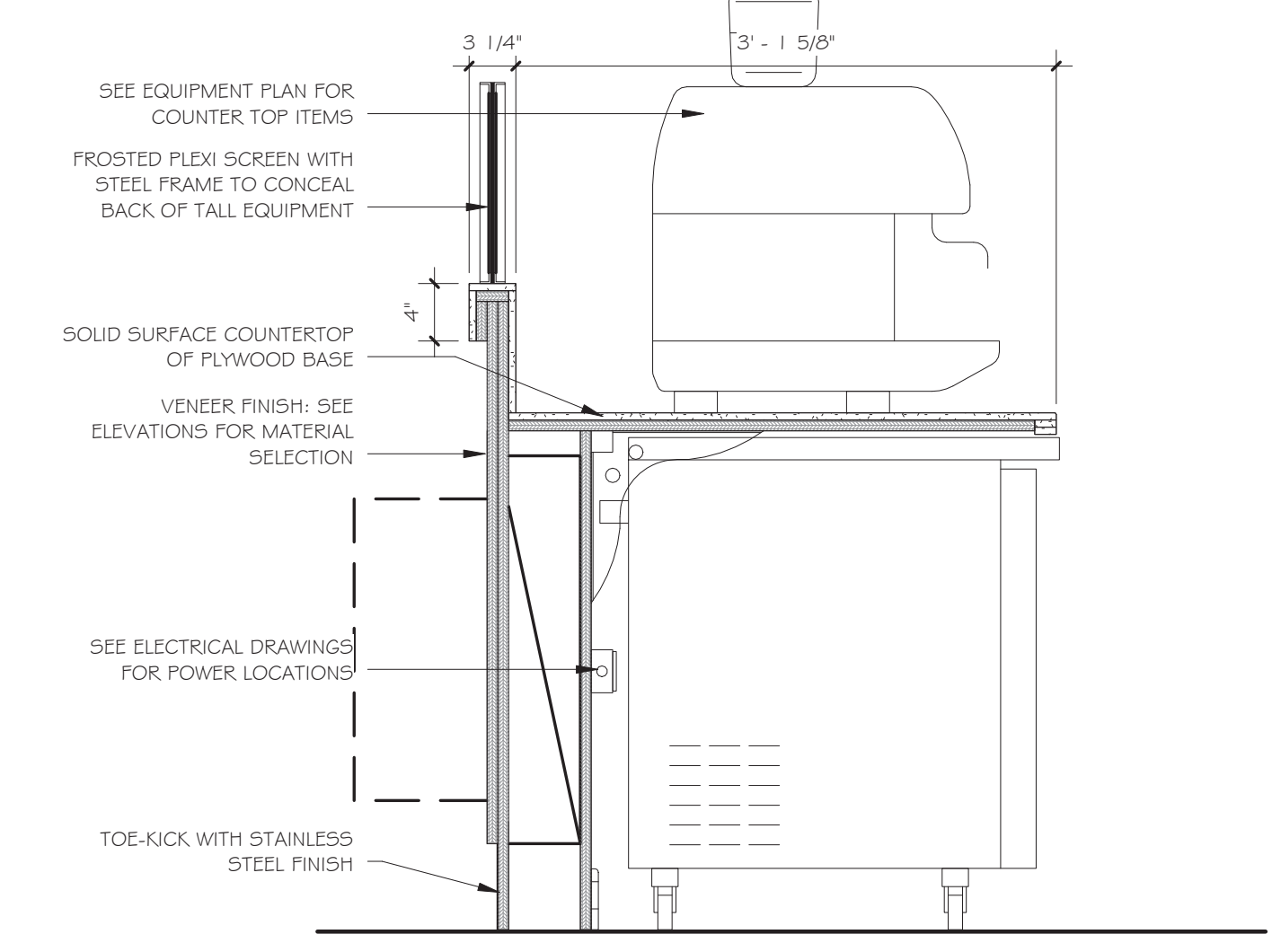
3 SLAT WALL SOFFIT
1" = 1'-0"



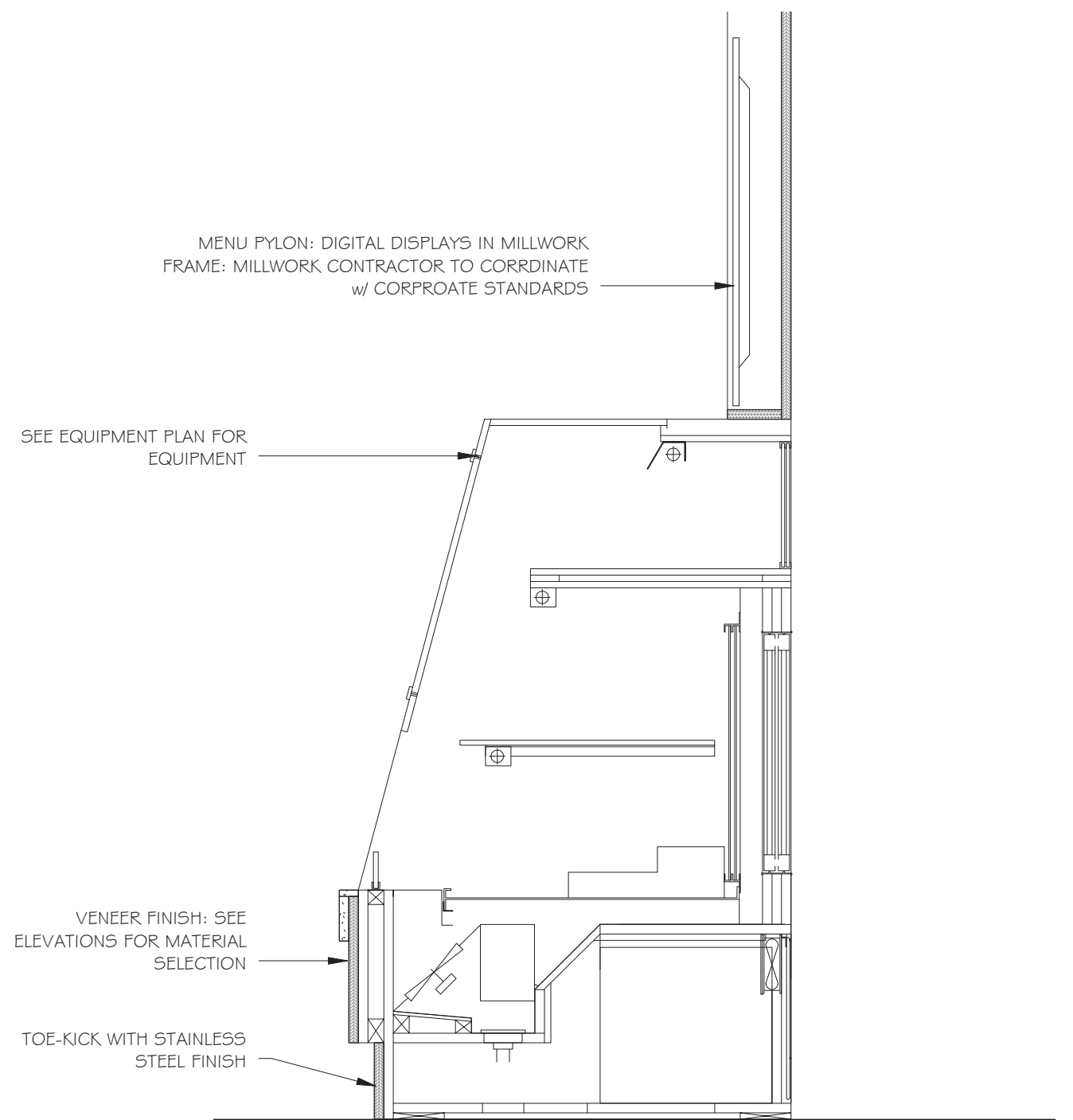
2 SLAT WALL PANEL
1" = 1'-0"



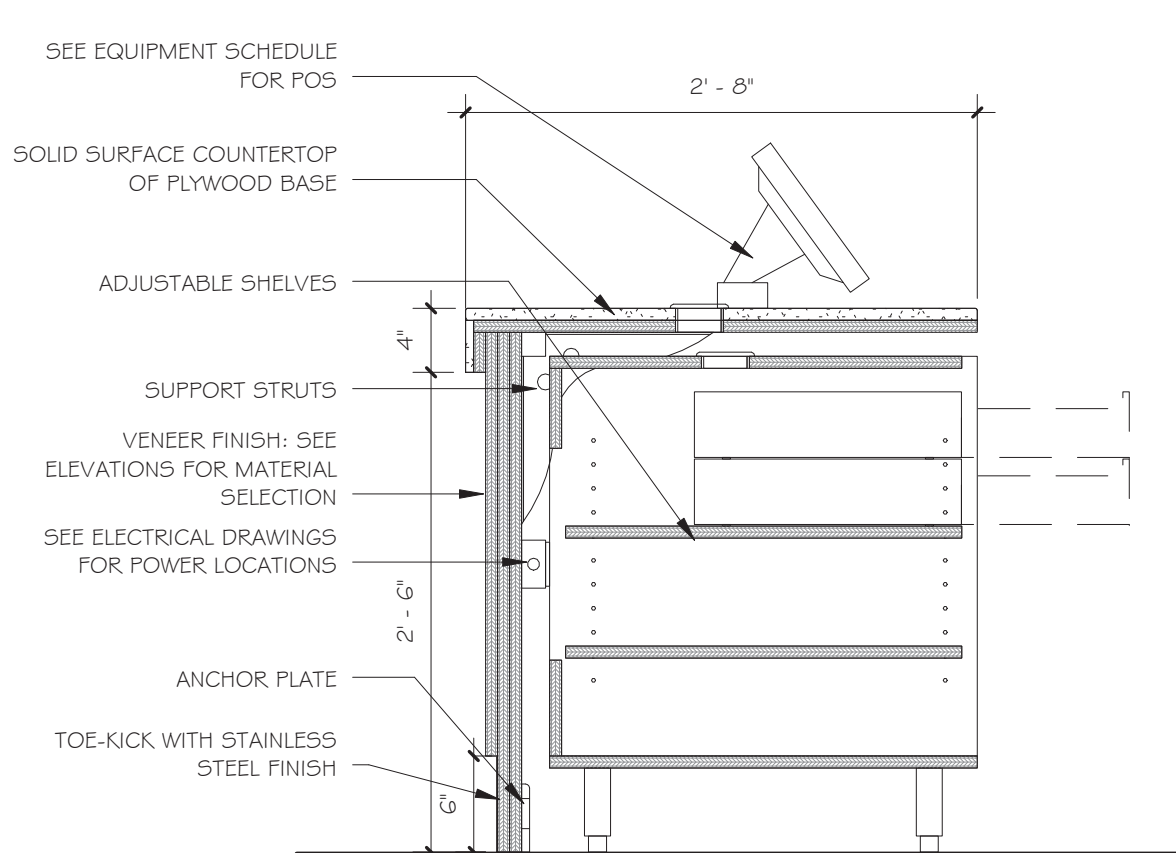
4 PREP. COUNTER - 1
1" = 1'-0"



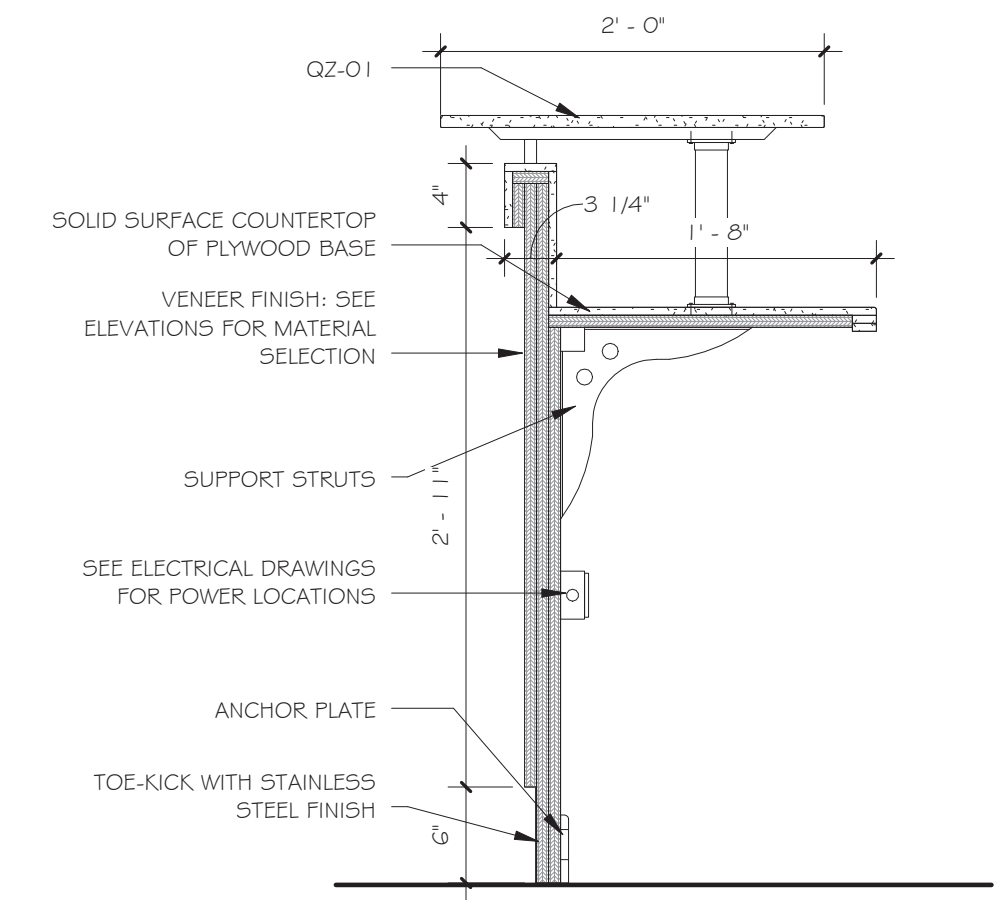
5 PREP. COUNTER - 2
1" = 1'-0"



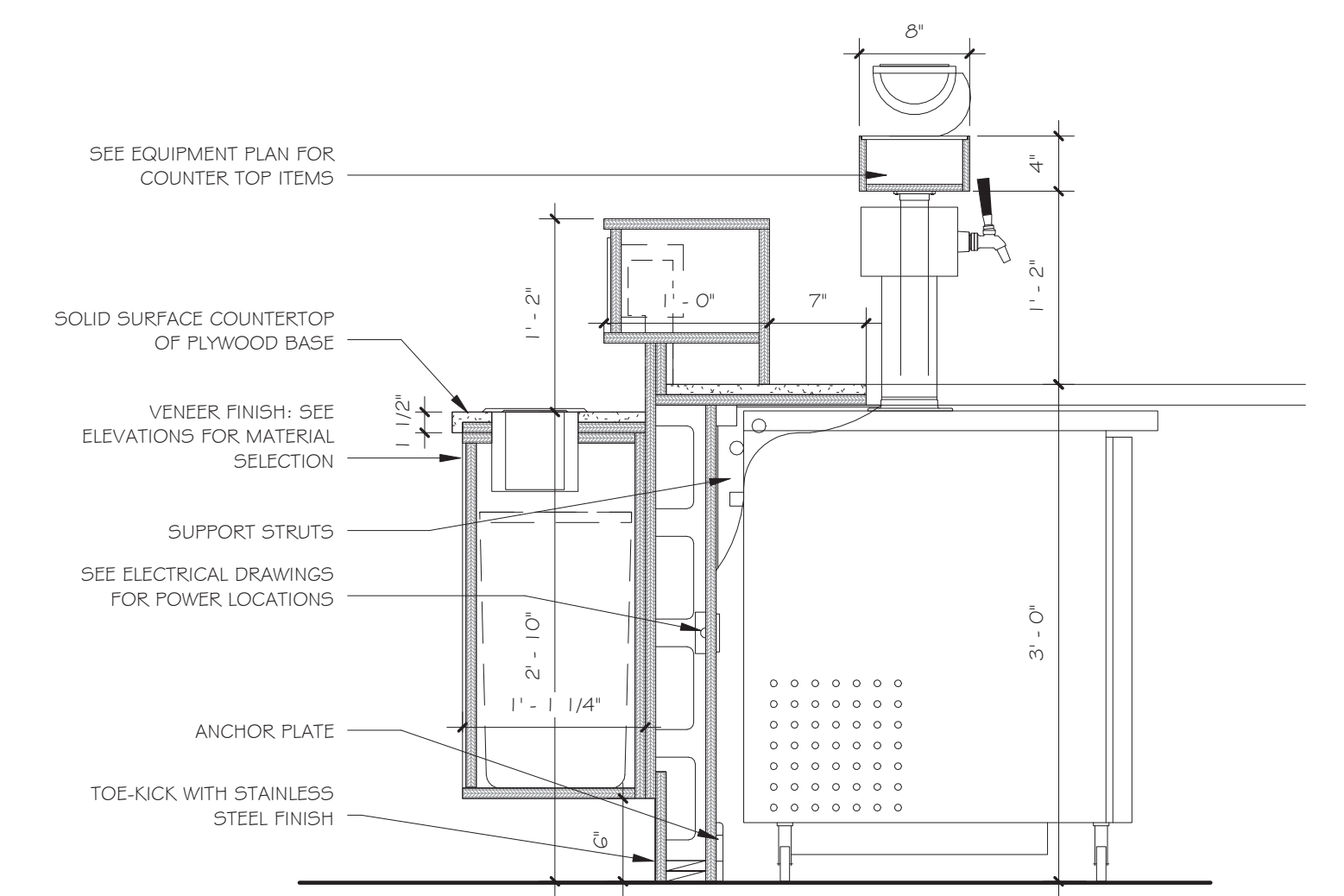
6 DISPLAY CASE
1" = 1'-0"



7 POS STATION
1" = 1'-0"



8 COUNTER PICK-UP
1" = 1'-0"



9 TEA SERVICE COUNTER
1" = 1'-0"

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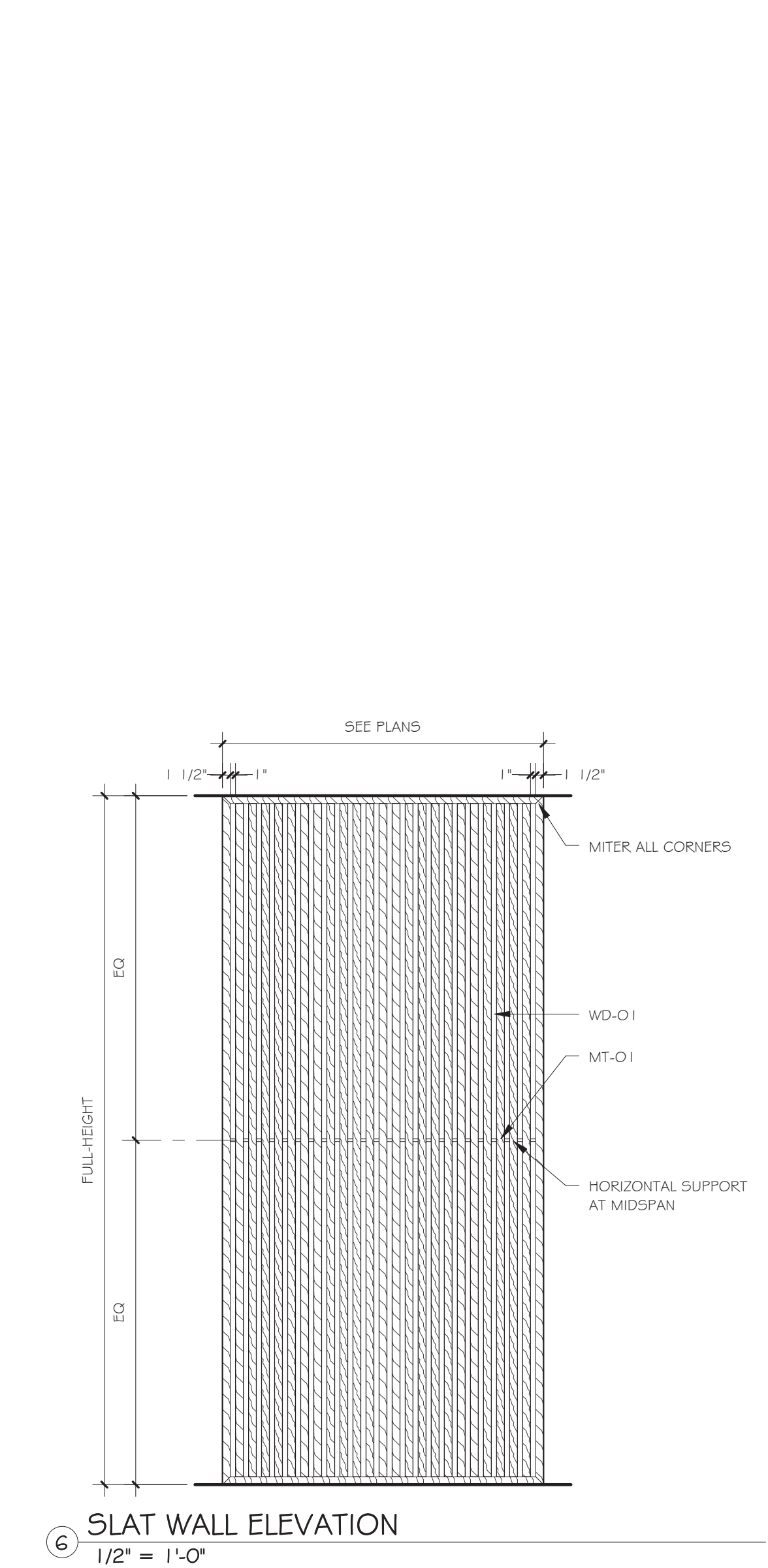
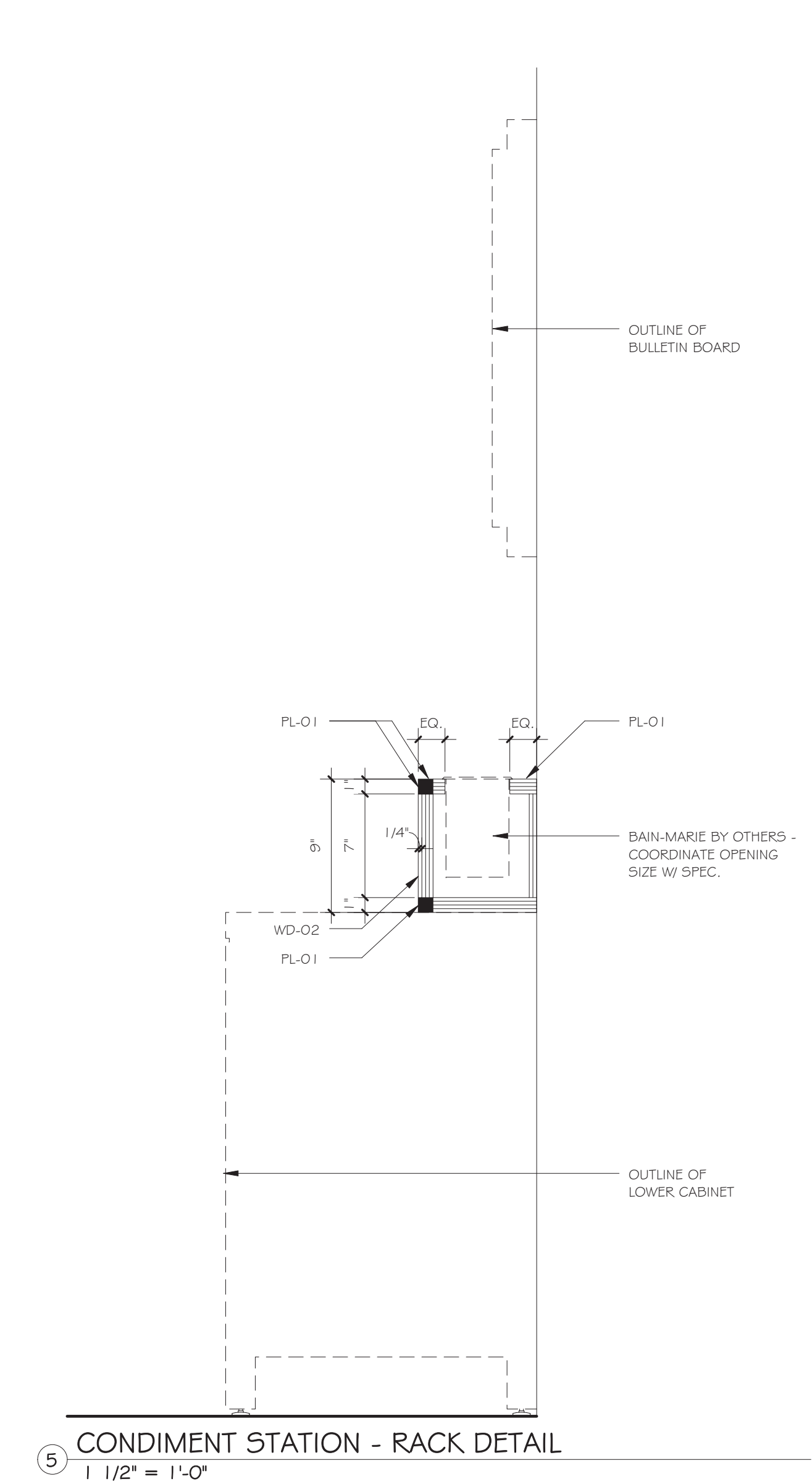
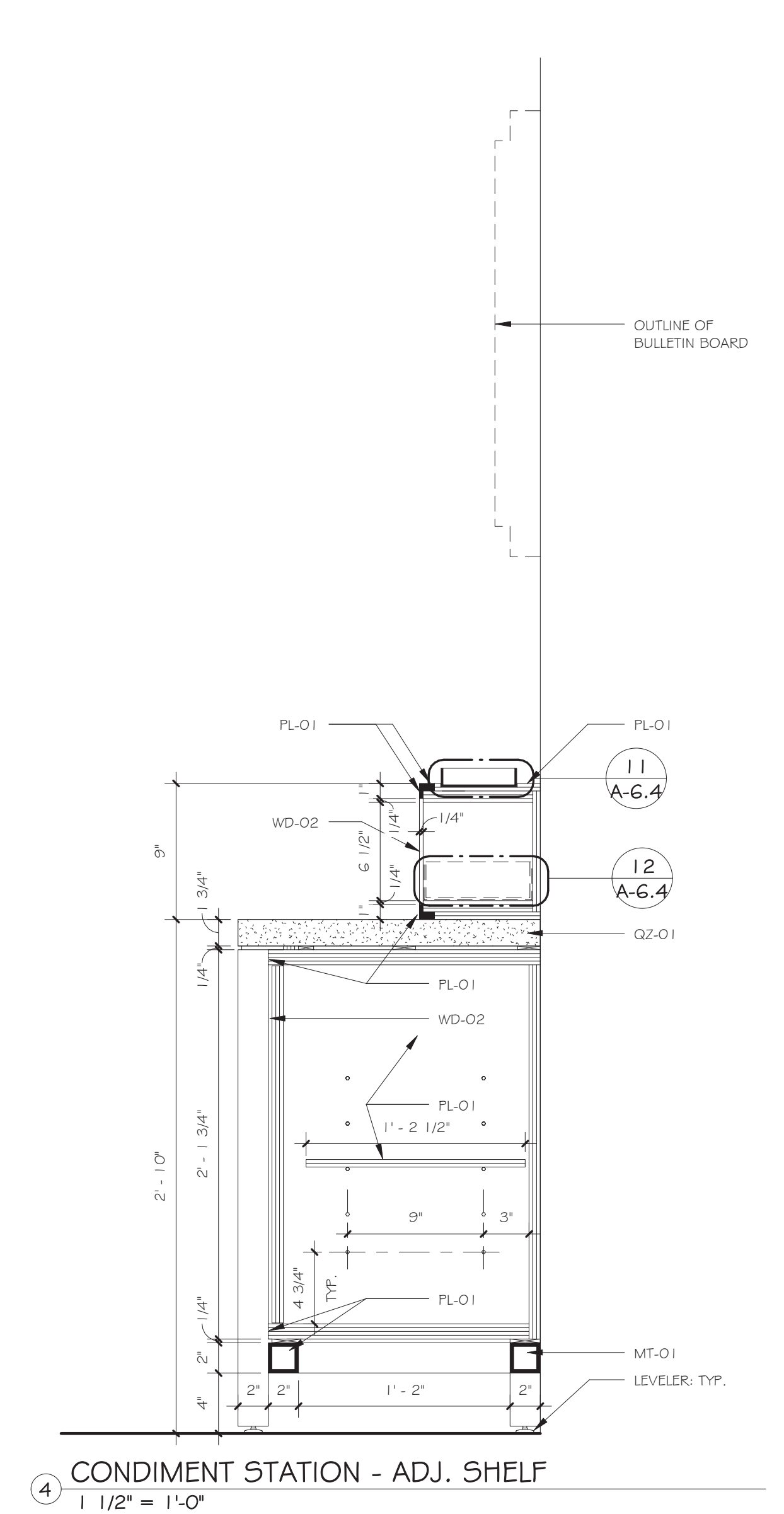
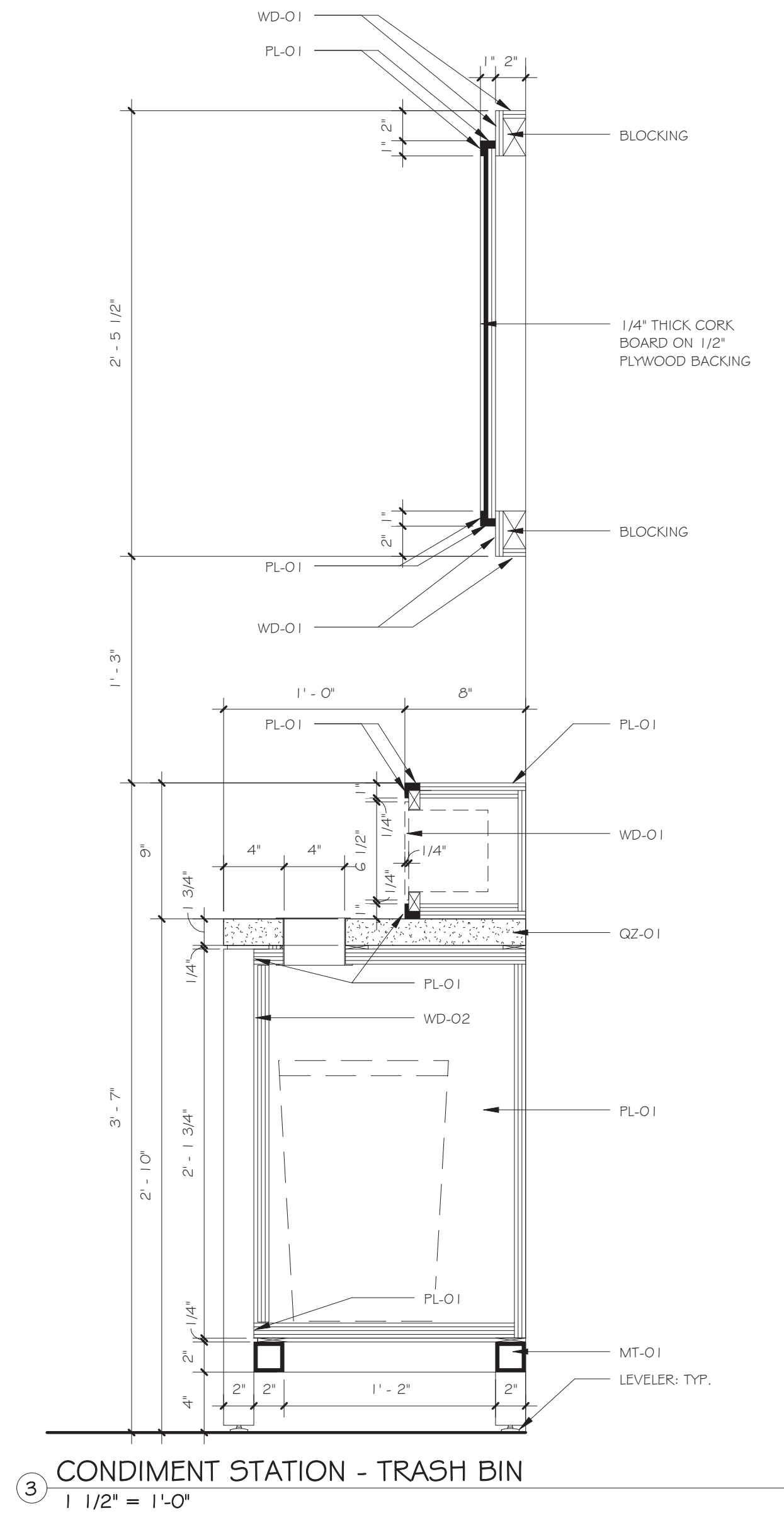
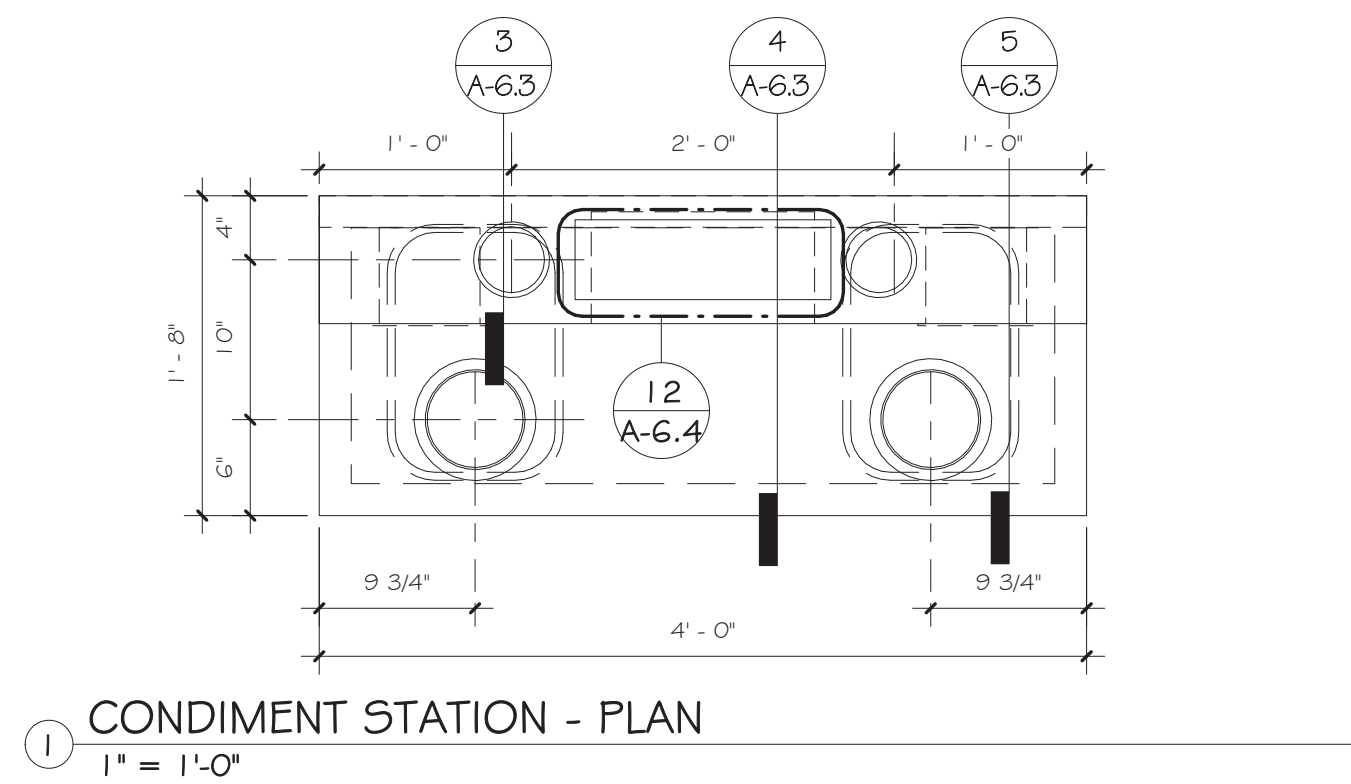
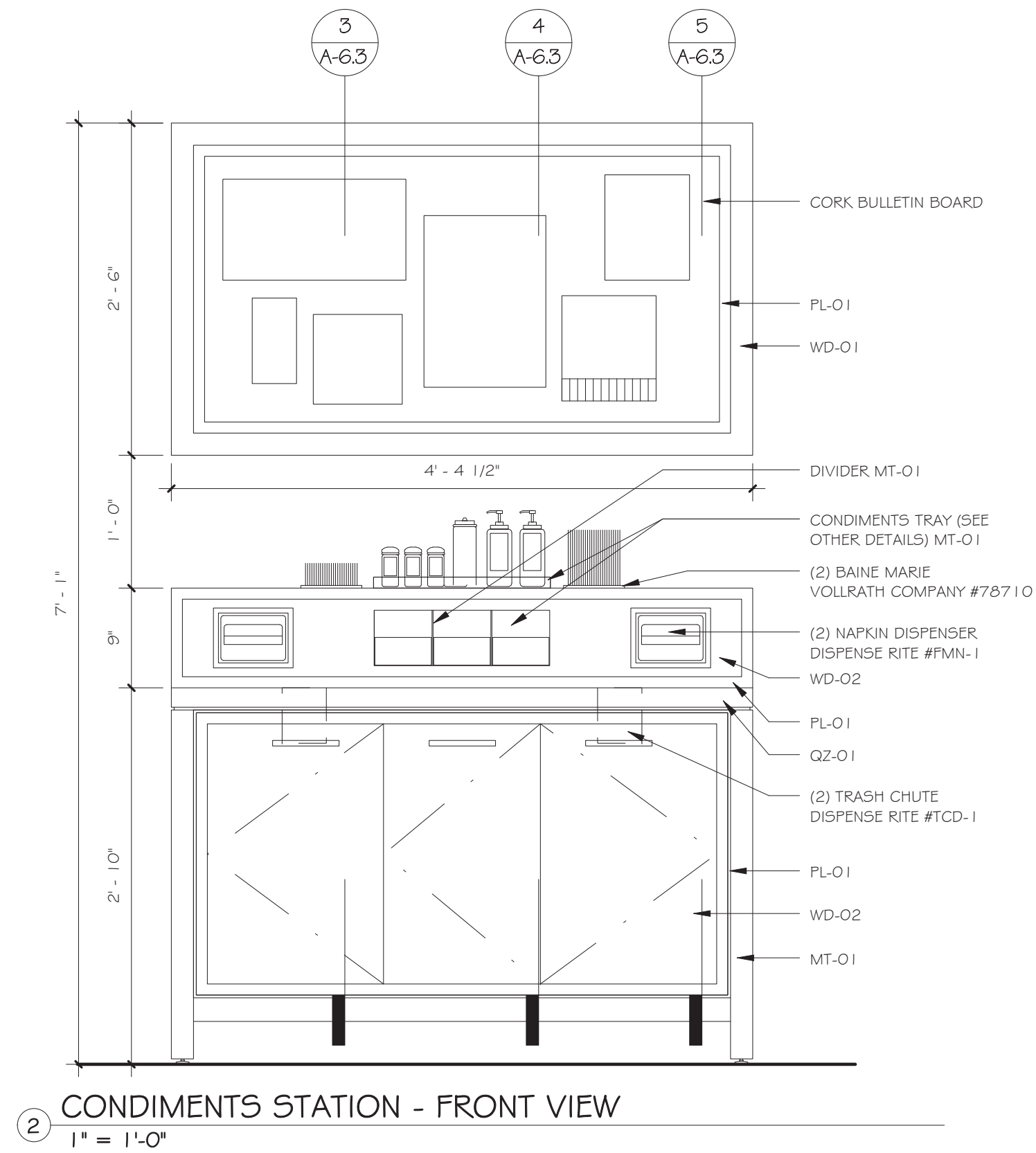
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Issue Date: June 7, 2016
Project No.: 15.44
Sheet Title: MILLWORK DETAILS - 2
Sheet No.: A-6.2
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**FOOD SERVICE MILLWORK
(N. I. C.)**



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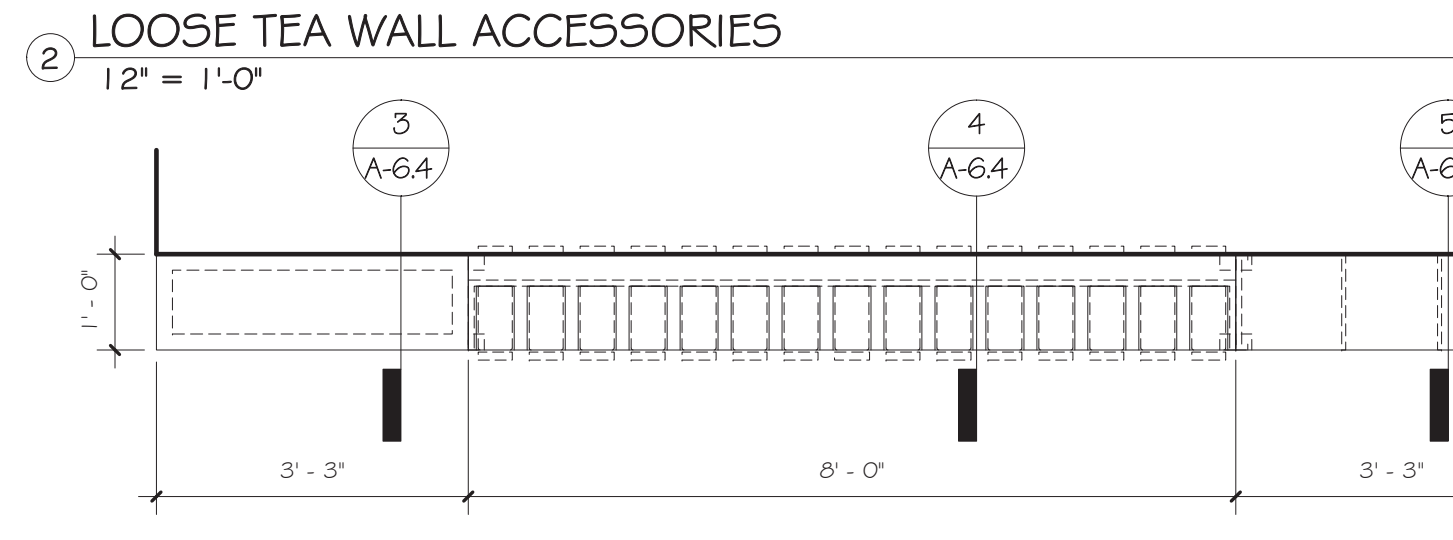
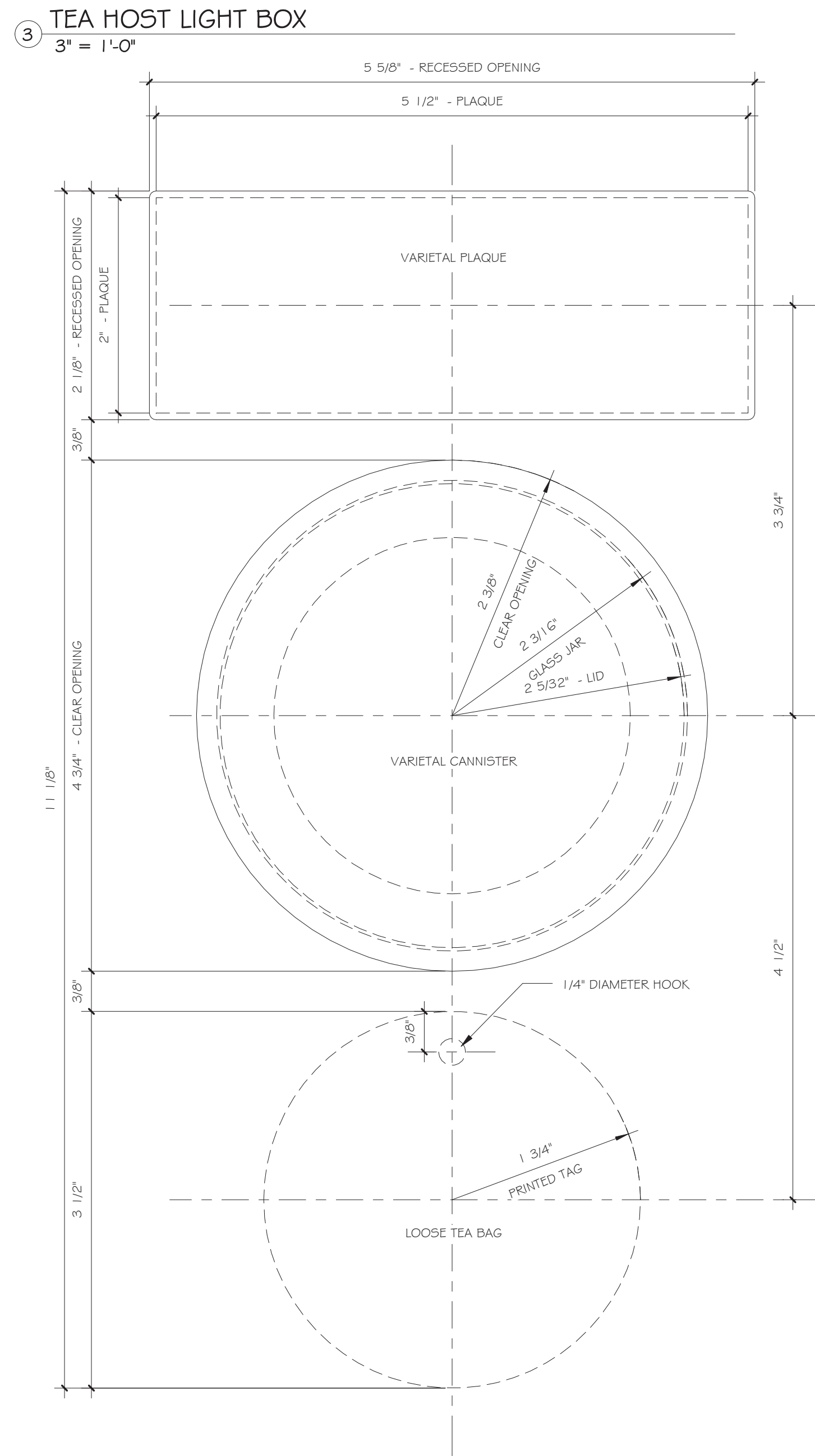
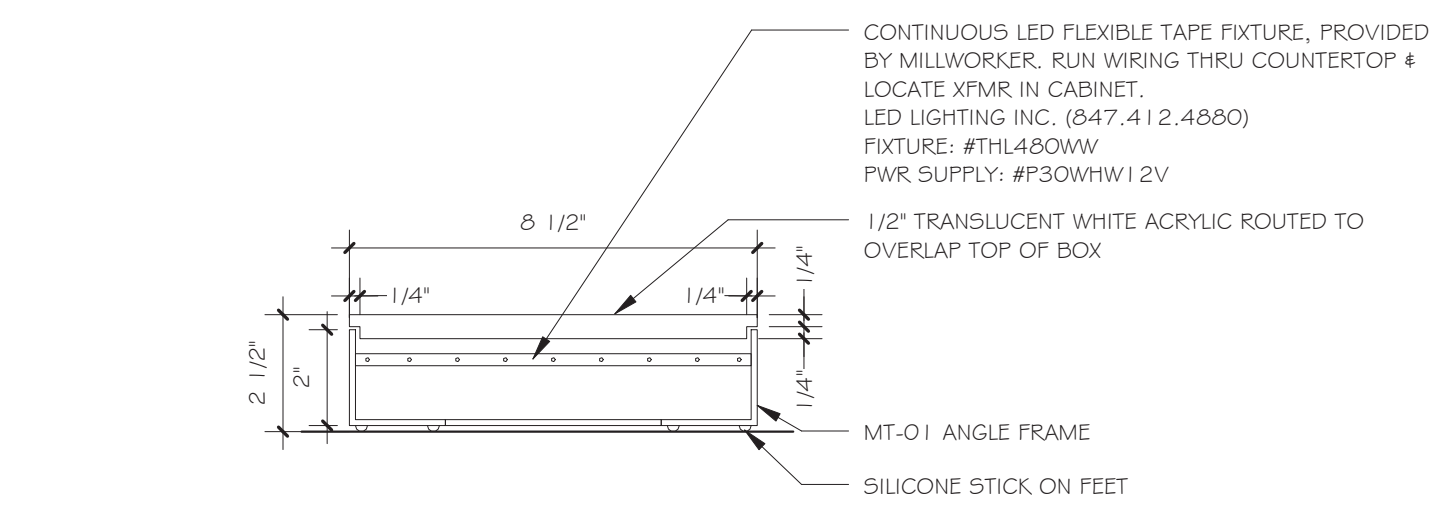
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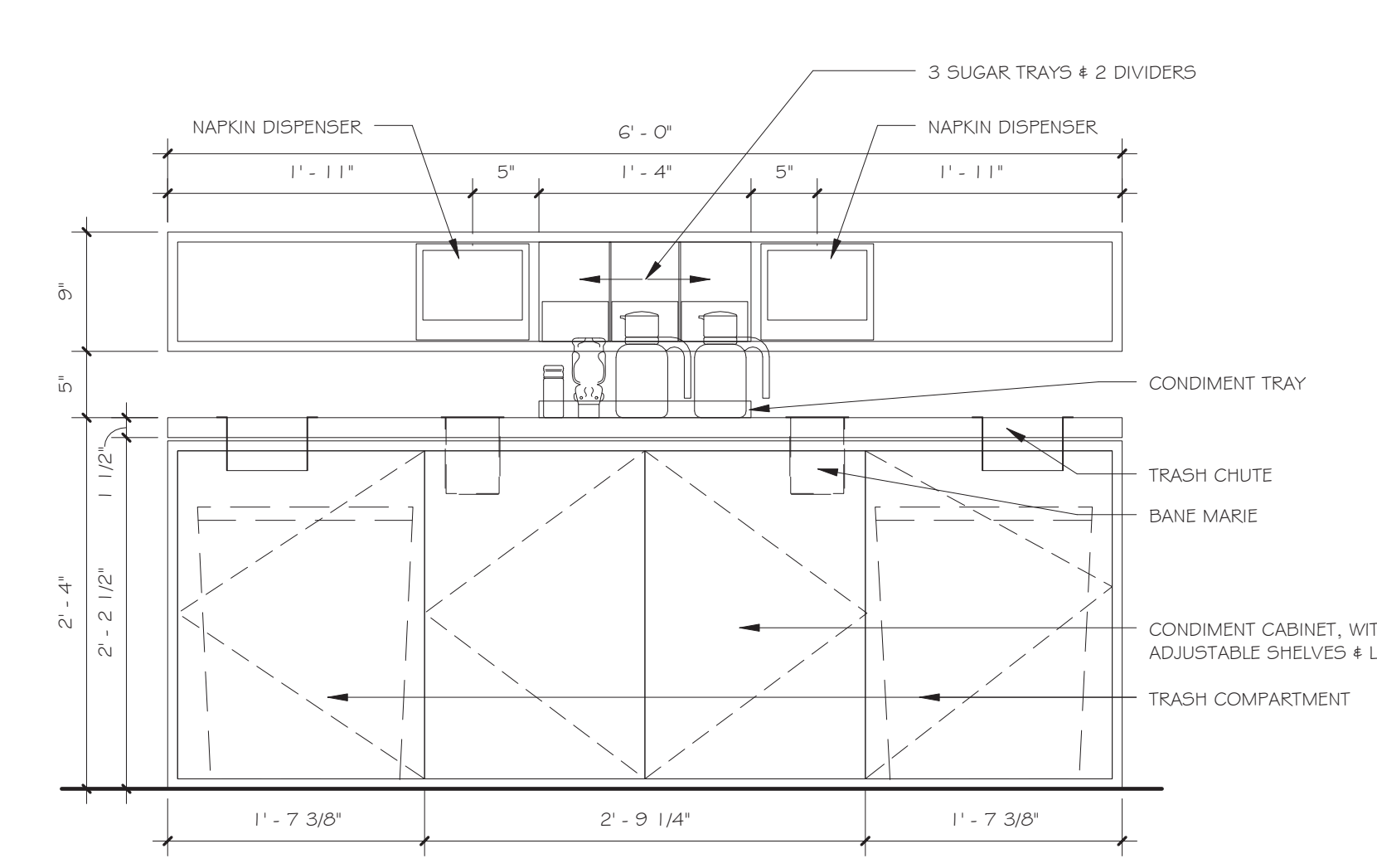
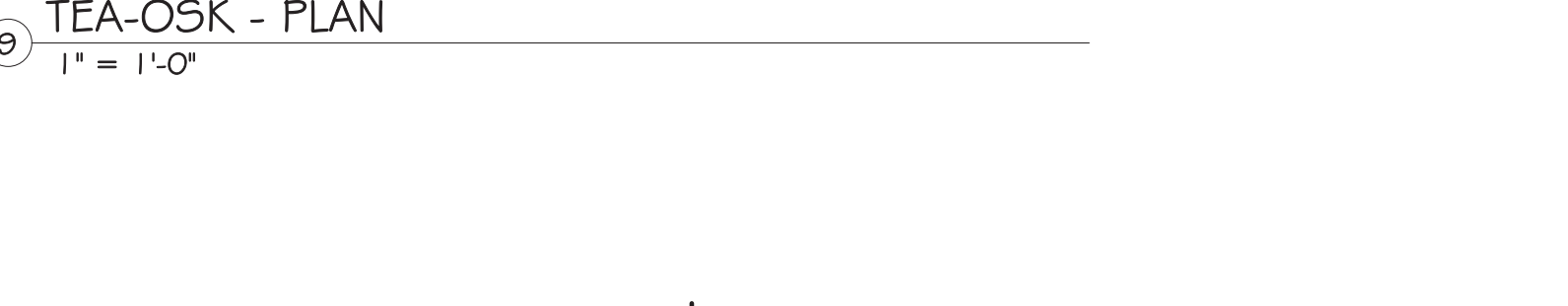
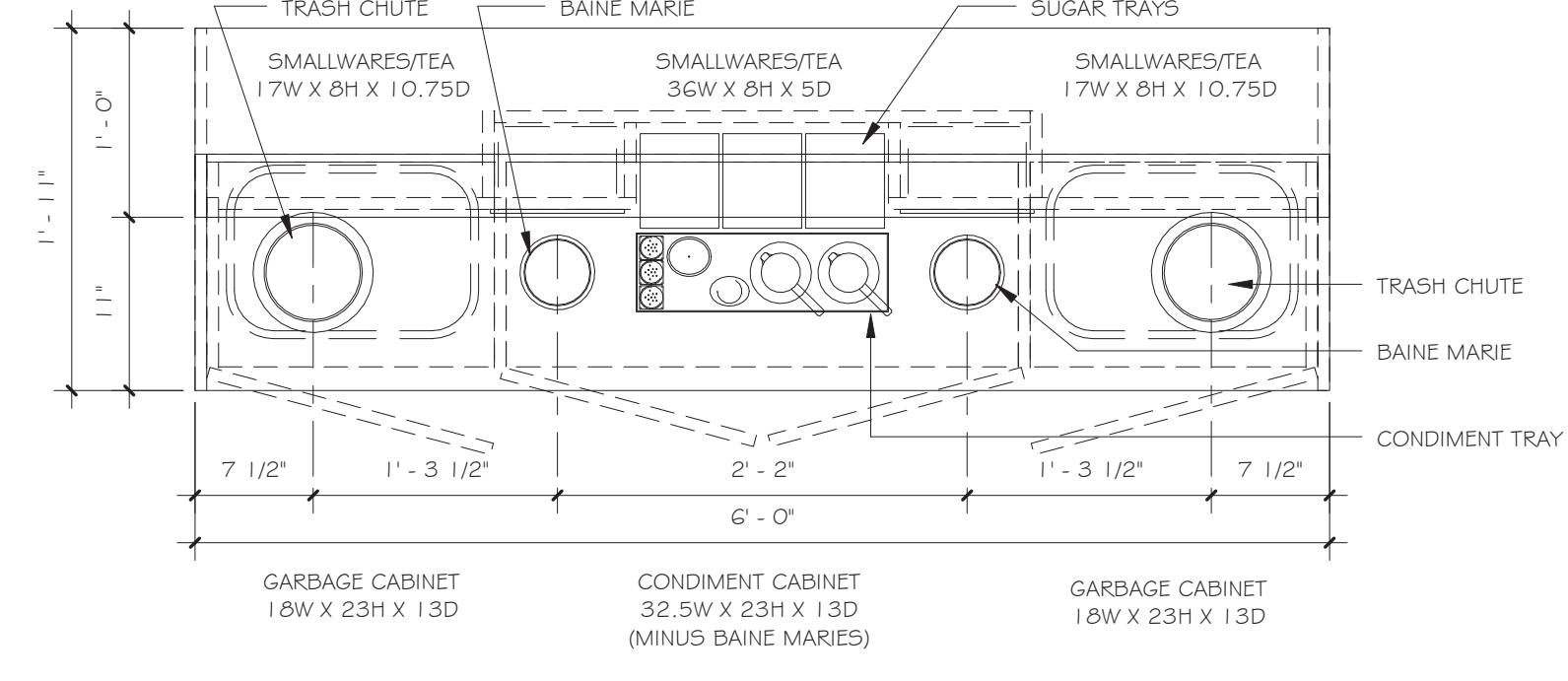
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| Issue Date | June 7, 2016 | Sheet No. | A-6.3 |
| Project No. | 15.44 | | |
| Sheet Title | MILLWORK DETAILS - 3 | | |
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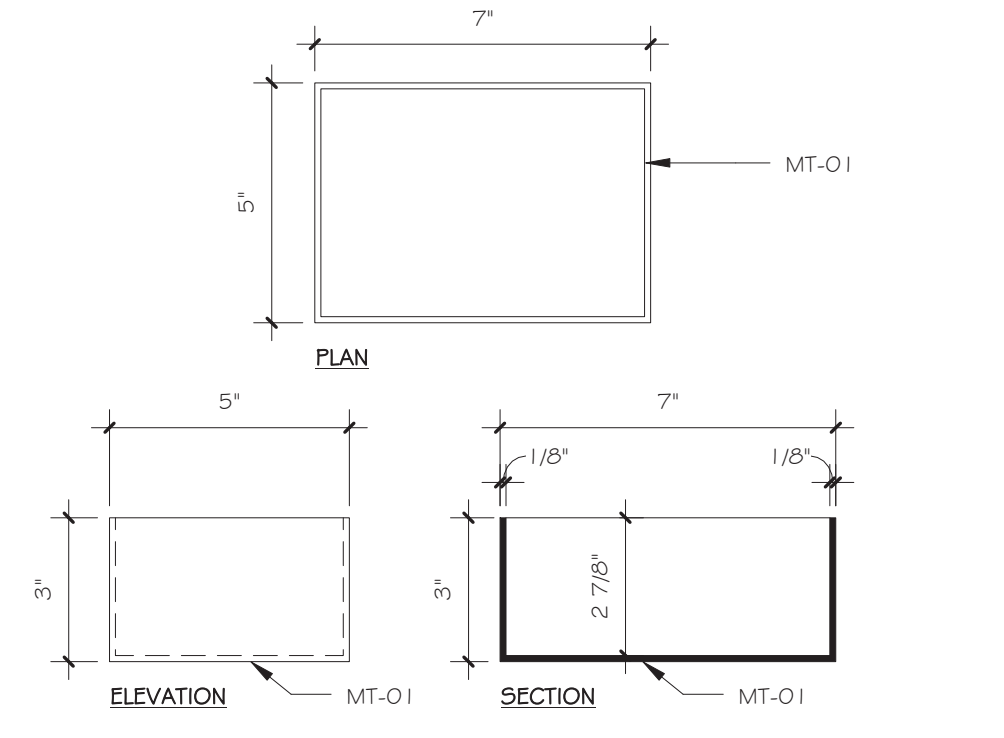
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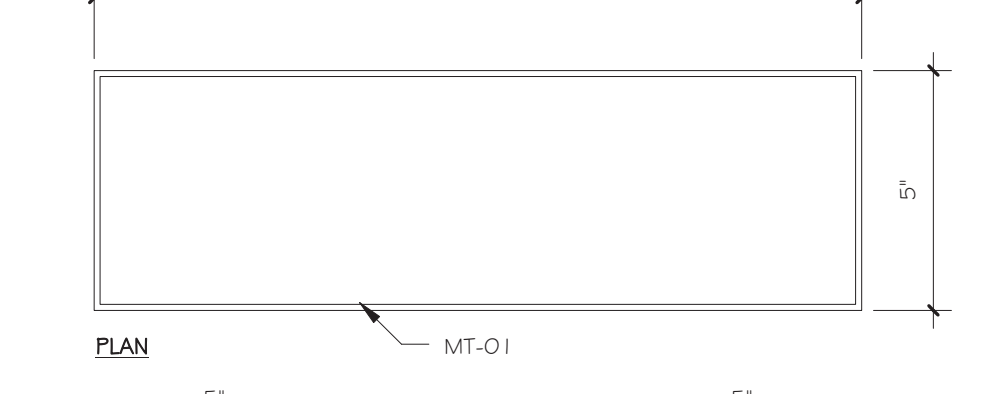
1 1/2" = 1'-0"



1" = 1'-0"



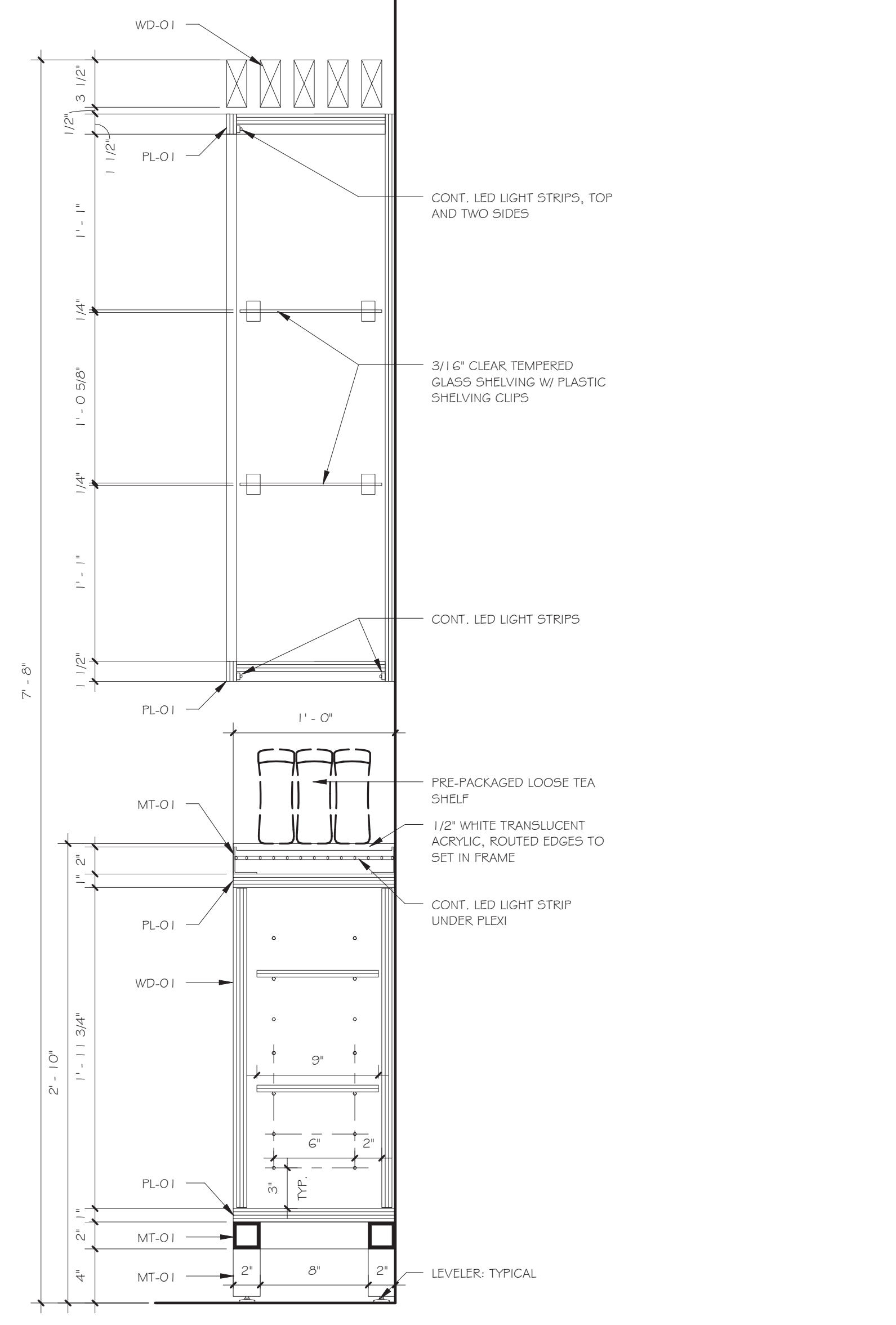
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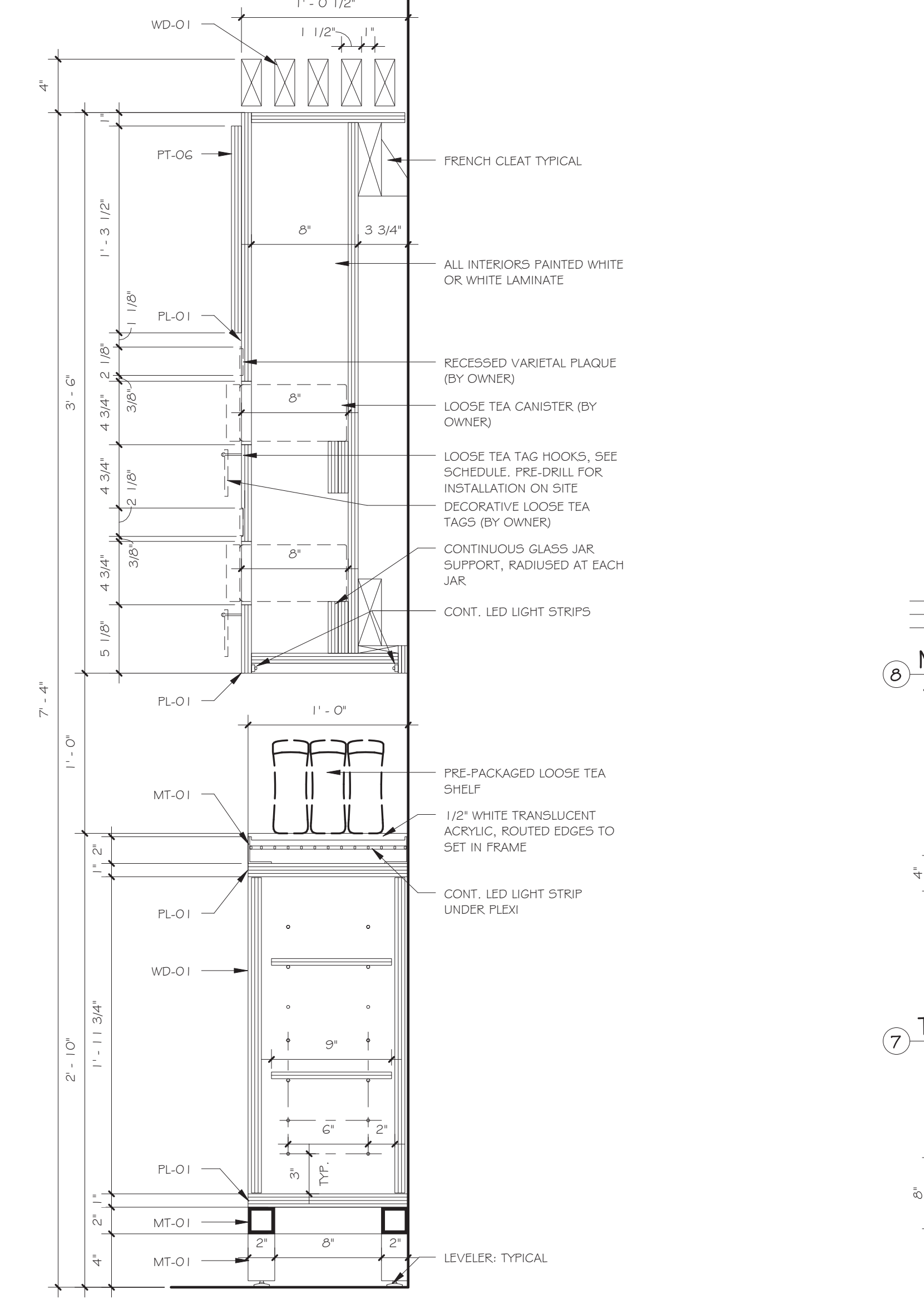
3" = 1'-0"



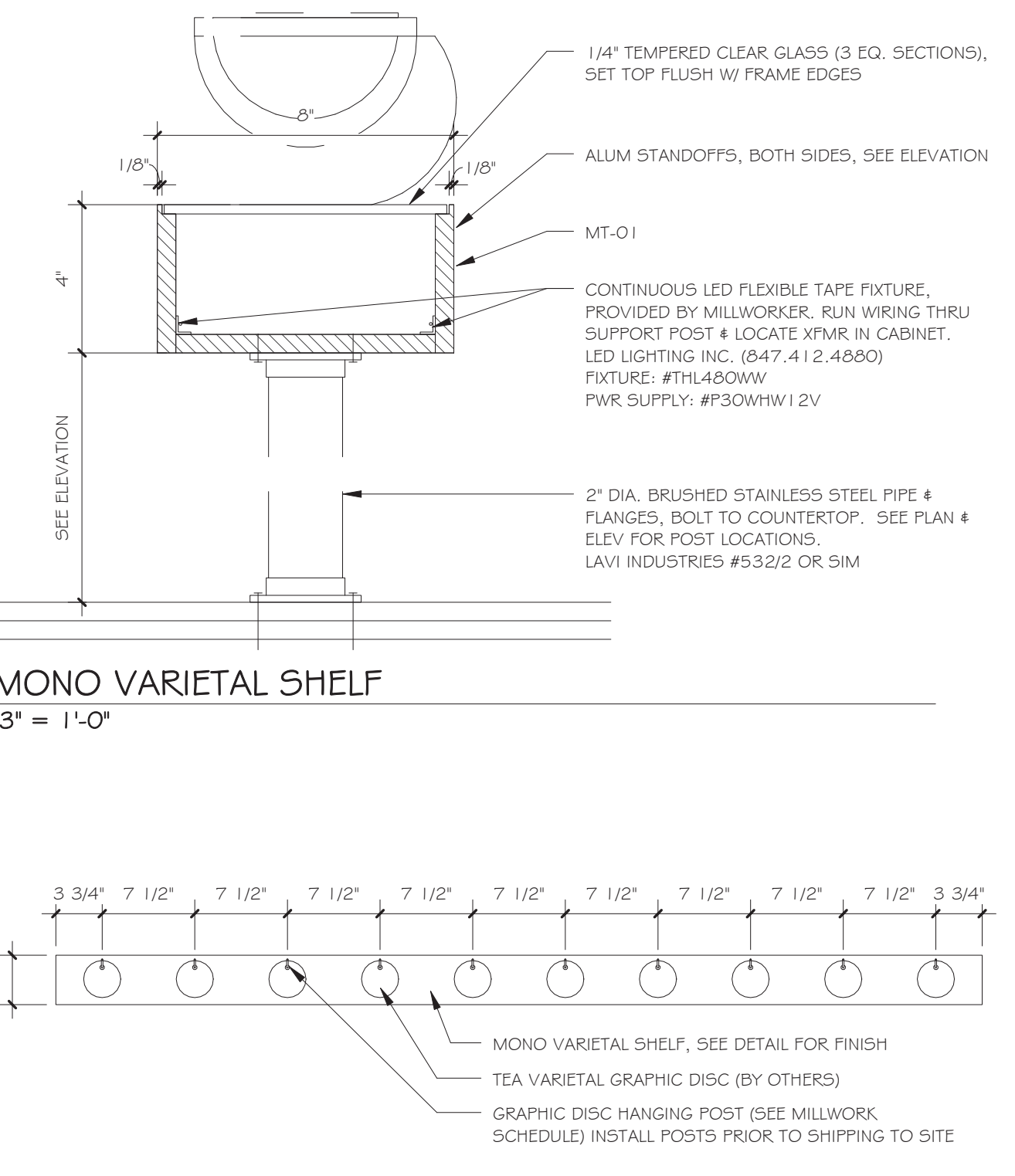
3" = 1'-0"



1 1/2" = 1'-0"



1 1/2" = 1'-0"



1" = 1'-0"

1" = 1'-0"

| Revisions & Issues | | |
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Client/Project

AT

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Seal

It is a violation of the New York State Education Law to alter these documents in any way once the seal and signature have been affixed by the Architect.

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MILLWORK DETAILS - 4

100% ARCHITECTURAL
SUBMISSION: FOR REVIEW

