

# MASONRY REPAIRS OF CAMPUS UNDERPASS (LINCOLN AVE.)

PROJECT # SU-082324

## SUNY PURCHASE COLLEGE

735 ANDERSON HILL ROAD  
PURCHASE NY 10577

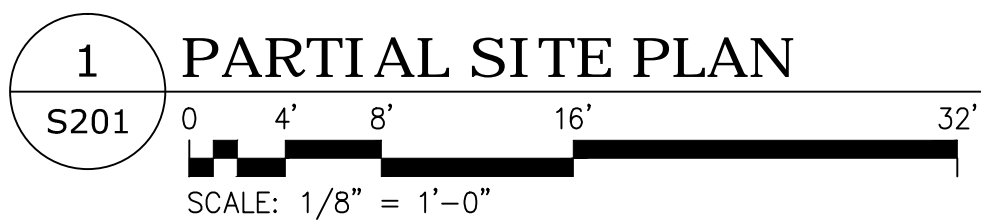
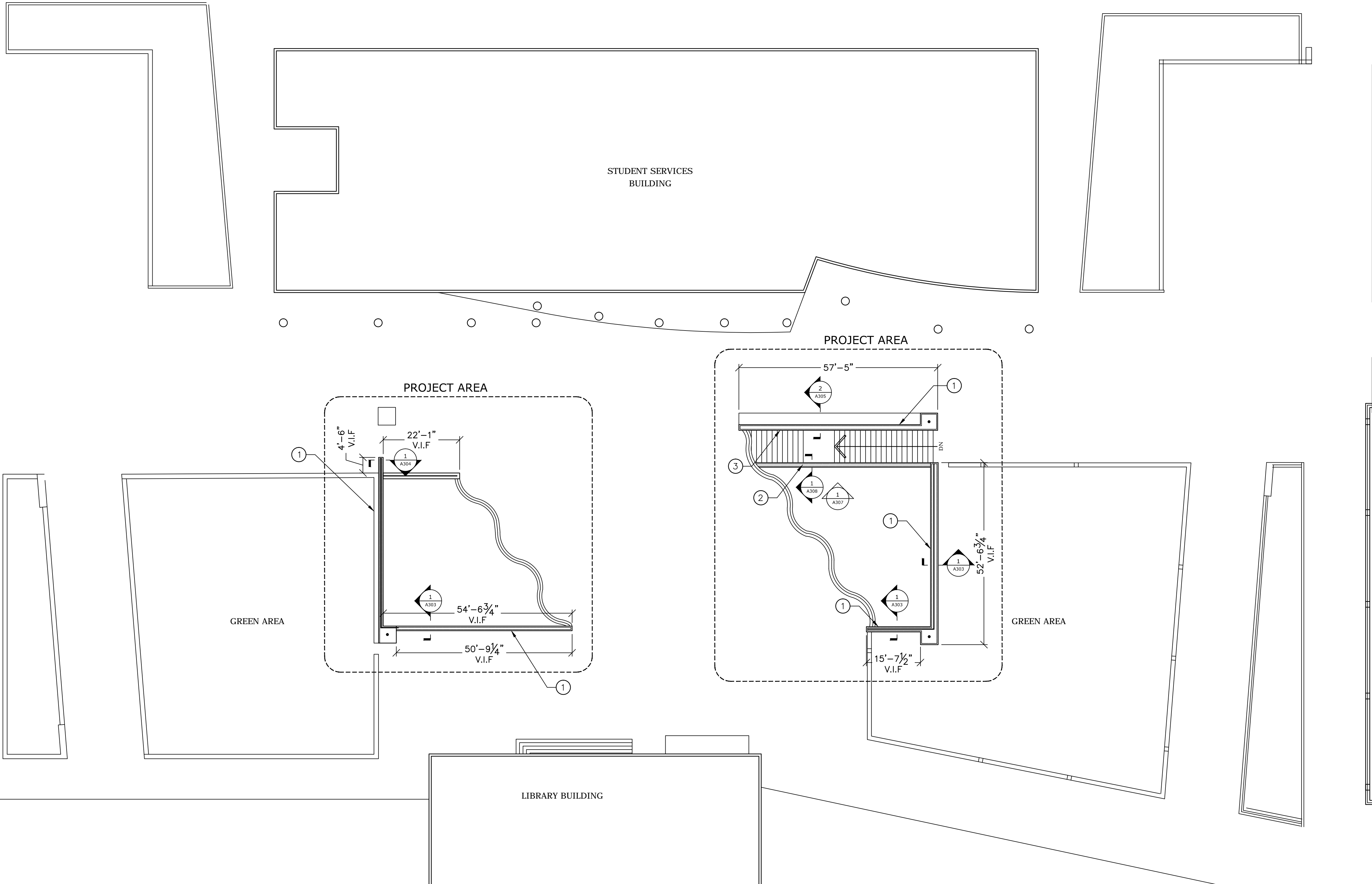
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SCOPE OF WORK

1. REMOVAL AND REPLACEMENT OF EXIST. PARAPET FACE BRICK MASONRY AND WATERPROOFING OF BACKUP WALL.
2. REMOVAL AND REPLACEMENT OF EXIST. FACE BRICK FROM THE STAIRCASE CHEEK WALL.
3. REMOVAL AND REPLACEMENT OF EXIST. FACE BRICK FROM STAIRCASE SIDE WALL.

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Checked by: AKBER AFRIDI, P.E.

Project:  
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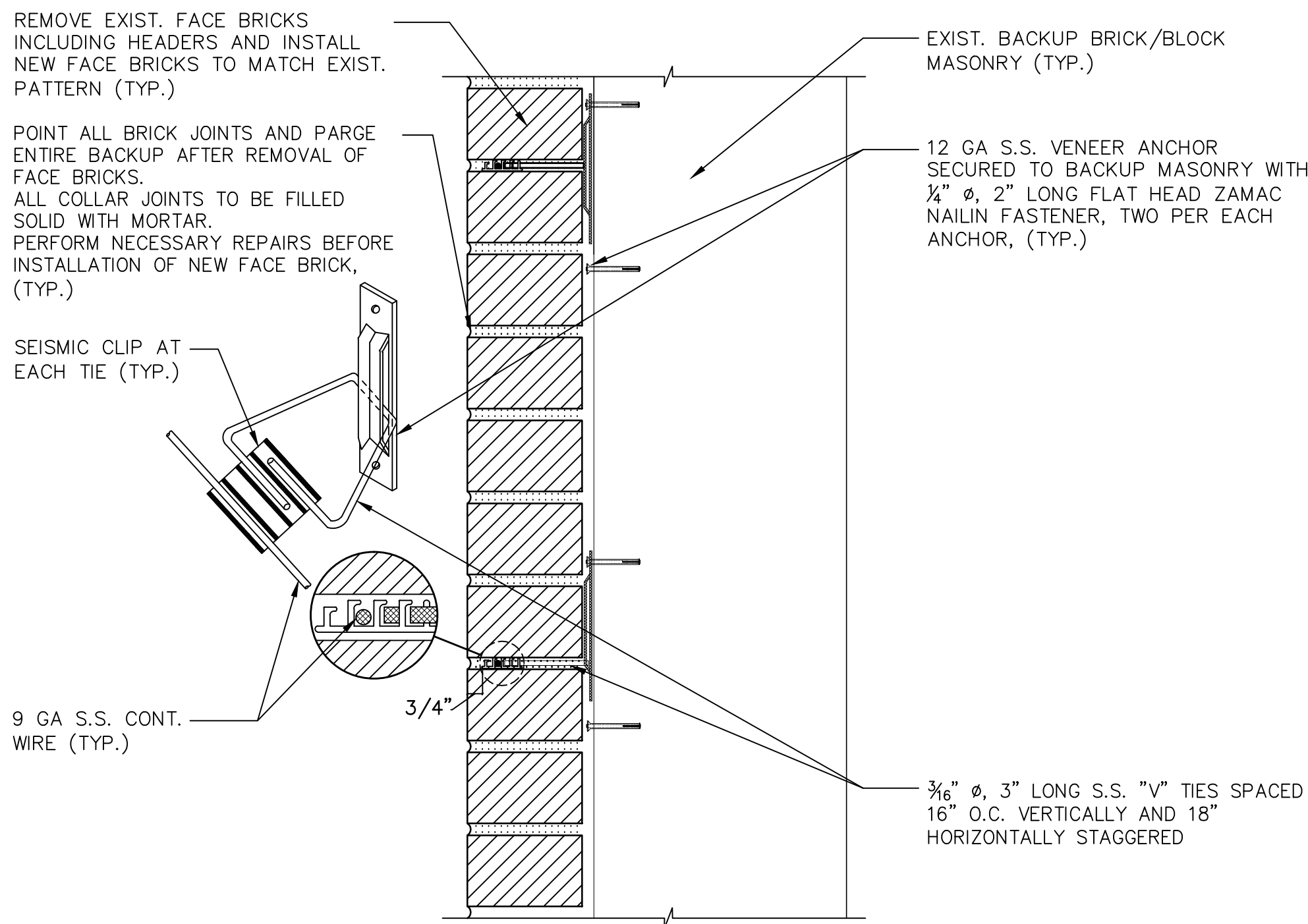
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**SITE PLAN**

Drawing No.:  
**A201.00**

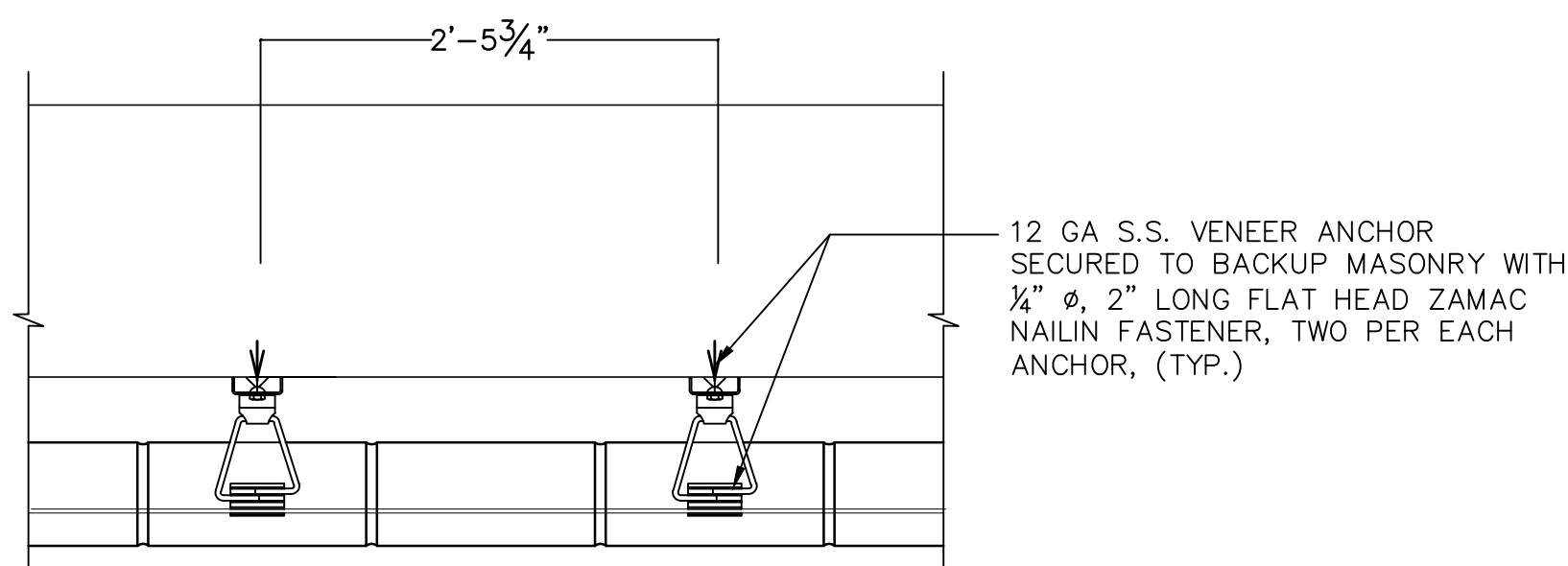
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Date: 05/12/2025

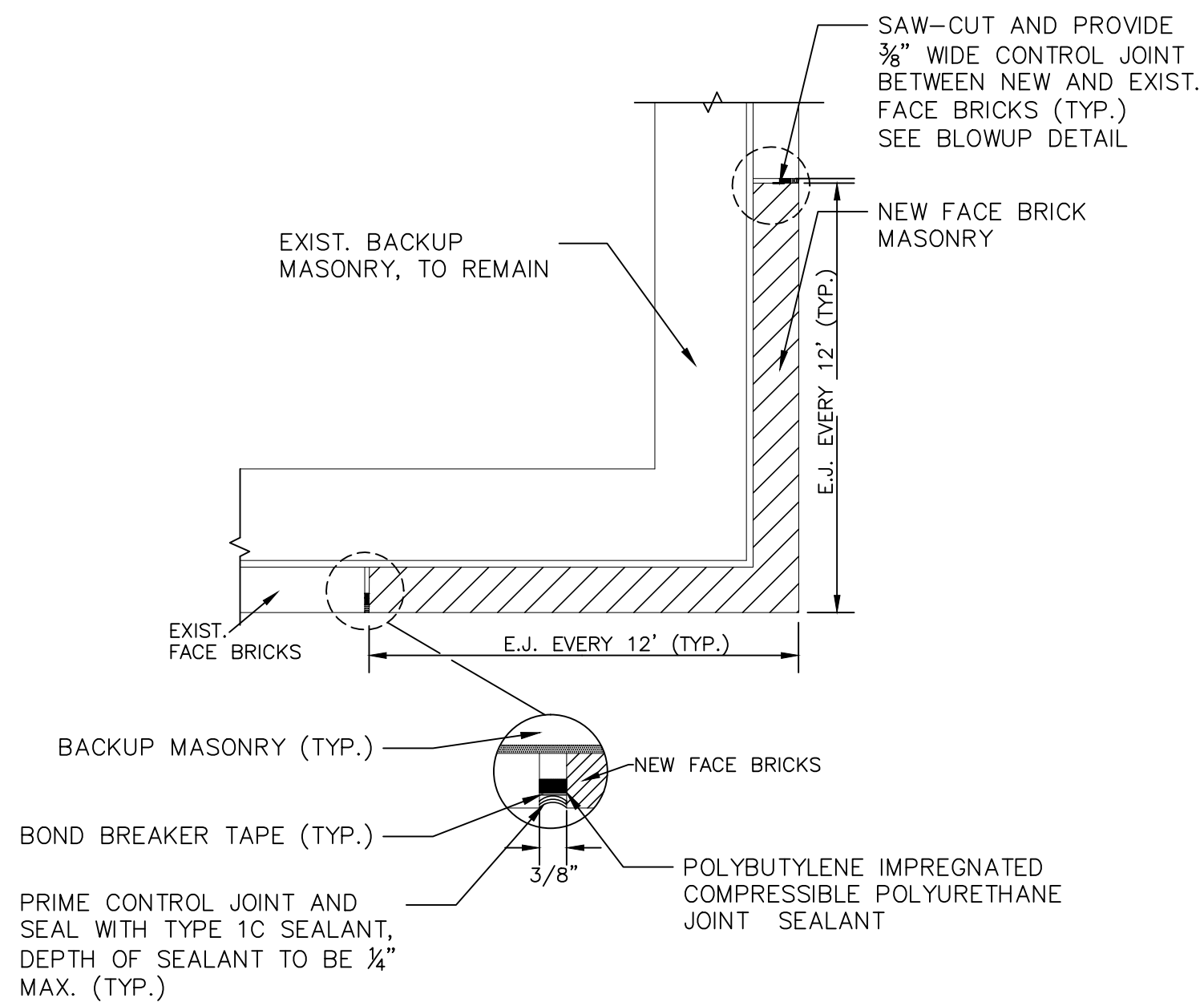
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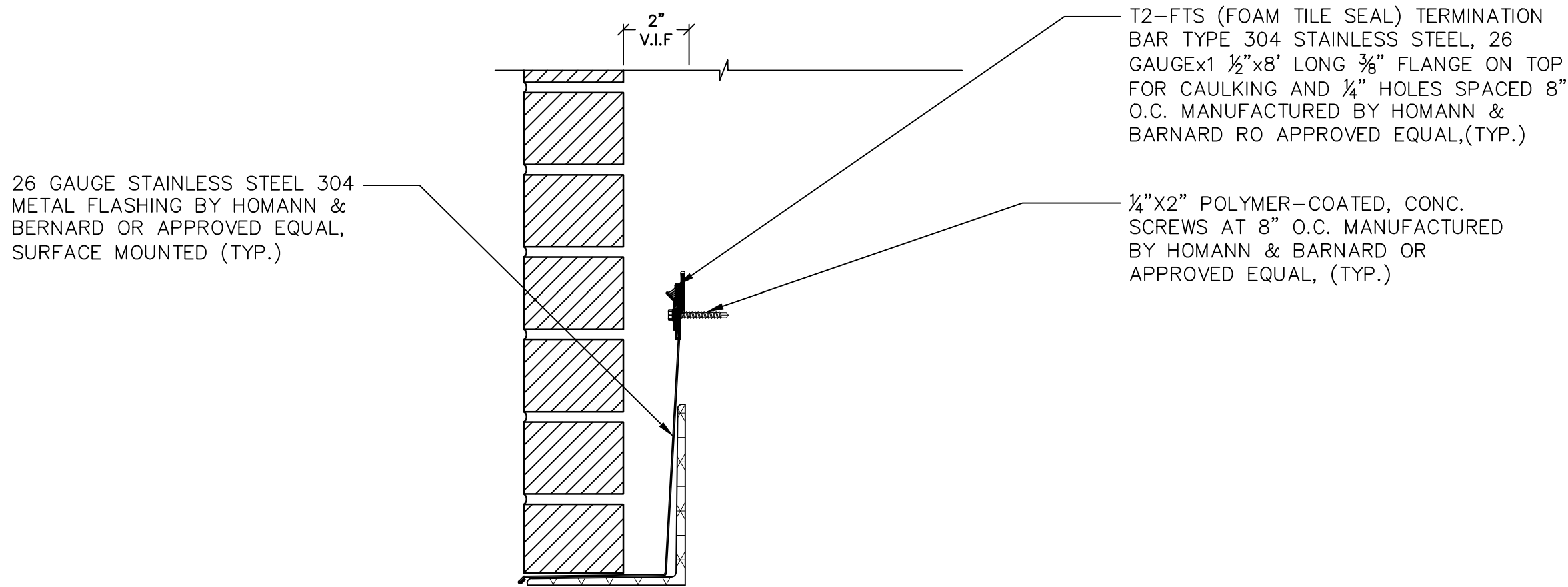
1 TYP. DETAIL  
A301 FACE BRICK SEISMIC TIES  
SCALE: N.T.S.



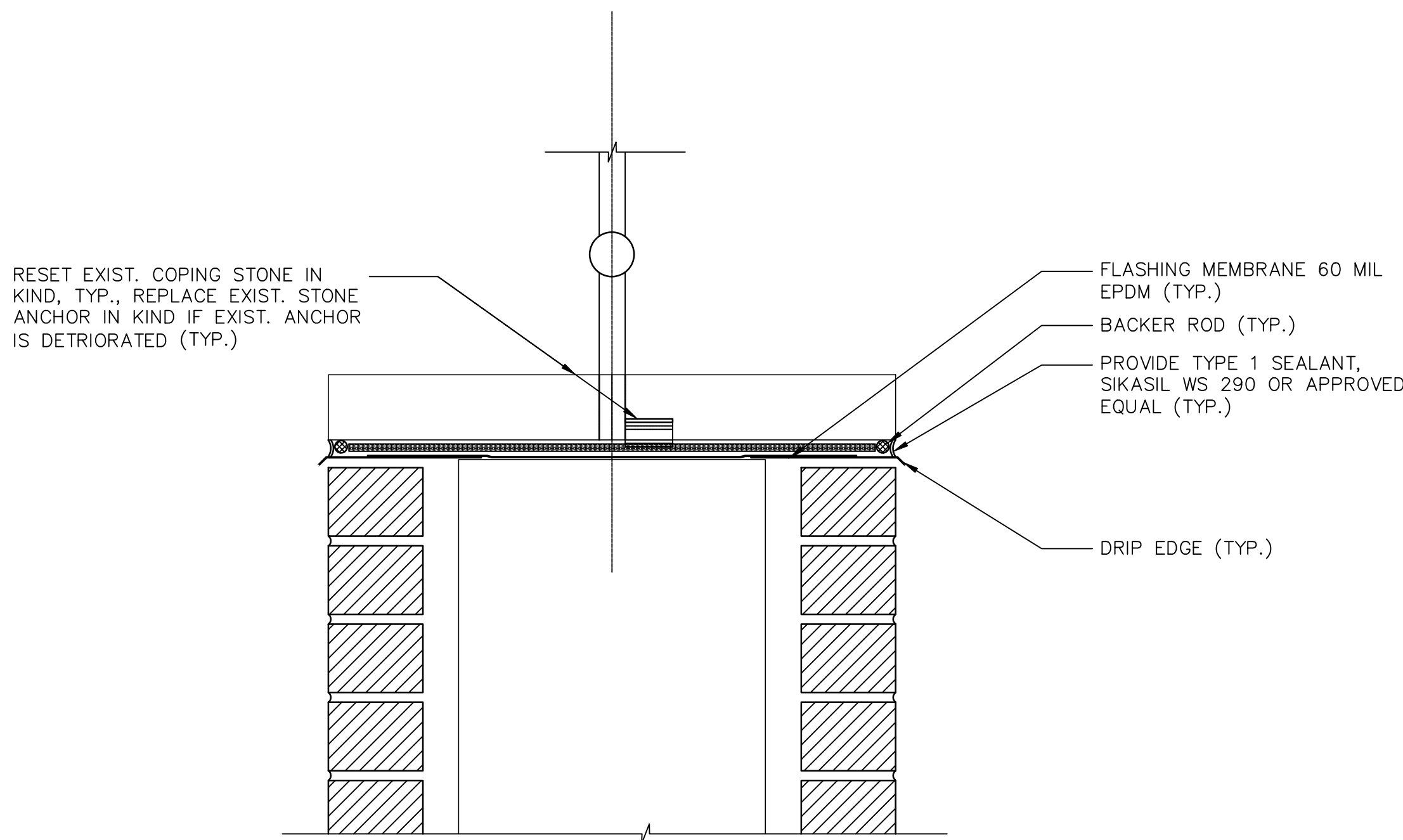
2 TYP. DETAIL - SEISMIC TIES  
A301 SCALE: N.T.S.



3 TYP. DETAIL  
A301 FACE BRICK CONTROL JOINT  
SCALE: N.T.S.



4 TYP. DETAIL - METAL FLASHING  
A301 SCALE: N.T.S.



5 TYP. DETAIL  
A301 REINSTALLATION OF EXIST. COPING STONE  
SCALE: N.T.S.

CONCRETE REPAIR NOTES:

- WHERE DETERIORATED OR LOOSE, REINFORCEMENT BARS ARE EXPOSED THEY MUST BE CUT AND REMOVED SAFELY.
- CONTRACTOR TO CHIP AWAY ANY LOOSE CONCRETE, WIRE BRUSH CLEAN THE REMAINING REINFORCEMENT.
- PATCH AND REPAIR EXIST. CONC. BY EPOXY INJECTION AS SHOWN ON DWGS.

LEGEND:

- REPLACE EXISTING BRICK W/ NEW TO MATCH
- EXISTING BRICK TO REMAIN
- EXISTING BRICK TO REMOVE
- MACHINE TOOL CLEAN TO SP3-SP3 SURFACE PREP, PRIME AND PAINT EXISTING STEEL MEMBER

NOTES:

- NOTIFY E.O.R. FOR ANY DISCREPANCY FOUND BETWEEN DRAWINGS AND FIELD CONDITIONS.
- GROUT SHALL BE SIKA GROUT 212 CEMENTATIOUS HIGH PERFORMANCE OR APPROVED EQUAL.
- CONTRACTOR TO FIELD VERIFY THE LOCATION OF EXISTING STONE, AND MASONRY ANCHORS USED FOR THE INSTALLATION OF BRICK MASONRY AND COPING STONE.
- FOR EXPANSION JOINTS AND JOINTS BETWEEN DIFFERENT MATERIALS FOLLOW "JOINT SEALERS" SPECS.
- CONTRACTOR TO PROVIDE A COMPLETE PHOTOGRAPHIC DOCUMENTATION OF EXIST. FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- G.C. TO FOLLOW MANUFACTURER'S INSTRUCTIONS FOR SURFACE PREPARATION AND GROUT APPLICATION.
- BOND PATTERN SHOWN IN DETAIL IS FOR ILLUSTRATION PURPOSES ONLY. ACTUAL BOND PATTERN SHALL BE MATCHING TO EXIST.
- EXIST. ROOFING TO BE PROTECTED DURING REPLACEMENT OF PARAPETS WATERPROOFING AND FACE BRICK, DO NOT REMOVE BRICK BELOW PLAZA LEVEL (TYP.).

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No.	Date	Revision

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Checked by:	AKBER AFRIDI, P.E.

Project:  
**MASONRY REPAIRS OF CAMPUS UNDERPASS (LINCOLN AVE.)**

Address:  
735 Anderson Hill Road  
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Drawing Title:  
**TYPICAL DETAILS  
INSTALLATION OF FACE BRICK  
MASONRY**

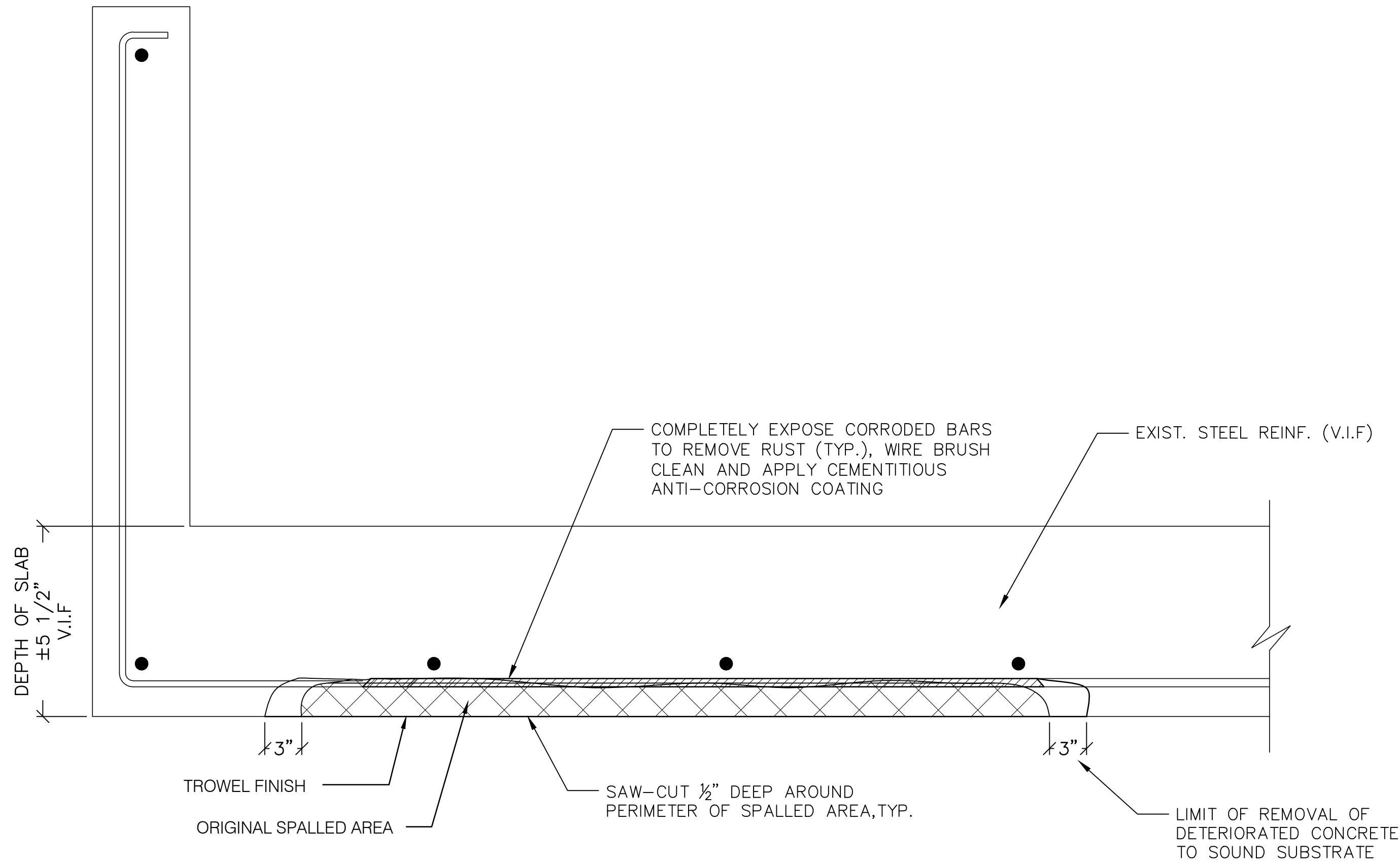
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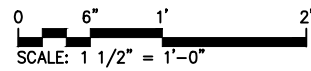
Scale: AS NOTED

Date: 05/12/2025

SU-082324



1 EXIST. CONC. SLAB/PARAPET WALL SECTION  
A302



EXIST. CONCRETE SLAB REPAIR

1. SOUND CONCRETE AREA WITH 3 LBS. SOUNDING HAMMER. REMOVE ALL LOOSE AND DETERIORATED CONCRETE BY HAMMER AND HAND-HELD POINTED TOOLS UNTIL SOUND CONCRETE SURFACE IS EXPOSED.
2. CLEAN ALL AREAS TO BE PATCHED INCLUDING REINFORCEMENT BARS USING WIRE BRUSH.
3. VACUUM CLEAN AND PREPARE THE CAVITY AS PER PATCHING COMPOUND MANUFACTURER'S INSTRUCTIONS.
4. PAINT ALL CLEANED STEEL REINFORCEMENT BARS WITH CEMENTITIOUS ANTI-CORROSION COATING IMMEDIATELY AFTER CLEANING.
5. APPLY BONDING AGENT TO THE AREAS TO BE PATCHED AS PER MANUFACTURER'S INSTRUCTIONS.
6. TROWEL THE PATCHING COMPOUND ONTO THE CONCRETE AREA TO BE RECONSTRUCTED IN LAYERS AS PER MANUFACTURER'S RECOMMENDATIONS. THE NUMBER OF LAYERS AND THICKNESS SHALL VARY ACCORDING TO THE DEPTH AND EXTENT OF THE CAVITY TO BE RECONSTRUCTED. THE FINAL LAYER SHALL BE CAREFULLY TOOLED FLUSH AND SMOOTH WITH THE ADJACENT EXISTING SURFACES.
7. CURE REPAIRED SURFACES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
8. APPLY TWO COATS OF ACRYLIC MODIFIED CEMENTITIOUS COATING OVER THE CONCRETE SURFACES AS PER MANUFACTURER'S RECOMMENDATIONS.

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Drawing Title:  
**CONCRETE REPAIR DETAILS**

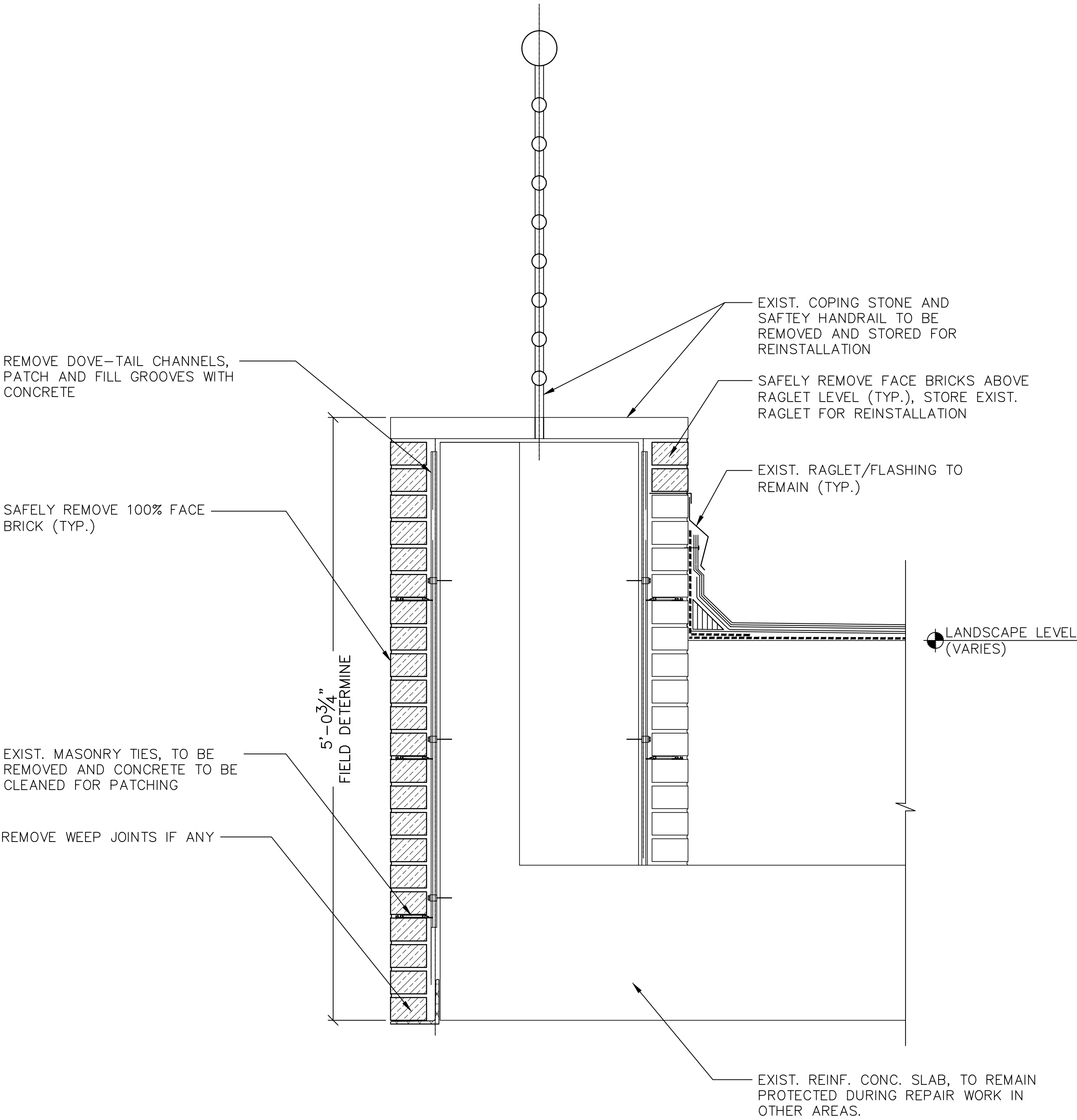
Drawing No.:  
**A302.00**

Scale: AS NOTED

Date: 05/12/2025

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- NOTES:
- DO NOT REMOVE BRICK BELOW PLAZA LEVEL (TYP.).
  - DO NOT REMOVE EXISTING WATERPROOFING.

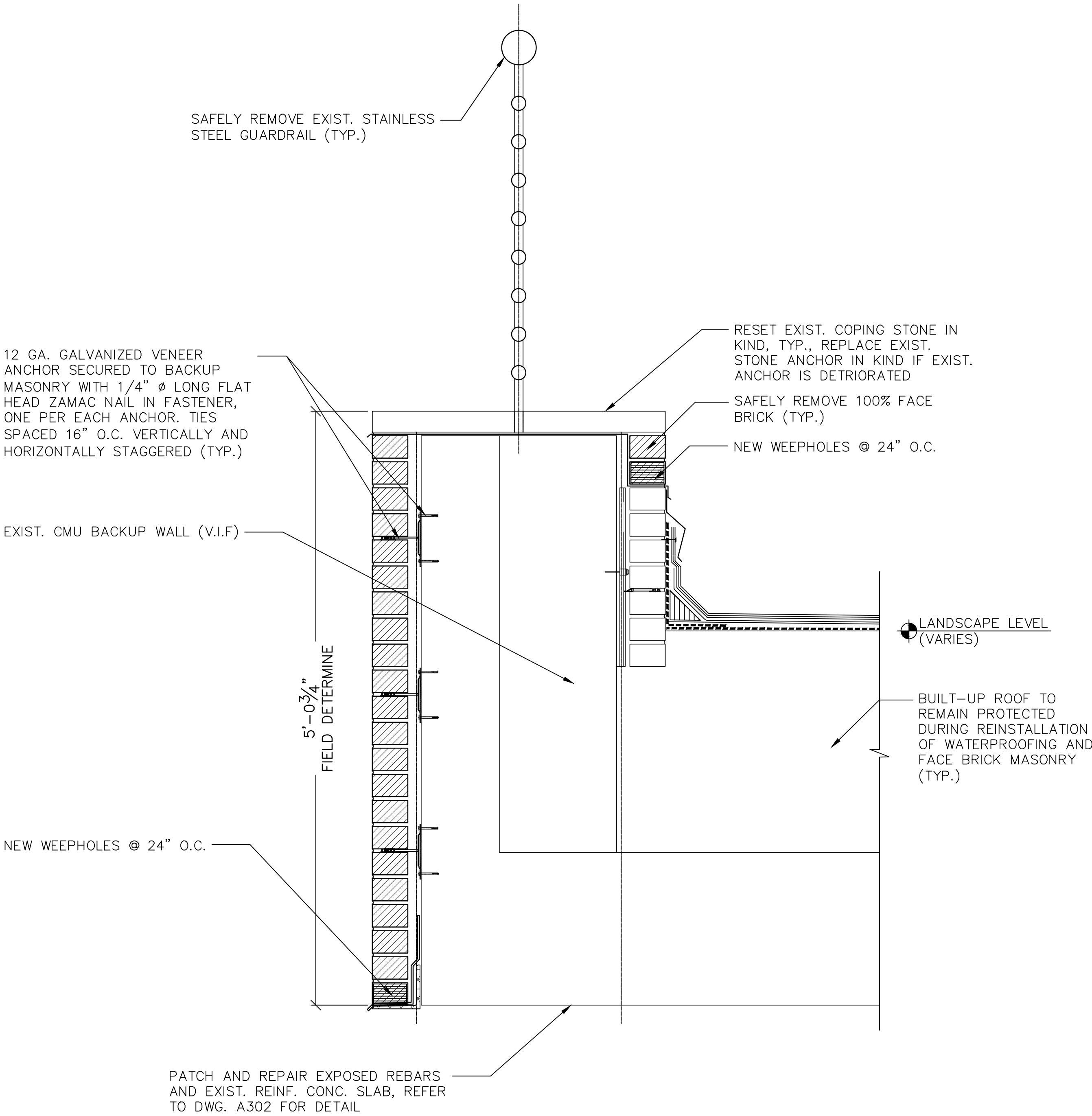


1 EXIST. PARAPET WALL SECTION - A

A303

0' 6" 1' 2'

SCALE: 1 1/2" = 1'-0"



2 PROP. PARAPET WALL SECTION - A

A303

0' 6" 1' 2'

SCALE: 1 1/2" = 1'-0"

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Drawing Title:  
**PARAPET WALL SECTION  
DETAIL - 1**

Drawing No.:  
**A303.00**

Scale: AS NOTED

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SAFELY REMOVE EXIST. STAINLESS  
STEEL GUARDRAIL (TYP.)

SAFELY REMOVE 100% FACE  
BRICK (TYP.)

EXIST. MASONRY TIES, TO BE  
REMOVED AND CONCRETE TO BE  
CLEANED FOR PATCHING

WEEP JOINTS @ 24" O.C.

RESET EXIST. COPING STONE IN  
KIND, TYP., REPLACE EXIST.  
STONE ANCHOR IN KIND IF EXIST.  
ANCHOR IS DETRIORATED

SAFELY REMOVE 100% FACE  
BRICK (TYP.)

EXIST. STRUCTURAL STEEL  
ENCASEMENT TO REMAIN  
PROTECTED DURING REPAIR  
WORK IN OTHER AREAS.

INSPECT AND REPORT IF EXIST.  
SHELF ANGLE NEED TO BE  
REPLACED (TYP.)

1 EXIST. PARAPET WALL SECTION - B  
A304  
SCALE: 1 1/2" = 1'-0"

REINSTALL IN KIND STAINLESS  
STEEL GUARD RAILING, CAULK  
JOINTS IN MATCHING COLOR (TYP.)

NEW FLASHING, REFER TO  
DETAIL ON DWG. A301

REPLACE 100% FACE BRICK, BOTH  
SIDES, IN KIND, BELDEN EBONY /  
SIENNA BLEND (50% APPROX.)

12 GA. GALVANIZED VENEER  
ANCHOR SECURED TO BACKUP  
MASONRY WITH 1/4" Ø LONG FLAT  
HEAD ZAMAC NAIL IN FASTENER,  
ONE PER EACH ANCHOR. TIES  
SPACED 16" O.C. VERTICALLY AND  
HORIZONTALLY STAGGERED (TYP.)

WEEP JOINTS @ 24" O.C.

RESET EXIST. COPING STONE IN  
KIND, TYP., REPLACE EXIST.  
STONE ANCHOR IN KIND IF EXIST.  
ANCHOR IS DETRIORATED

EXIST. STRUCTURAL STEEL  
ENCASEMENT TO REMAIN  
PROTECTED DURING REPAIR  
WORK IN OTHER AREAS.

COMPLETELY MACHINE TOOL CLEAN  
TO SSPC-SP3 SURFACE PREP, PRIME  
AND PAINT REACHABLE AREAS OF  
SHELF ANGLE, TYP.

2 TYP. PARAPET WALL SECTION (PROP.)  
A304  
SCALE: 1 1/2" = 1'-0"

NOTES:

- DO NOT REMOVE BRICK BELOW  
PLAZA LEVEL (TYP.).
- DO NOT REMOVE EXISTING  
WATERPROOFING.

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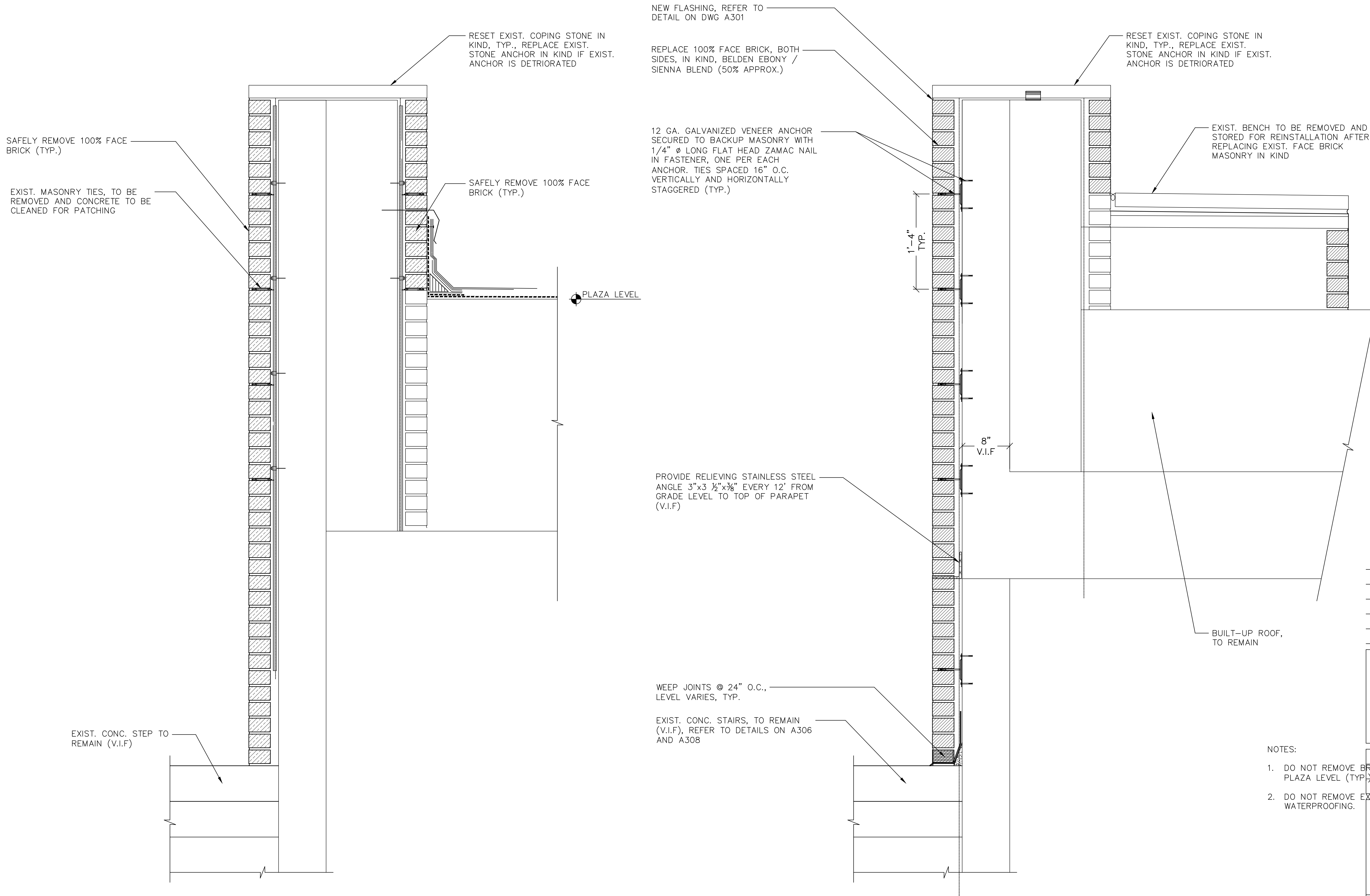
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**PARAPET WALL SECTION  
DETAIL - 2**

Drawing No.:  
**A304.00**

Scale: AS NOTED

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1 EXIST. PARAPET WALL SECTION - C

2 TYP. PARAPET WALL SECTION (PROP.)

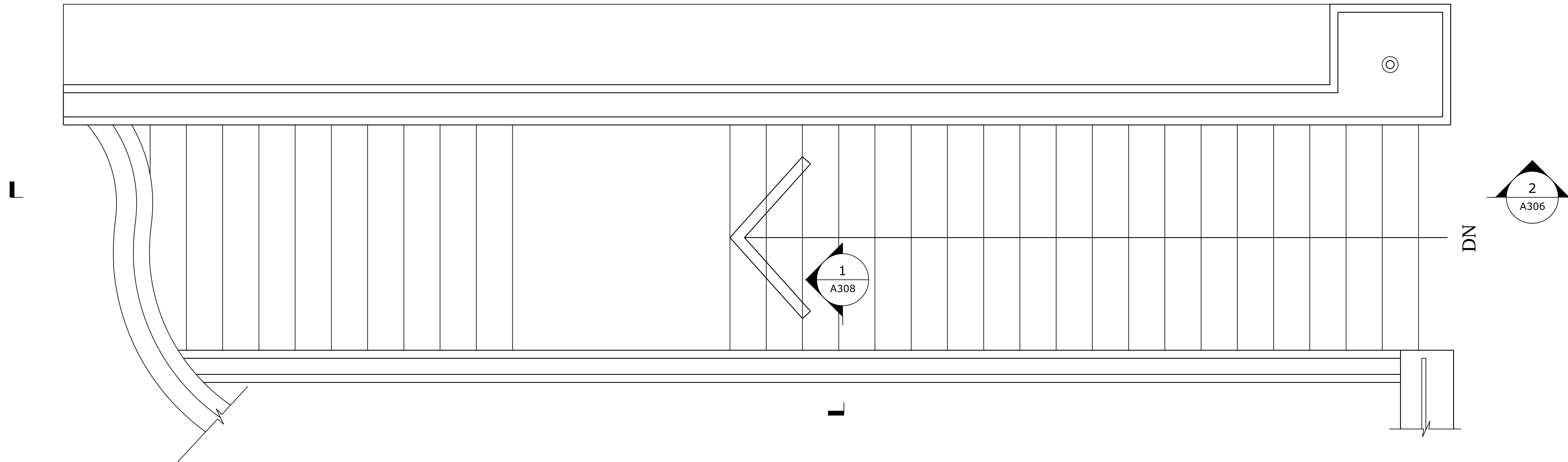
NOTES:

- DO NOT REMOVE BRICK BELOW PLAZA LEVEL (TYP.)
- DO NOT REMOVE EXISTING WATERPROOFING.

1 05/12/2025 BID SET	
No.	Date Revision
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Checked by: AZHER MAUK	
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Project: MASONRY REPAIRS OF CAMPUS UNDERPASS (LINCOLN AVE.)	
Address: 735 Anderson Hill Road Purchase NY 10577	
Drawing Title: PARAPET WALL SECTION DETAIL - 3	
Drawing No.: A305.00	
Scale: AS NOTED	
Date: 05/12/2025	

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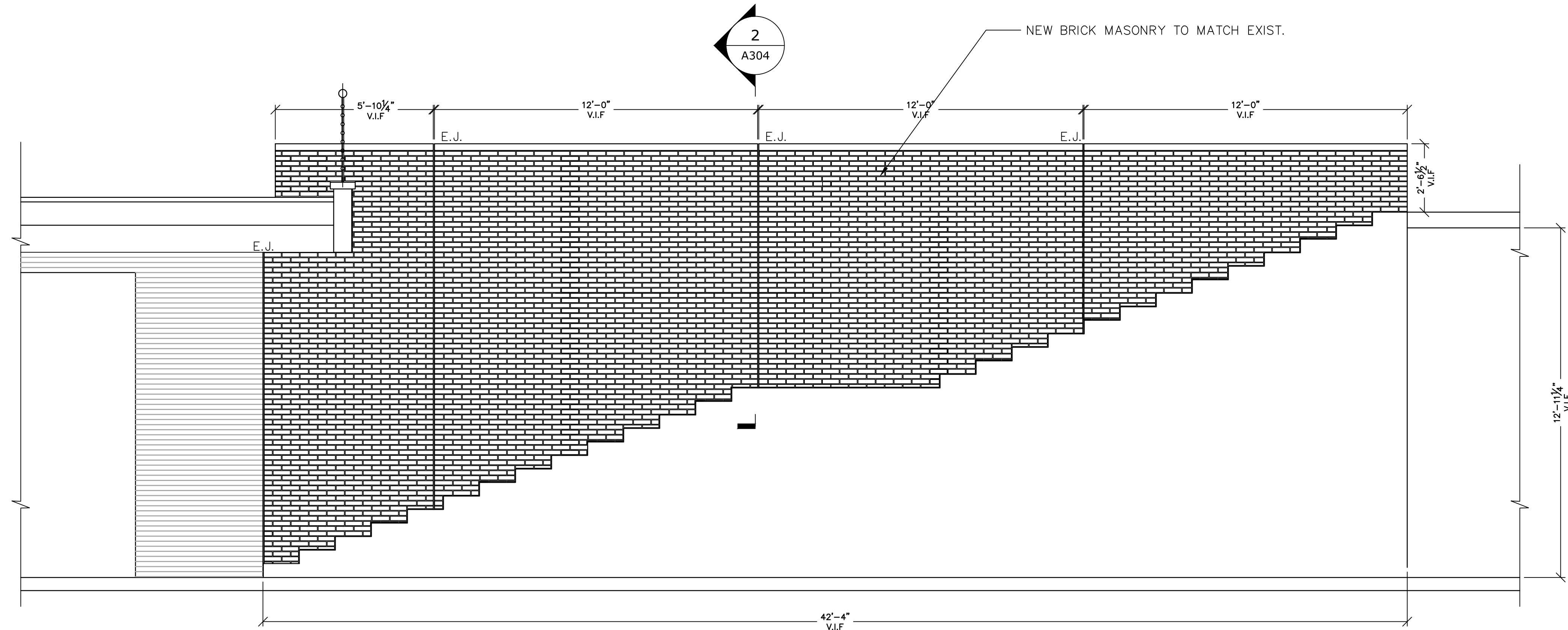


1  
A306

**PARTIAL PLAN - STAIRCASE**

0 2' 4' 8'

SCALE: 3/8" = 1'-0"



2  
A306

**PARTIAL ELEVATION - STAIRCASE**

0 2' 4' 8'

SCALE: 3/8" = 1'-0"

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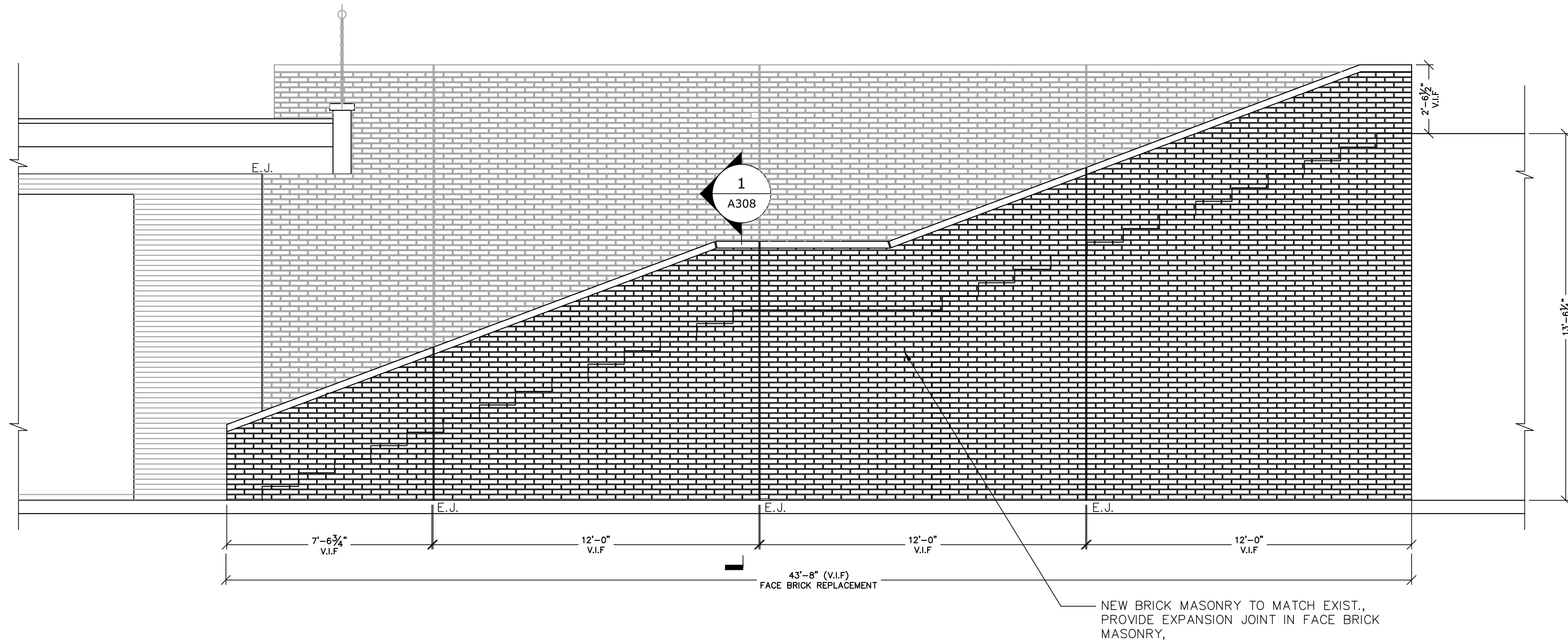
Drawing Title:  
**STAIRS WALL - PLAN AND  
ELEVATION**

Drawing No.:  
**A306.00**

Scale: AS NOTED

Date: 05/12/2025

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**1**  
A307

**PARTIAL ELEVATION - STAIRCASE CHEEK WALL**

0 2' 4' 8'

SCALE: 3/8" = 1'-0"

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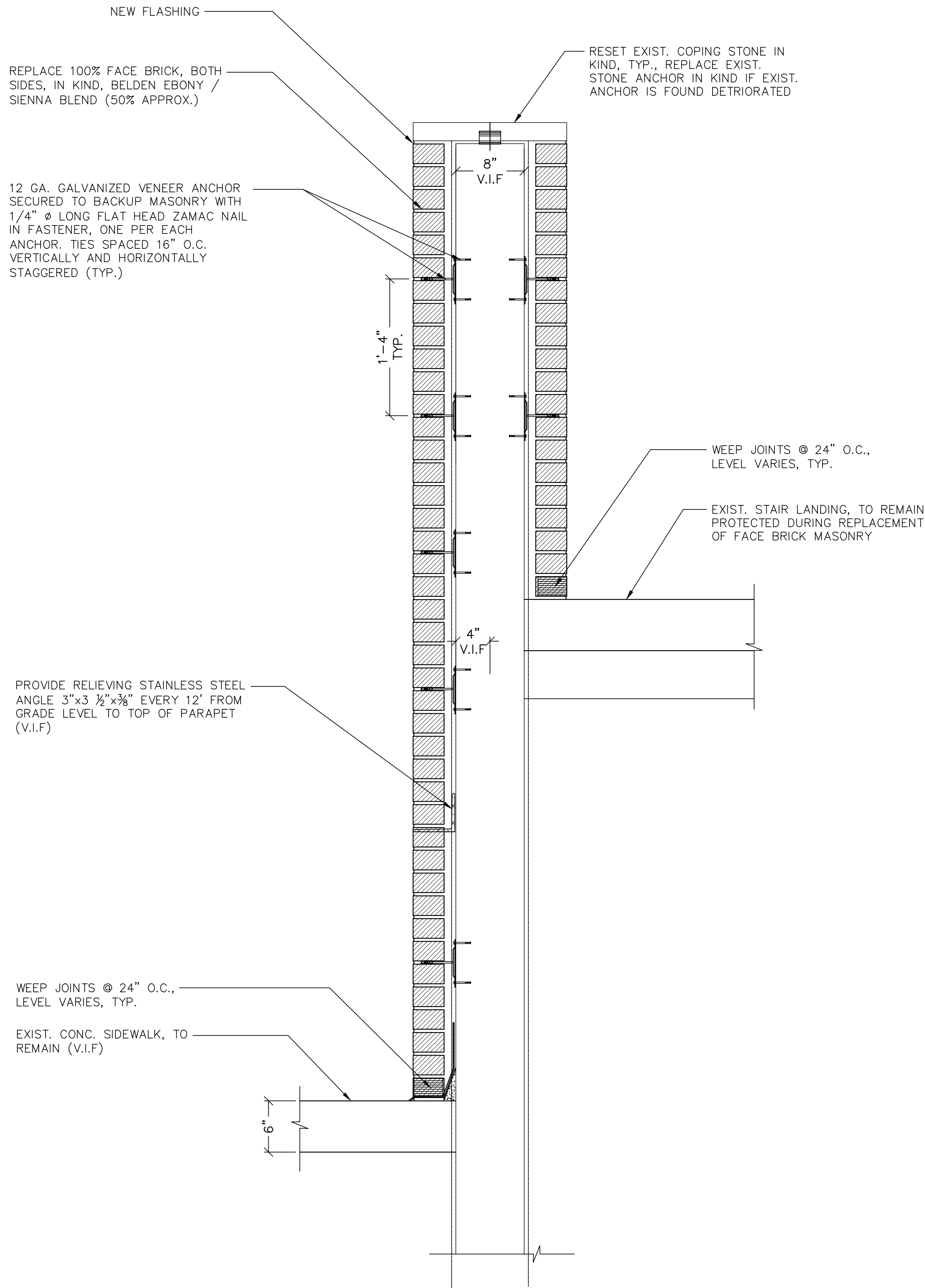
Drawing Title:  
**STAIRS WALL - ELEVATION**

Drawing No.:  
**A307.00**

Scale: AS NOTED

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1 TYP. PARAPET WALL SECTION (PROP.)

A308

0 6" 1' 2'

SCALE: 1 1/2" = 1'-0"

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Drawing Title:  
**STAIRS WALL - SECTION DETAIL**

Drawing No.:  
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