MASONRY REPAIRS OF CAMPUS UNDERPASS (LINCOLN AVE.)

PROJECT # SU-082324

SUNY PURCHASE COLLEGE 735 ANDERSON HILL ROAD PURCHASE NY 10577



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GENERAL NOTES

- 1. ALL WORK OF THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF NEW YORK STATE BUILDING CODE, AND REGULATIONS OF OTHER AGENCIES HAVING JURISDICTION ON THE WORK OF THIS CONTRACT.
- 2. WHERE DIMENSIONS ARE INDICATED, DIMENSIONS GOVERN OVER SCALE. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR PRIOR TO ORDERING ANY MATERIAL OR COMMENCING ANY WORK. ANY DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE EIC. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS ACCEPTED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. NO WORK SHALL PROCEED UNTIL SUCH DISCREPANCY HAS BEEN RECTIFIED.
- 3. ALL WORK ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK WHETHER STATED OR NOT EXCEPT WHERE SPECIFICALLY NOTED AS "EXISTING TO REMAIN".
- 4. COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.
- 5. THE CONTRACTOR SHALL DISCONNECT AND/OR REMOVE ANY EXISTING PLUMBING, ELECTRICAL FIXTURES, WIRE CONDUITS, OR OTHER WORK WHICH MIGHT INTERFERE WITH THE WORK OF THIS CONTRACT. AFTER NEW WORK IS COMPLETED, THE DISCONNECTED OR REMOVED ITEMS SHALL BE REINSTALLED BY THE CONTRACTOR AT THE SAME LOCATION OR AT NEW LOCATION AS DIRECTED. FURNISH ALL NECESSARY NEW MATERIALS/HARDWARE FOR COMPLETION OF WORK.
- 6. THE CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED OR EXPOSED SURFACES DUE TO CONTRACT WORK. ALL NEWLY INSTALLED, PATCHED WORK AND ALL AFFECTED AREAS SHALL BE PAINTED. ALL PAINTING WORK SHALL BE PERFORMED TO COVER THE ENTIRE HORIZONTAL OR VERTICAL SURFACE TO THE CLOSEST CORNER IN ALL FOUR DIRECTIONS. COLOR TO MATCH EXISTING CONDITIONS.
- 7. THE CONTRACTOR SHALL FURNISH AND INSTALL NEW MATERIALS AT NO ADDITIONAL COST TO SUNY PURCHASE, ON THE FOLLOWING CONDITIONS:

a) ANY EXISTING WORK THAT HAS BEEN REMOVED OR DAMAGED IN ORDER TO PERFORM THE CONTRACT WORK.

b) TO FURNISH THE WORK OF THIS CONTRACT IN WORKMANLIKE MANNER.

- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- 9. THE CONTRACTOR SHALL INCLUDE ALL PREPARATORY AND ASSOCIATED SUPPLEMENTARY WORK TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
- 10. WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHMENT OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.
- 11. SIZE OF MASONRY UNITS ON SECTIONS ARE SHOWN AS NOMINAL SIZE.
- 13. PROVIDE GUARDS, RAILS, BARRICADES, FENCES, SIDEWALK SHEDS, CATCH PLATFORMS, DECKING, NIGHT LIGHTING, ETC., AS REQUIRED BY THE NEW YORK STATE BUILDING CODE, SECTION 3302 AND 3306 AS REQUIRED TO PROVIDE ADEQUATE PROTECTION.
- 14. THE CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES. SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- 15. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS FROM ALL ADJACENT SPACES INTO THE EXISTING FIRE STAIRS TO OUTSIDE OF THE BUILDING AT ALL TIMES.
- 16. THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR REQUIRED INSPECTIONS, PERMIT(S), FEES, LICENSE AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- 18. THE CONTRACTOR SHALL EXAMINE AND VERIFY IN THE FIELD ALL EXISTING AND GIVEN CONDITIONS AND DIMENSIONS WITH THOSE SHOWN ON THE CONTRACT DOCUMENTS. IF THE FIELD CONDITIONS AND DIMENSIONS DIFFER FROM THOSE SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ALL FIELD CONDITIONS AND DIMENSIONS SHALL BE SO NOTED ON THE DRAWINGS AND SUBMITTED FOR APPROVAL.
- 19. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT, DUE TO THE NATURE OF THIS PROJECT, THE EXACT EXTENT OF WORK CAN NOT ALWAYS BE ACCURATELY DETERMINED PRIOR TO THE COMMENCEMENT OF THE WORK. THE CONTRACT DOCUMENTS HAVE BEEN

PREPARED BASED ON FIELD INSPECTION AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATIONS TO THE CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE FIELD CONDITIONS AND AS ORDERED BY THE ENGINEER.

- 20. ALL BIDDERS SHALL INSPECT THE PROJECT SITE PRIOR TO SUBMITTING BIDS TO VERIFY THE FIELD CONDITIONS WHICH MAY BE ENCOUNTERED AND THE NATURE OF THE WORK TO BE DONE UNDER THIS CONTRACT. NO COMPENSATION WILL BE ALLOWED TO THE BIDDER FOR FAILURE TO INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT COSTS NECESSARY TO COMPLETE THE WORK.
- 21. THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY MATERIALS THAT ARE TO REMAIN IN PLACE, OR THAT ARE TO BE REMOVED AND REMAIN THE PROPERTY OF THE COLLEGE, WILL NOT BE DAMAGED. IF THE CONTRACTOR DAMAGES ANY MATERIALS THAT ARE TO REMAIN IN PLACE, OR WHICH ARE TO REMAIN THE PROPERTY OF THE COLLEGE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE PARK MANAGER AT THE EXPENSE OF THE CONTRACTOR.
- 22. THE CONTRACTOR SHALL BE REQUIRED TO PROTECT HIS/HER WORKERS AT ALL TIMES IN CONFORMANCE WITH APPLICABLE OSHA REGULATIONS.
- 23. THE USE OF POWER DEVICES SUCH AS ELECTRIC HAMMERS OR OTHER PNEUMATIC TOOLS WILL NOT BE ALLOWED UNLESS APPROVED BY THE CAMPUS PROJECT REPRESENTATIVE. NO POWER-ACTUATED DEVICES MAY BE USED TO ATTACH STUDS TO EXISTING FLOORS, CEILINGS OR WALLS UNLESS A LIST OF PROPOSED TOOLS IS SUBMITTED AND APPROVED BY THE CAMPUS PROJECT REPRESENTATIVE. POWER-ACTUATED DEVICES MAY NOT BE UTILIZED WITHOUT PRIOR CONSENT FROM THE BOARD, AS PER THE ALTERATION AGREEMENT.
- 24. CONTRACTOR TO PROVIDE FOR PAINT, DUST, DEBRIS AND NOISE CONTAINMENT AS DIRECTED BY THE CAMPUS PROJECT REPRESENTATIVE. ALL VENTS AND EXHAUSTS MUST BE FULLY SEALED TO PREVENT INFILTRATION OF DUST AND DIRT.
- 25. ANY CHANGES TO THE SCOPE OF WORK MUST BE SUBMITTED TO THE CLIENT AND THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF THAT WORK.
- 26. CONTRACTOR SHALL SCHEDULE AND SEQUENCE WORK SO AS NOT TO INTERFERE WITH OTHER ONGOING OR SCHEDULED WORK, OR WITH ACTIVITIES OF THE OWNER. COORDINATE WITH OWNER'S REPRESENTATIVE.
- 27. CONSTRUCTION WORK SHALL NOT IMPACT THE ADJOINING OCCUPIED APARTMENTS.
- 28. DO NOT SCALE DRAWINGS. DETAILS, NOTES, AND THE LIKE ARE TYPICAL AND APPLY IN GENERAL TO SIMILAR CONDITIONS.

SUMMARY OF WORK

THE WORK SHALL BE AS SHOWN AND CALLED FOR IN THE CONTRACT DOCUMENTS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING GENERAL ITEMS OF WORK:

REMOVAL AND STORAGE OF EXISTING HANDRAIL AND COPING STONE FOR REINSTALLATION.

REMOVAL OF EXIST. FACE BRICK MASONRY AND SUPPORT SYSTEM.

INSTALLATION OF NEW WATERPROOFING AND REPLACEMENT OF PARAPET WALL FACE BRICK MASONRY IN KIND.

SEQUENCE OF FACE BRICK REPLACEMENT AND ANCHORAGE

- 1. START FACE BRICK REMOVAL FROM TOP, GOING DOWN.
- 2. REMOVE FACE BRICK MASONRY AND SUPPORT SYSTEM.
- 3. PREPARE BACKUP MASONRY OR CONCRETE PARAPET FOR NEW WATERPROOFING AND FACE BRICK MASONRY.
- 4. INSTALL LIQUID APPLIED VAPOR PERMEABLE MEMBRANE PER ARCHITECTURAL DRAWINGS/ SPECS.
- 5. START FACE BRICK INSTALLATION FROM BOTTOM GOING UP.
- 6. INSTALL HANDRAIL AND COPING STONE IN KIND, PER ARCHITECTURAL DRAWINGS/ SPECS.
- 7. SEE ARCHITECTURAL DRAWINGS FOR FLASHING DETAILS.

ABBREVIATIONS

А

AB A.D ADJ. ALUM.A. AOR APP'D. AAPR.B. ARCH. ASPH. AUX. &	 ABOVE ACCESS DOOR ADJACENT ALUMINUM ARCHITECT OF RECORD APPROVED APPROXIMATELY ARCHITECT ASPHALT AUXILIARY AND ANGLE 	MAX. – MECH. – M.H. – MIN. – M.I.S. – MT ² D –	MECHANICAL MANHOLE MINIMUM METAL INSECT SCREEN
© B BR B.O. B.A. B.L.	 AT BRICK BASE OF BRICK COURSE BUILDING LINE 	NEC. – N.I.C. – CONTRACT NO. –	NOMINAL DIAMETER NECESSARY NOT IN NUMBER NOT TO SCALE
BLDG. BLK BM. B.S. B.S.&A. B.U.R	 BUILDING BLOCK BEAM BLUE STONE BOARD OF STANDARDS AND APPEAL BUILT-UP ROOF 	0.C. – 0.D. – 0.G. –	ON CENTER OUTSIDE DIAMETER OBSCURE GLAZING PAVEMENT
C C. CAB'T. CL C.J. CL'G COL.	 CASEMENT CABINET CENTER LINE CONTROL JOINT CEILING COLUMN 	P&D DRAINAGE PL R R	PLUMBING AND PLASTER RADIUS RAILING
CONT. CONC. C.R. CU.YD. D	 CONTINUOUS CONCRETE CLASSROOM CUBIC YARD 	RAD R.D. REF. REINF. RET.	RADIATOR ROOF DRAIN REFERENCE REINFORCEMENT RETAINING ROOM
DEPT. DET. D.H. DIA. DIM. DN. DO. DR. DWG. D.C. E	 DEPARTMENT DETAIL DOUBLE HUNG DIAMETER DIMENSION DOWN DITTO DOOR DRAWING DIAGONAL CRACK 	S.S. – SPEC. – S.F. – STD. – ST. PL. – ST. DET. – S.Y. –	STAINLESS STEEL SPECIFICATION SQUARE FEET STANDARD STEEL PLATE STANDARD DETAIL SQUARE YARD STRUCTURAL FACING TILE
EG. EIC E.J. EL. EMG. E.L.	 EXTERIOR WIRE ENGINEER IN CHARGE EXPANSION JOINT ELEVATION EXPANDED METAL GUARD EXISTING LEADER 	TH. – T.O.S. – TYP. – T.C. –	TO BE DECIDED THICKNESS TOP OF SLAB TYPICAL TERRA COTTA
EXP. EXIST. EXT. E.C.	 ENTRANCE ENGINEER OF RECORD EQUAL EQUIPMENT EXPANSION EXISTING EXTERIOR ELECTRICAL CONDUIT 	VERT. – V.I.F. – V. –	VENTILATOR VERTICAL VERIFY IN FIELD VENT VERTICAL CRACK
FIN.	 FACE BRICK FLOOR DRAIN FINISH FLOOR FRESH AIR INTAKE FIREPROOFING FRAME 	W.F. - W.H. - W.I. - W.M. - W.P. -	WITH WIDE FLANGE WEEP HOLE WROUGHT IRON WIRE MESH WATERPROOFING WEIGHT
GALV. G.B.W. G.C. G.I.	 GAUGE GALVANIZED GLASS BLOCK WINDOW GENERAL CONTRACTOR GALVANIZED IRON GLASS GRANITE 		
	 HORIZONTAL CRACK HANDICAPPED HEIGHT HOLLOW METAL HORIZONTAL 		
I INT. INSTR. INSUL. L	INTERIORINSTRUCTORINSULATION		
L.S. LT. L.F.	– LIMESTONE – LIGHT – LINEAR FOOT		

DRAWING LIST

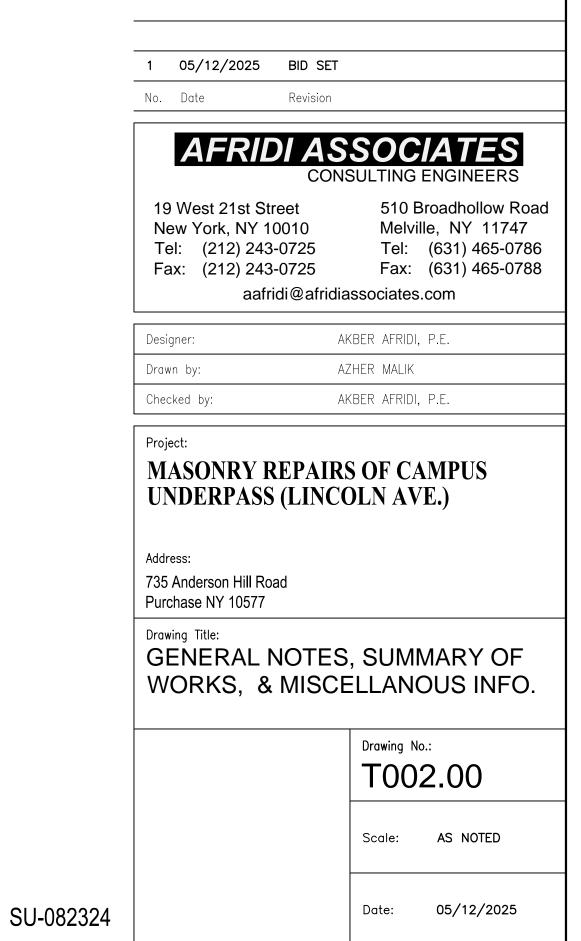
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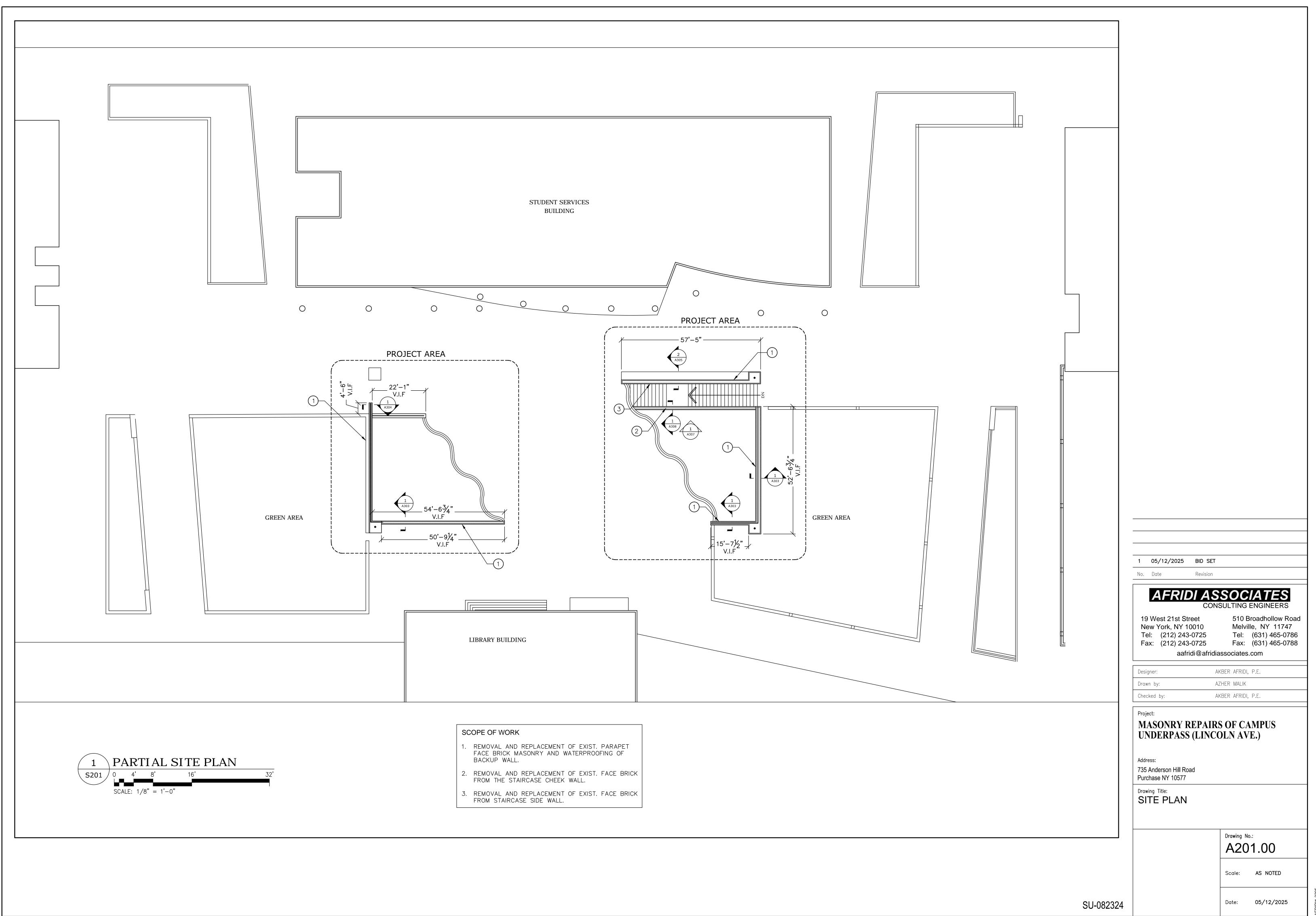
COVER & GENERAL NOTES				
T001.00	COVER SHEET			
T002.00	SYMBOL LEGEND, ABBREVIATIONS, GENERAL NOT			
	SUMMARY OF WORK, LIST OF DRAWINGS			

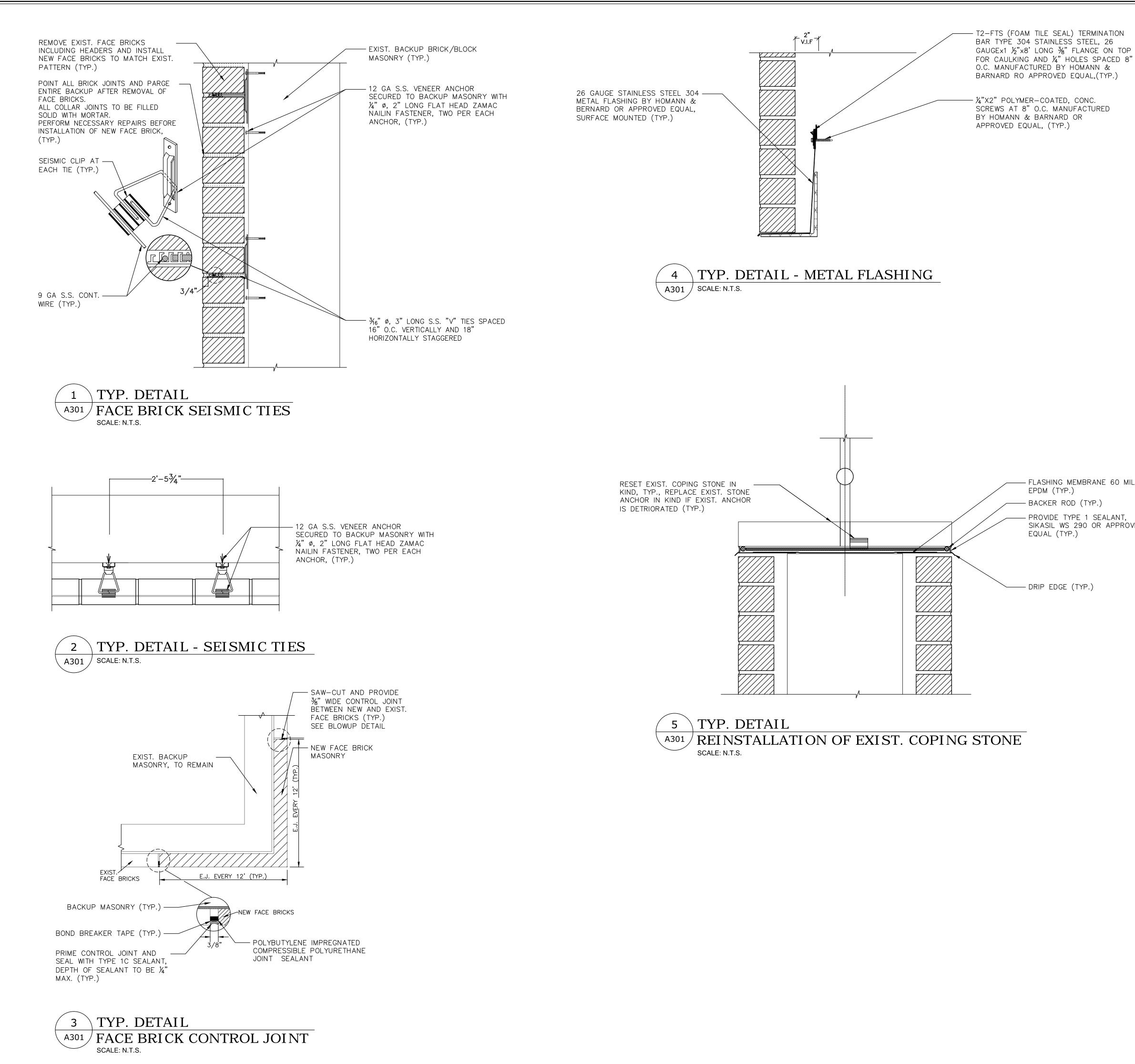
ARCHITECTURAL DRAWINGS

A201.00	PARTIAL SITE PLAN
A301.00	TYPICAL DETAILS, INSTALLATION OF FACE BRICK
A302.00	CONCRETE REPAIR DETAILS
A303.00	PARAPET WALL SECTION DETAIL - 1
A304.00	PARAPET WALL SECTION DETAIL – 2
A305.00	PARAPET WALL SECTION DETAIL – 3
A306.00	STAIRS WALL - PLAN AND ELEVATION
A307.00	STAIRS WALL – ELEVATION
A308.00	STAIRS WALL SECTION DETAIL

OTES,
CK MASONRY & WATERPROOFING

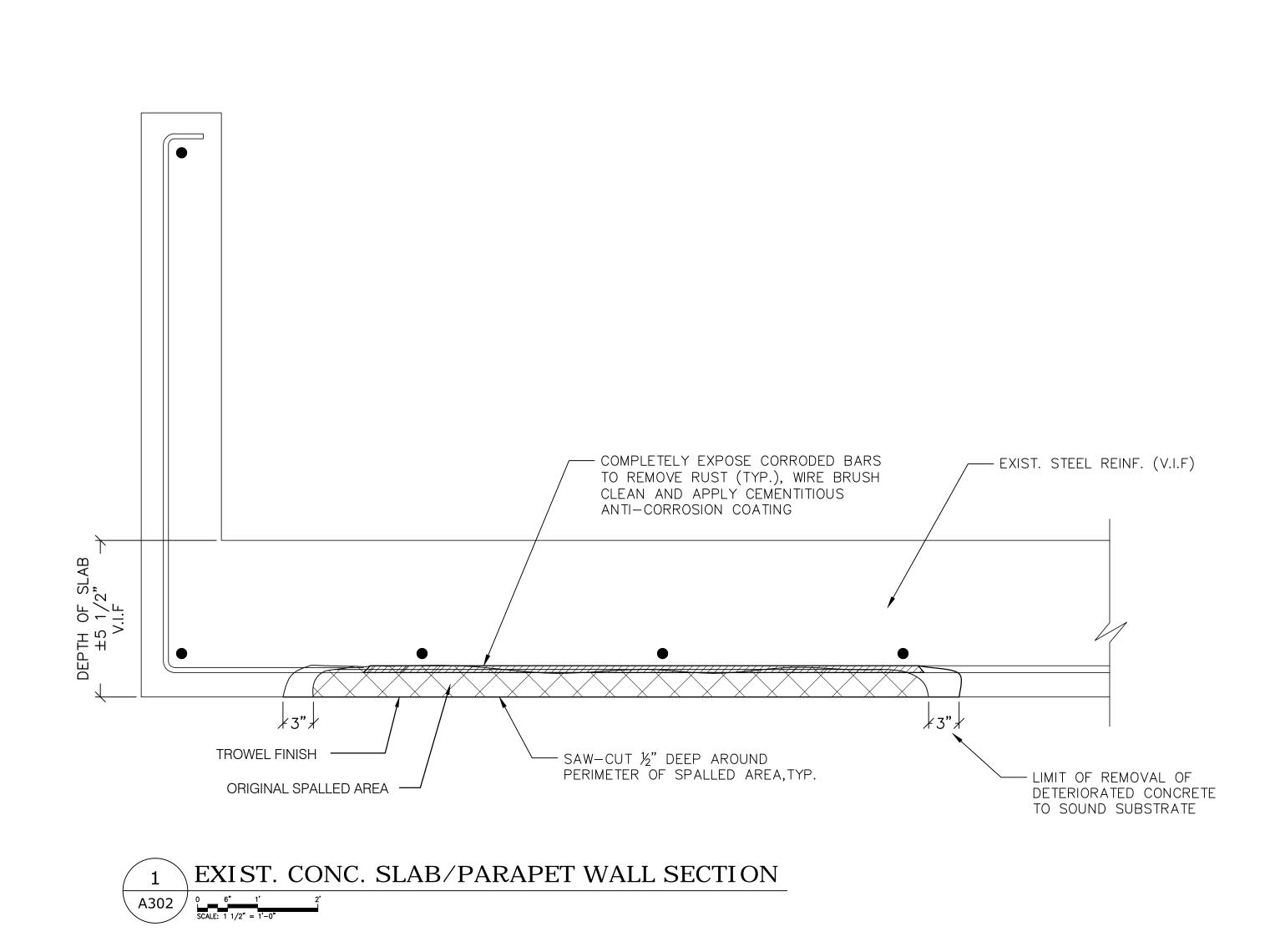






ON TOP	1. WHERE DETERIORATED OR LOOS		LEGEND:		
ACED 8"	REINFORCEMENT BARS ARE EXP THEY MUST BE CUT AND REMO	OSED		E EXISTING BRICK W/	
YP.)	SAFELY. 2. CONTRACTOR TO CHIP AWAY AN	IY		MATCH	
ED	LOOSE CONCRETE, WIRE BRUSH THE REMAINING REINFORCEMENT 3. PATCH AND REPAIR EXIST. CON EPOXY INJECTION AS SHOWN O	r. C. BY	EXISTIN	G BRICK TO REMAIN	
			EXISTIN	G BRICK TO REMOVE	
			SPC-SF	E TOOL CLEAN TO 73 SURFACE PREP, AND PAINT EXISTING MEMBER	
			NOTES: 1. NOTIFY E.O.R. FOF FOUND BETWEEN CONDITIONS.	R ANY DISCREPANCY DRAWINGS AND FIELD	
			2. GROUT SHALL BE	GH PERFORMANCE OR	
			3. CONTRACTOR TO P LOCATION OF EXIS MASONRY ANCHOR	FIELD VERIFY THE STING STONE AND	
			4. FOR EXPANSION J BETWEEN DIFFERE FOLLOW "JOINT SE	NT MATERIALS	
			5. CONTRACTOR TO PHOTOGAPHIC DOC EXIST. FIELD CON COMMENCEMENT C	PROVIDE A COMPLETE CUMENTATION OF DITIONS PRIOR TO	
			6. G.C. TO FOLLOW INSTRUCTIONS FOR PREPARATION AND		
			7. BOND PATTERN SI FOR ILLUSTRATION ACTUAL BOND PA MATCHING TO EXIS	PURPOSES ONLY. ITERN SHALL BE	
			8. EXIST. ROOFING TO DURING REPLACEM	BE PROTECTED	
E 60 MIL			NOT REMOVE BRIC LEVEL (TYP.).	CK BELOW PLAZA	
ALANT, APPROVED					
		1 05/	12/2025 BID SET		
		No. Date	·		
		A		SOCIATES	
			st 21st Street	510 Broadhollow Ro	
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		Designer: Drawn by:		KBER AFRIDI, P.E. Zher Malik	
		Checked by		(BER AFRIDI, P.E.	
			ONRY REPAIRS RPASS (LINCO		
		^{Address:} 735 Ander Purchase	rson Hill Road NY 10577		
			CAL DETAILS	FACE BRICK	
				Drawing No.: A301.00	
				Scale: AS NOTED	
	SU-082324			Date: 05/12/2025	

CONCRETE REPAIR NOTES:



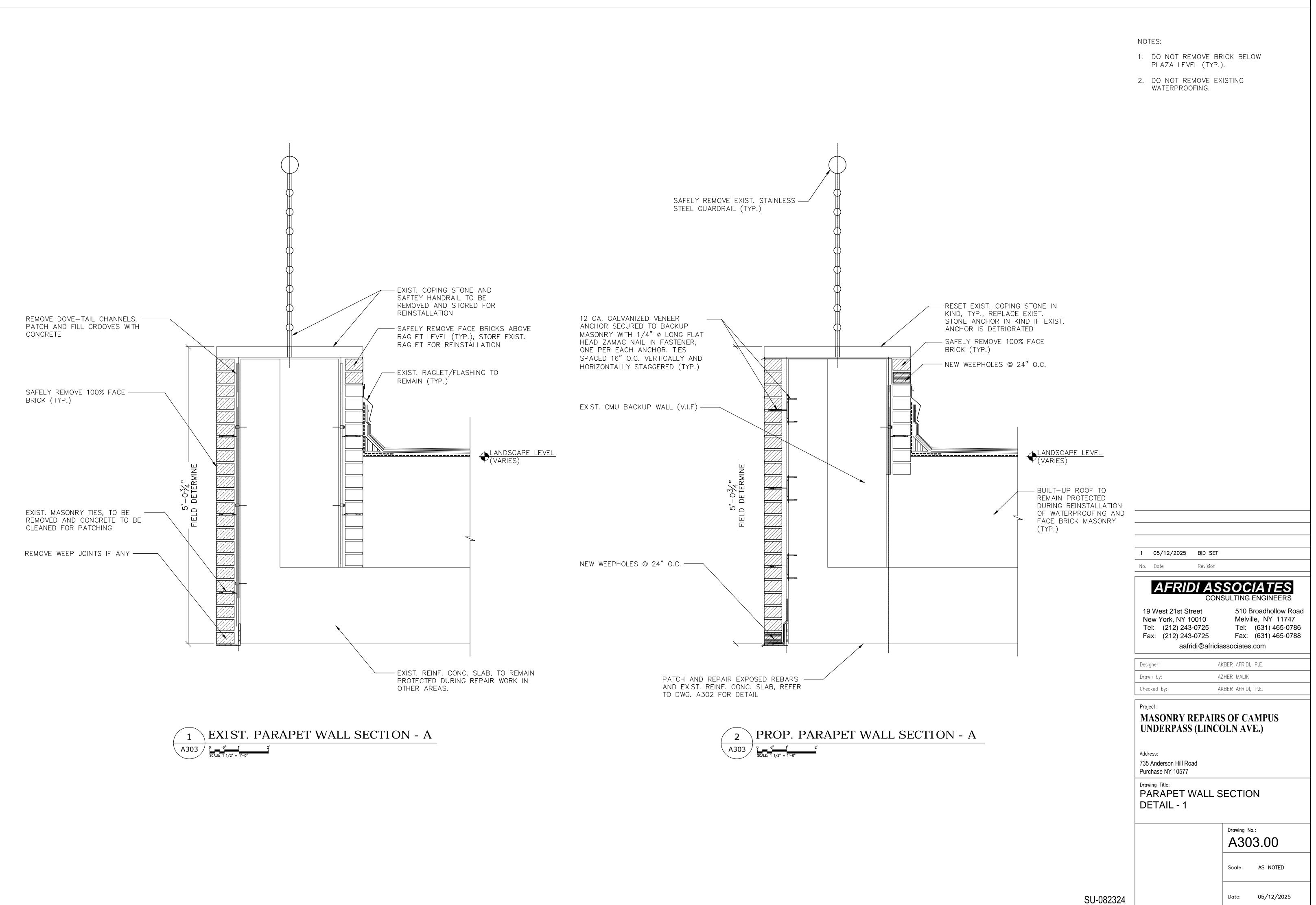
EXIST. CONCRETE SLAB REPAIR

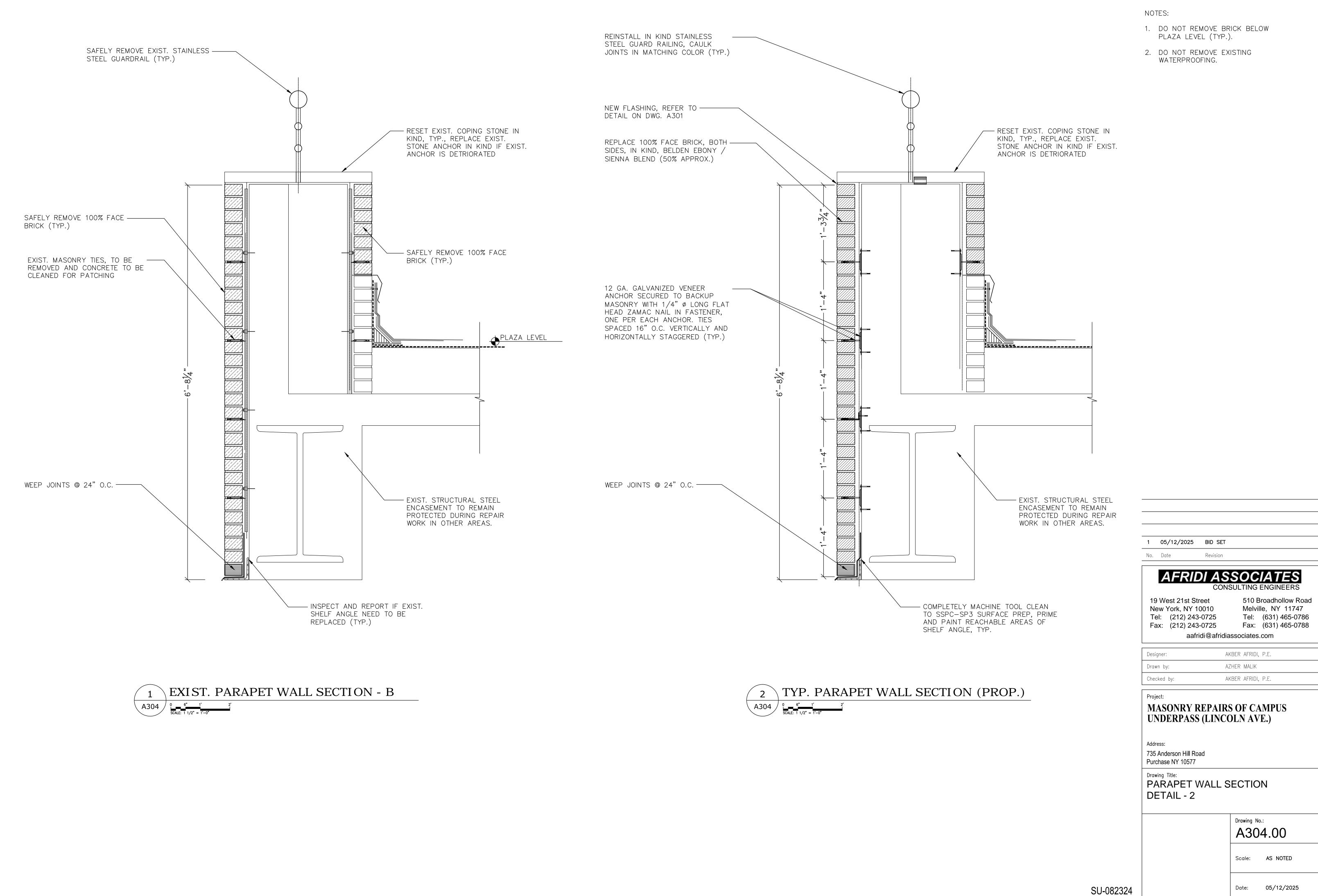
- 1. SOUND CONCRETE AREA WITH 3 LBS. SOUNDING HAMMER. REMOVE ALL LOOSE AND DETERIORATED CONCRETE BY HAMMER AND HAND-HELD POINTED TOOLS UNTIL SOUND CONCRETE SURFACE IS EXPOSED.
- 2. CLEAN ALL AREAS TO BE PATCHED INCLUDING REINFORCEMENT BARS USING WIRE BRUSH.
- 3. VACUUM CLEAN AND PREPARE THE CAVITY AS PER PATCHING COMPOUND MANUFACTURER'S INSTRUCTIONS.
- 4. PAINT ALL CLEANED STEEL REINFORCEMENT BARS WITH CEMENTITIOUS ANTI-CORROSION COATING IMMEDIATELY AFTER CLEANING.
- 5. APPLY BONDING AGENT TO THE AREAS TO BE PATCHED AS PER MANUFACTURER'S INSTRUCTIONS.
- 6. TROWEL THE PATCHING COMPOUND ONTO THE CONCRETE AREA TO BE RECONSTRUCTED IN LAYERS AS PER MANUFACTURER'S RECOMMENDATIONS. THE NUMBER OF LAYERS AND THICKNESS SHALL VARY ACCORDING TO THE DEPTH AND EXTENT OF THE CAVITY TO BE RECONSTRUCTED. THE FINAL LAYER SHALL BE CAREFULLY TOOLED FLUSH AND SMOOTH WITH THE ADJACENT EXISTING SURFACES.
- 7. CURE REPAIRED SURFACES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 8. APPLY TWO COATS OF ACRYLIC MODIFIED CEMENTITIOUS COATING OVER THE CONCRETE SURFACES AS PER MANUFACTURER'S RECOMMENDATIONS.

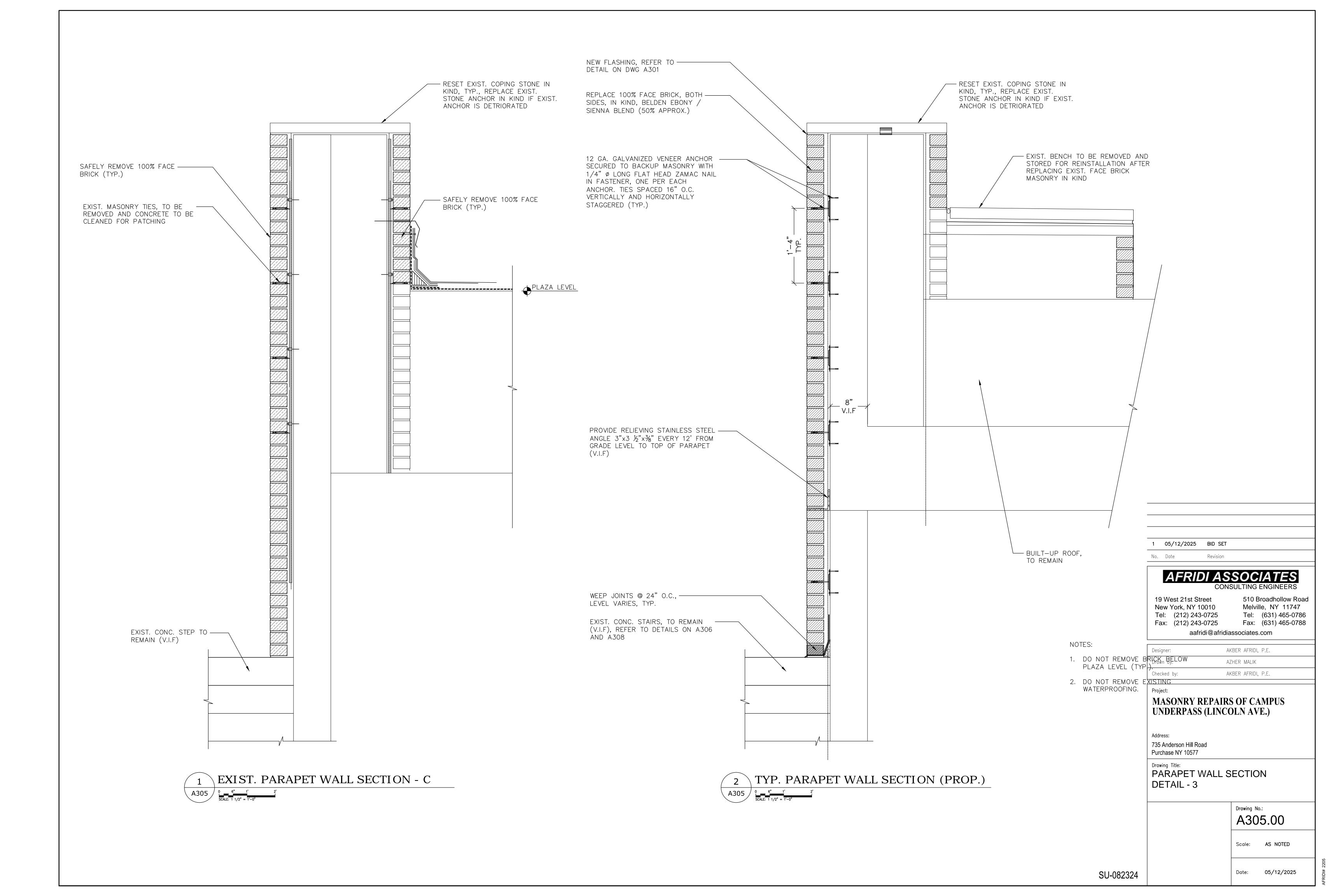
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	Drawn by:	AZHER MALIK	
	Checked by:	AKBER AFRIDI, P.E.	
	Address: 735 Anderson Hill Road Purchase NY 10577 Drawing Title: CONCRETE REPAIR DETAILS		
		Drawing No.: A302.00	
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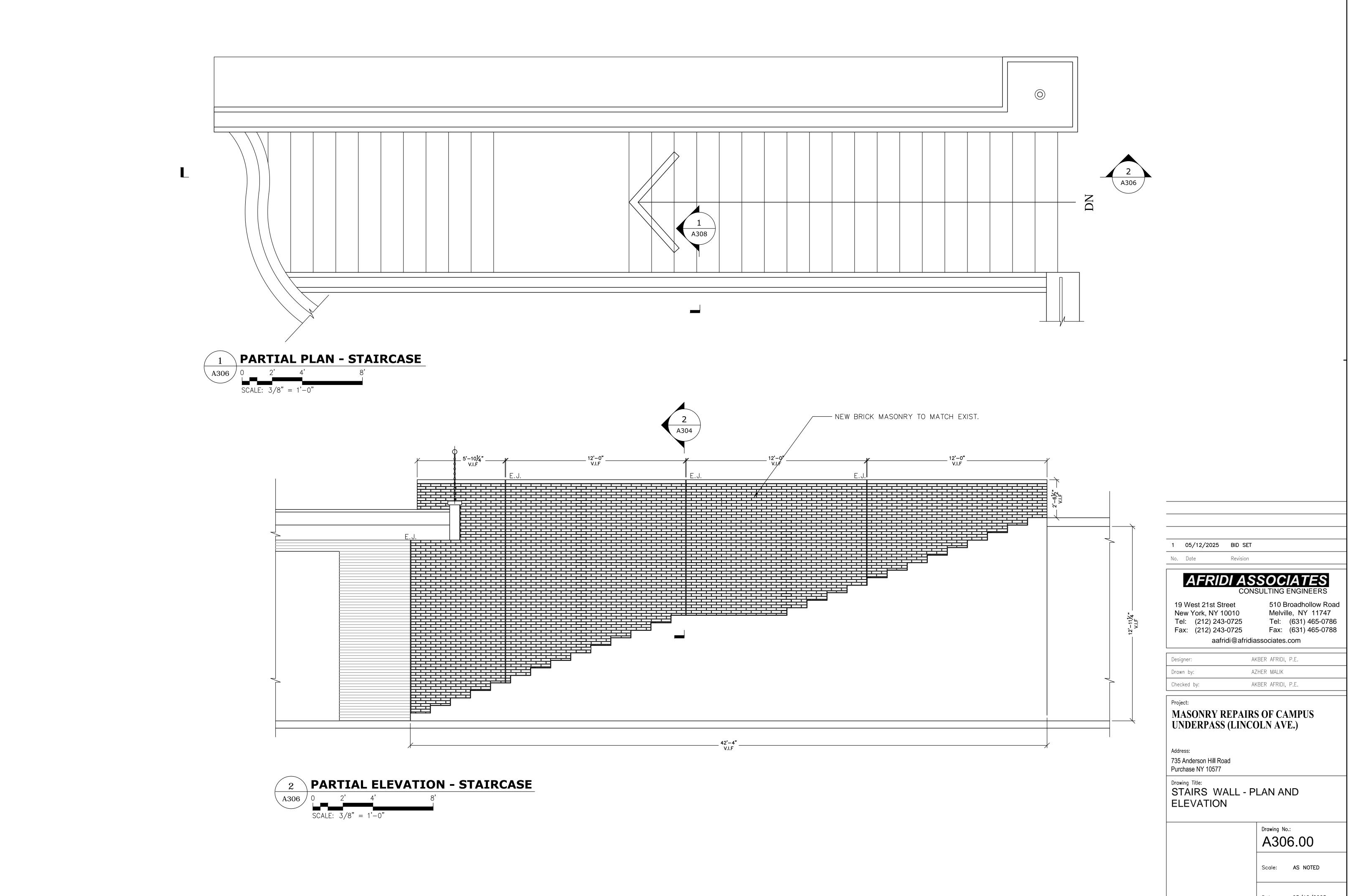
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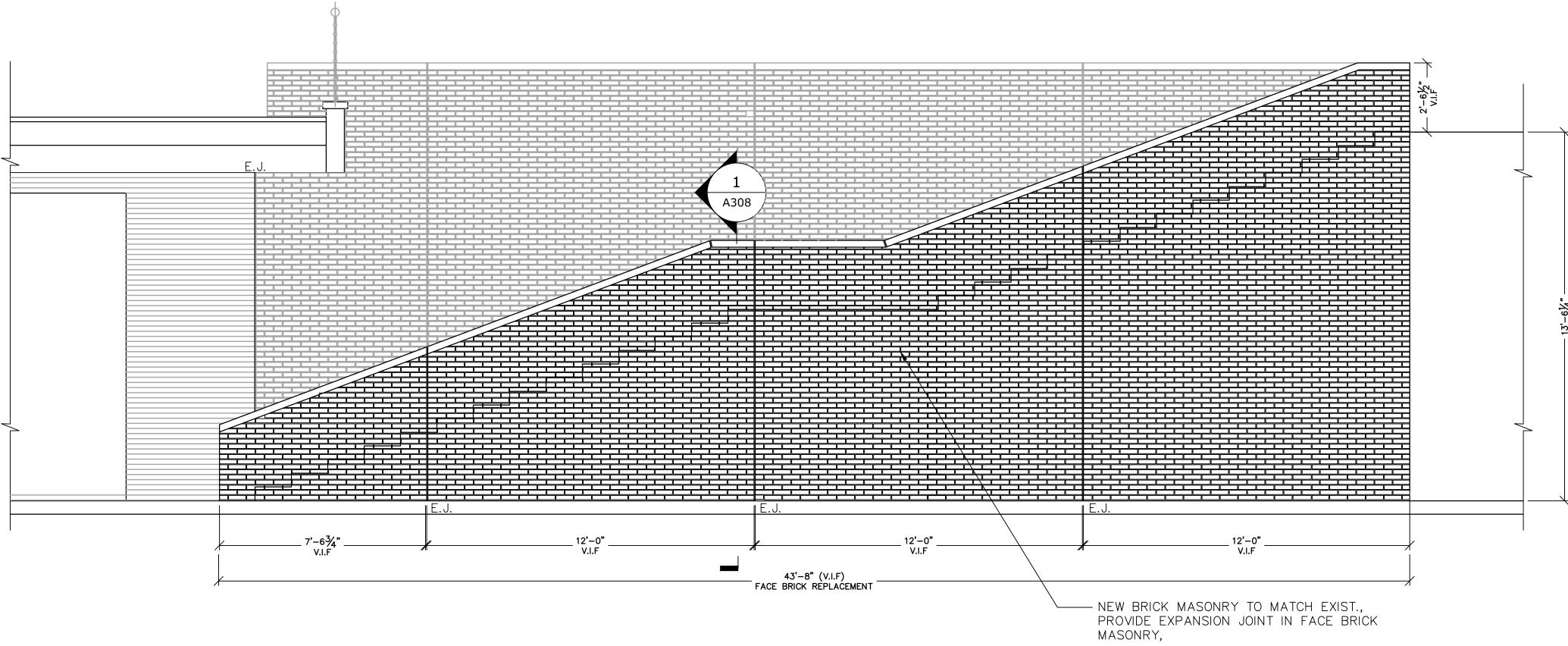


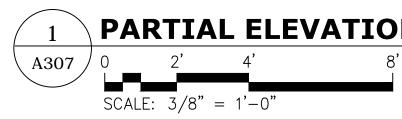




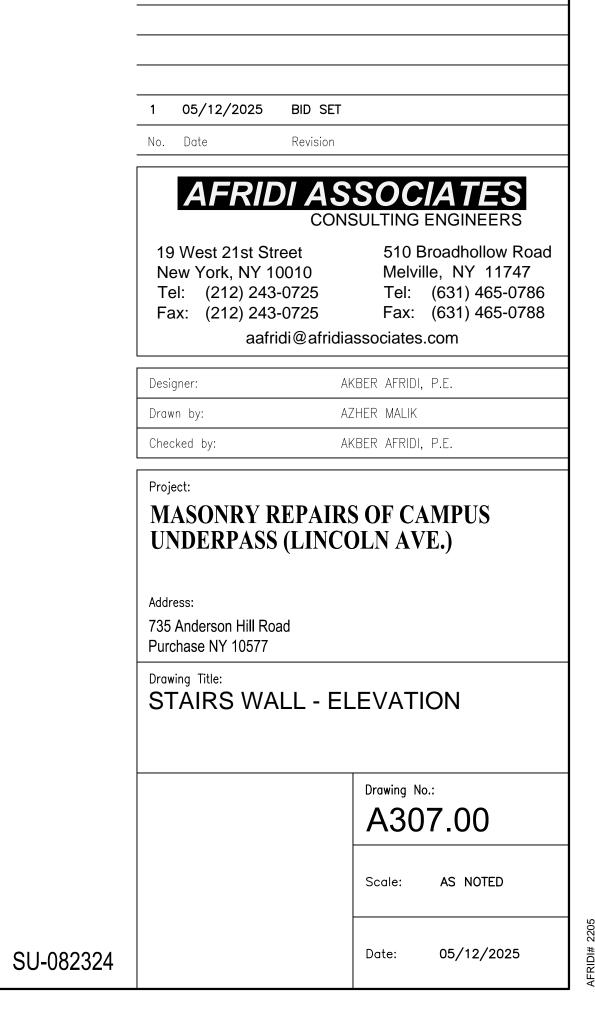
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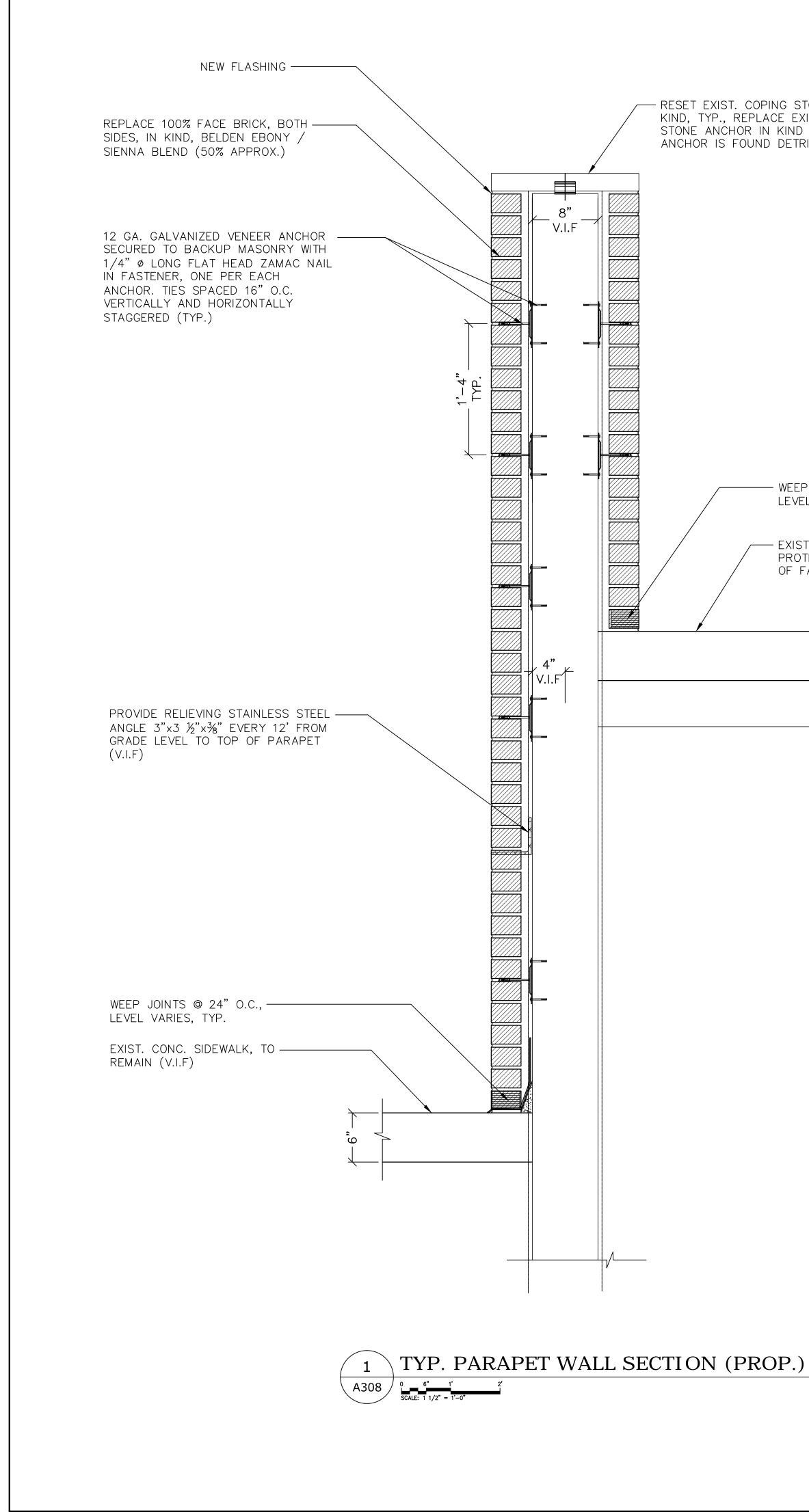
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PARTIAL ELEVATION - STAIRCASE CHEEK WALL





- RESET EXIST. COPING STONE IN KIND, TYP., REPLACE EXIST. STONE ANCHOR IN KIND IF EXIST. ANCHOR IS FOUND DETRIORATED

> - WEEP JOINTS @ 24" O.C., LEVEL VARIES, TYP.

EXIST. STAIR LANDING, TO REMAIN PROTECTED DURING REPLACEMENT OF FACE BRICK MASONRY

_	1 05/12/2025	BID SET		
-	No. Date	Revision		
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	Checked by:	AKBEI	r afridi,	P.E.
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