

INTERIOR RENOVATIONS OF ALUMNI VILLAGE APARTMENTS 10.1 (ADA COMPLIANT) & 10.3

PROJECT # SU-040623

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SYMBOL LEGEND

--- EXIST. STUD WALL
--- TO BE DEMOLISHED

--- EXIST. STUD WALL
--- TO REMAIN

NEW STUD WALL

EXIST. DRY WALL

NEW DRY WALL

DRYWALL TO BE
COMPLETELY REMOVED

NEW PORCELAIN
FLOOR TILES

PLYWOOD

PLAN / DETAIL DESIGNATION

DETAIL REF. NUMBER
SHEET NUMBER

ELEVATION DESIGNATION

ELEVATION REF. NUMBER
SHEET NUMBER

SECTION DESIGNATION

SECTION REF. NUMBER
SHEET NUMBER

INTERIOR ELEVATION
DESIGNATION

ROOM NO.
ROOM NAME &
NUMBER

OPENINGS DESIGNATION

DOOR NUMBER

WINDOW REF.
NUMBER

EXISTING DOOR
TO BE REMOVED

EXISTING DOOR
TO REMAIN

NEW DOOR

GENERAL NOTES

- ALL WORK OF THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF NEW YORK STATE BUILDING CODE, AND REGULATIONS OF OTHER AGENCIES HAVING JURISDICTION ON THE WORK OF THIS CONTRACT.
- WHERE DIMENSIONS ARE INDICATED, DIMENSIONS GOVERN OVER SCALE. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR PRIOR TO ORDERING ANY MATERIAL OR COMMENCING ANY WORK. ANY DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE EIC. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS ACCEPTED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. NO WORK SHALL PROCEED UNTIL SUCH DISCREPANCY HAS BEEN RECTIFIED.
- ALL WORK ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK WHETHER STATED OR NOT EXCEPT WHERE SPECIFICALLY NOTED AS "EXISTING TO REMAIN".
- COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.
- THE CONTRACTOR SHALL DISCONNECT AND/OR REMOVE ANY EXISTING PLUMBING, ELECTRICAL FIXTURES, WIRE CONDUITS, OR OTHER WORK WHICH MIGHT INTERFERE WITH THE WORK OF THIS CONTRACT. AFTER NEW WORK IS COMPLETED, THE DISCONNECTED OR REMOVED ITEMS SHALL BE REINSTALLED BY THE CONTRACTOR AT THE SAME LOCATION OR AT NEW LOCATION AS DIRECTED. FURNISH ALL NECESSARY NEW MATERIALS/HARDWARE FOR COMPLETION OF WORK.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED OR EXPOSED SURFACES DUE TO CONTRACT WORK. ALL NEWLY INSTALLED, PATCHED WORK AND ALL AFFECTED AREAS SHALL BE PAINTED. ALL PAINTING WORK SHALL BE PERFORMED TO COVER THE ENTIRE HORIZONTAL OR VERTICAL SURFACE TO THE CLOSEST CORNER IN ALL FOUR DIRECTIONS. COLOR TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL NEW MATERIALS AT NO ADDITIONAL COST TO SUNY PURCHASE, ON THE FOLLOWING CONDITIONS:
 - ANY EXISTING WORK THAT HAS BEEN REMOVED OR DAMAGED IN ORDER TO PERFORM THE CONTRACT WORK.
 - TO FURNISH THE WORK OF THIS CONTRACT IN WORKMANLIKE MANNER.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.

- THE CONTRACTOR SHALL INCLUDE ALL PREPARATORY AND ASSOCIATED SUPPLEMENTARY WORK TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
- WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHMENT OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.

- SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE.
- PROVIDE GUARDS, RAILS, BARRICADES, FENCES, SIDEWALK SHEDS, CATCH PLATFORMS, DECKING, NIGHT LIGHTING, ETC., AS REQUIRED BY THE NEW YORK STATE BUILDING CODE, SECTION 3302 AND 3306 AS REQUIRED TO PROVIDE ADEQUATE PROTECTION.

- THE CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES. SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.

- THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS FROM ALL ADJACENT SPACES INTO THE EXISTING FIRE STAIRS TO OUTSIDE OF THE BUILDING AT ALL TIMES.
- THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR REQUIRED INSPECTIONS, PERMIT(S), FEES, LICENSE AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

- THE CONTRACTOR SHALL EXAMINE AND VERIFY IN THE FIELD ALL EXISTING AND GIVEN CONDITIONS AND DIMENSIONS WITH THOSE SHOWN ON THE CONTRACT DOCUMENTS. IF THE FIELD CONDITIONS AND DIMENSIONS DIFFER FROM THOSE SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ALL FIELD CONDITIONS AND DIMENSIONS SHALL BE SO NOTED ON THE DRAWINGS AND SUBMITTED FOR APPROVAL.

- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT, DUE TO THE NATURE OF THIS PROJECT, THE EXACT EXTENT OF WORK CAN NOT ALWAYS BE ACCURATELY DETERMINED PRIOR TO THE COMMENCEMENT OF THE WORK. THE CONTRACT DOCUMENTS HAVE BEEN PREPARED BASED ON FIELD INSPECTION AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATIONS TO THE CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE FIELD CONDITIONS AND AS ORDERED BY THE ENGINEER.
- ALL BIDDERS SHALL INSPECT THE PROJECT SITE PRIOR TO SUBMITTING BIDS TO VERIFY THE FIELD CONDITIONS WHICH MAY BE ENCOUNTERED AND THE NATURE OF THE WORK TO BE DONE UNDER THIS CONTRACT. NO COMPENSATION WILL BE ALLOWED TO THE BIDDER FOR FAILURE TO INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT COSTS NECESSARY TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY MATERIALS THAT ARE TO REMAIN IN PLACE, OR THAT ARE TO BE REMOVED AND REMAIN THE PROPERTY OF THE COLLEGE, WILL NOT BE DAMAGED. IF THE CONTRACTOR DAMAGES ANY MATERIALS THAT ARE TO REMAIN IN PLACE, OR WHICH ARE TO REMAIN THE PROPERTY OF THE COLLEGE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE PARK MANAGER AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO PROTECT HIS/HER WORKERS AT ALL TIMES IN CONFORMANCE WITH APPLICABLE OSHA REGULATIONS.
- THE USE OF POWER DEVICES SUCH AS ELECTRIC HAMMERS OR OTHER PNEUMATIC TOOLS WILL NOT BE ALLOWED UNLESS APPROVED BY THE CAMPUS PROJECT REPRESENTATIVE. NO POWER-ACTUATED DEVICES MAY BE USED TO ATTACH STUDS TO EXISTING FLOORS, CEILINGS OR WALLS UNLESS A LIST OF PROPOSED TOOLS IS SUBMITTED AND APPROVED BY THE CAMPUS PROJECT REPRESENTATIVE. POWER-ACTUATED DEVICES MAY NOT BE UTILIZED WITHOUT PRIOR CONSENT FROM THE BOARD, AS PER THE ALTERATION AGREEMENT.
- CONTRACTOR TO PROVIDE FOR PAINT, DUST, DEBRIS AND NOISE CONTAINMENT AS DIRECTED BY THE CAMPUS PROJECT REPRESENTATIVE. ALL VENTS AND EXHAUSTS MUST BE FULLY SEALED TO PREVENT INFILTRATION OF DUST AND DIRT.
- ANY CHANGES TO THE SCOPE OF WORK MUST BE SUBMITTED TO THE CLIENT AND THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF THAT WORK.
- CONTRACTOR SHALL SCHEDULE AND SEQUENCE WORK SO AS NOT TO INTERFERE WITH OTHER ONGOING OR SCHEDULED WORK, OR WITH ACTIVITIES OF THE OWNER. COORDINATE WITH OWNER'S REPRESENTATIVE.
- CONSTRUCTION WORK SHALL NOT IMPACT THE ADJOINING OCCUPIED APARTMENTS.
- DO NOT SCALE DRAWINGS. DETAILS, NOTES, AND THE LIKE ARE TYPICAL AND APPLY IN GENERAL TO SIMILAR CONDITIONS.

SUMMARY OF WORK

THE WORK SHALL BE AS SHOWN AND CALLED FOR IN THE CONTRACT DOCUMENTS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING GENERAL ITEMS OF WORK:

PARTIAL REMOVAL OF EXISTING STUD WALLS, DROPPED CEILING, FLOORING, PARTIAL MECHANICAL AND PLUMBING WORKS.

INSTALLATION OF NEW MECHANICAL AND ELECTRICAL WORK.

INSTALLATION OF NEW INTERIOR STUD WALLS, NEW BATHROOM FINISHES AND FIXTURES, NEW FLOORS, NEW DROPPED CEILING AND NEW GYPSUM CEILINGS, NEW DOORS. INSTALLATION AND CONNECTION OF NEW PLUMBING,

ABBREVIATIONS

A
AB -- ABOVE
A.D -- ACCESS DOOR
ADJ. -- ADJACENT
ALUM.A -- ALUMINUM
AOR -- ARCHITECT OF RECORD
APP'D. -- APPROVED
AAPR.B. -- APPROXIMATELY
ARCH. -- ARCHITECT
ASPH. -- ASPHALT
AUX. -- AUXILIARY
& -- AND
ANGLE -- ANGLE
AT -- AT

B
BR -- BRICK
B.O. -- BASE OF
B.A. -- BRICK COURSE
B.L. -- BUILDING LINE
BLDG. -- BUILDING
BLK -- BLOCK
BM. -- BEAM
B.S. -- BLUE STONE
B.S.&A. -- BOARD OF STANDARDS
AND APPEAL
B.U.R -- BUILT-UP ROOF

C
C. -- CASEMENT
CAB'T. -- CABINET
CL -- CENTER LINE
C.J. -- CONTROL JOINT
CL'G -- CEILING
COL. -- COLUMN
CONT. -- CONTINUOUS
CONC. -- CONCRETE
C.R. -- CLASSROOM
CU.YD. -- CUBIC YARD

D
DEPT. -- DEPARTMENT
DET. -- DETAIL
D.H. -- DOUBLE HUNG
DIA. -- DIAMETER
DIM. -- DIMENSION
DN. -- DOWN
DO. -- DITTO
DR. -- DOOR
DWG. -- DRAWING
D.C. -- DIAGONAL CRACK

E
EG. -- EXTERIOR WIRE
EIC -- ENGINEER IN CHARGE
E.J. -- EXPANSION JOINT
EL. -- ELEVATION
EMG. -- EXPANDED METAL
GUARD
E.L. -- EXISTING LEADER
ENT. -- ENTRANCE
EOR -- ENGINEER OF RECORD
EQ. -- EQUAL
EQUIP. -- EQUIPMENT
EXP. -- EXPANSION
EXIST. -- EXISTING
EXT. -- EXTERIOR
E.C. -- ELECTRICAL CONDUIT

F
F.B. -- FACE BRICK
FD -- FLOOR DRAIN
FIN. -- FINISH
FL. -- FLOOR
F.A.I. -- FRESH AIR INTAKE
F.P. -- FIREPROOFING
FR. -- FRAME

G
GA. -- GAUGE
GALV. -- GALVANIZED
G.B.W. -- GLASS BLOCK WINDOW
G.C. -- GENERAL CONTRACTOR
G.I. -- GALVANIZED IRON
GL. -- GLASS
GRNT. -- GRANITE

H
H.C. -- HORIZONTAL CRACK
HDCP -- HANDICAPPED
HGT. -- HEIGHT
H.M. -- HOLLOW METAL
HORIZ. -- HORIZONTAL

I
INT. -- INTERIOR
INSTR. -- INSTRUCTOR
INSUL. -- INSULATION

L
L.S. -- LIMESTONE
LT. -- LIGHT
L.F. -- LINEAR FOOT

M
MAT. -- MATERIAL
MAX. -- MAXIMUM
MECH. -- MECHANICAL
M.H. -- MANHOLE
MIN. -- MINIMUM
M.I.S. -- METAL INSECT SCREEN
MT'D -- MOUNTED
M.O. -- MASONRY OPENING
M.S. -- MINERAL SURFACED

N
N.D. -- NOMINAL DIAMETER
NEC. -- NECESSARY
N.I.C. -- NOT IN
CONTRACT NO.
N.T.S. -- NOT TO SCALE

O
O.C. -- ON CENTER
O.D. -- OUTSIDE DIAMETER
O.G. -- OBSCURE GLAZING

P
PAV. -- PAVEMENT
P&D -- PLUMBING AND
DRAINAGE
PL. -- PLASTER

R
R. -- RADIUS
RAIL'G -- RAILING
RAD -- RADIATOR
R.D. -- ROOF DRAIN
REF. -- REFERENCE
REINF. -- REINFORCEMENT
RET. -- RETAINING
RM. -- ROOM

S
S.S. -- STAINLESS STEEL
SPEC. -- SPECIFICATION
S.F. -- SQUARE FEET
STD. -- STANDARD
ST. PL. -- STEEL PLATE
ST. DET. -- STANDARD DETAIL
S.Y. -- SQUARE YARD
SFT -- STRUCTURAL FACING
TILE

T
TBD -- TO BE DECIDED
TH. -- THICKNESS
T.O.S. -- TOP OF SLAB
TYP. -- TYPICAL
T.C. -- TERRA COTTA

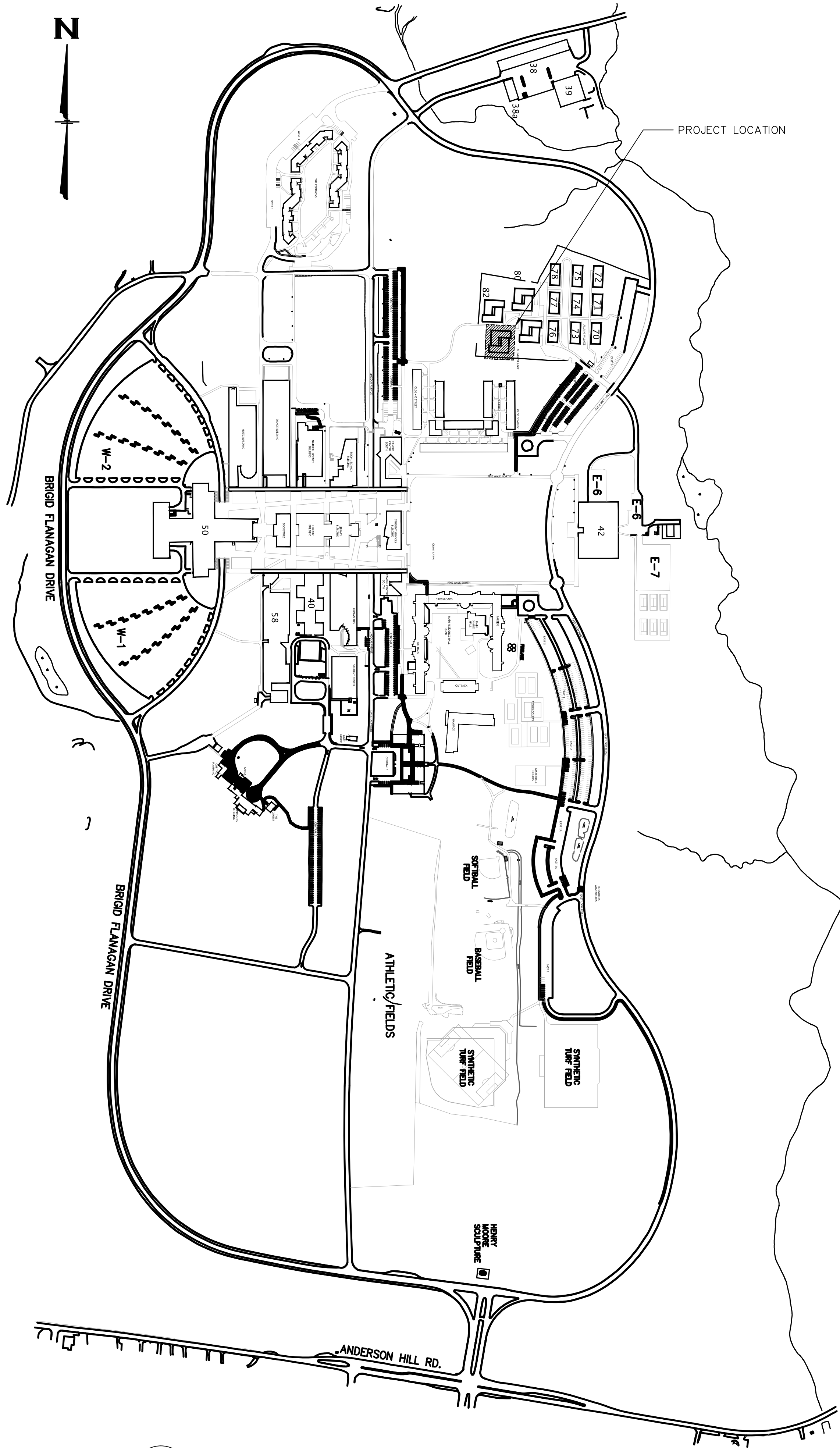
V
VENT. -- VENTILATOR
VERT. -- VERTICAL
V.I.F. -- VERIFY IN FIELD
V. -- VENT
V.C. -- VERTICAL CRACK

W
W/ -- WITH
W.F. -- WIDE FLANGE
W.H. -- WEEP HOLE
W.I. -- WROUGHT IRON
W.M. -- WIRE MESH
W.P. -- WATERPROOFING
WT. -- WEIGHT

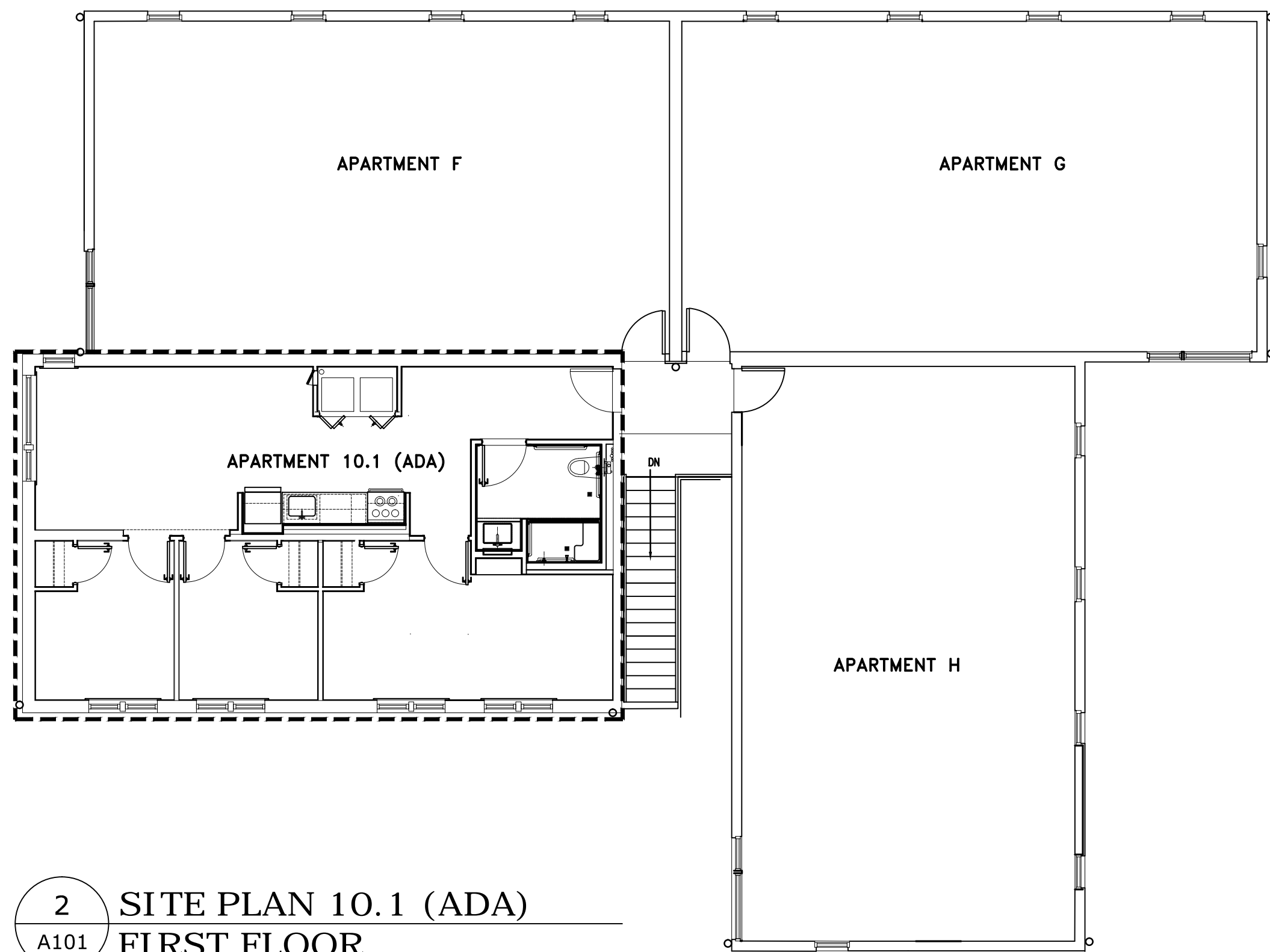
DRAWING LIST	
SHEET NO.	SHEET TITLE
COVER & GENERAL NOTES	
T001.00	COVER SHEET
T002.00	SYMBOL LEGEND, ABBREVIATIONS, GENERAL NOTES, SUMMARY OF WORK
T003.00	LIST OF DRAWINGS
T004.00	ADA CODE COMPLIANCE
FIRE PROTECTION DRAWINGS	
SP-001.00	SPRINKLER LEGENDS, NOTES, ABBREVIATIONS, SCHEDULE AND DETAILS
SP-101.00	SPRINKLER FIRST FLOOR DEMO AND NEW WORK
SP-201.00	SPRINKLER SPECIFICATIONS
ARCHITECTURAL DRAWINGS	
A101.00	LOCATION/KEY PLAN (FOR REFERENCE ONLY)
A102.00	ADA APARTMENT 10.1 PARTIAL REMOVALS & PROPOSED PLANS
A103.00	APARTMENT 10.3 PARTIAL REMOVALS & PROPOSED PLANS
A201.00	WALL SECTIONS
A202.00	ENLARGED BATHROOM PLANS, ADA APARTMENT 10.1
A203.00	BATHROOM WALL ELEVATIONS & FINISHES, ADA APARTMENT 10.1
A204.00	ENLARGED BATHROOM PLANS, APARTMENT 10.3
A205.00	BATHROOM WALL ELEVATIONS & FINISHES, APARTMENT 10.3
A206.00	ENLARGED KITCHEN DETAILS, ADA APARTMENT 10.1
A207.00	MILLWORK DETAILS, ADA APARTMENT 10.1
A208.00	ENLARGED KITCHEN DETAILS, APARTMENT 10.3
A209.00	MILLWORK DETAILS, APARTMENT 10.3
A210.00	BEDROOM CLOSET DETAILS (TYP.), APARTMENT 10.1 & 10.3
A301.00	FINISHES PLAN (FLOOR & WALL), ADA APARTMENT 10.1
A302.00	FINISHES PLAN (FLOOR & WALL), APARTMENT 10.3
A303.00	FINISHES (CEILING & SOFFIT), ADA APARTMENT 10.1
A304.00	FINISHES (CEILING & SOFFIT), APARTMENT 10.3
A305.00	DOOR DETAILS, (TYPICAL)
A401.00	ELECTRICAL LAYOUT PLAN, ADA APARTMENT 10.1
A402.00	ELECTRICAL LAYOUT PLAN, APARTMENT 10.3
MECHANICAL DRAWINGS	
M-001.00	MECHANICAL LEGENDS, ABBREVIATIONS, NOTES AND SCHEDULE
M-101.00	MECHANICAL FIRST AND SECOND FLOOR NEW WORK
M-301.00	MECHANICAL DETAILS
M-401.00	MECHANICAL SPECIFICATIONS, SHEET 1 OF 2
M-402.00	MECHANICAL SPECIFICATIONS, SHEET 2 OF 2

PLUMBING DRAWINGS	
P-001.00	PLUMBING LEGENDS, ABBREVIATIONS, NOTES, SCHEDULE AND DETAILS
P-101.00	PLUMBING FIRST FLOOR DEMOLITION AND RISER DIAGRAMS
P-102.00	PLUMBING SECOND FLOOR DEMOLITION AND RISER DIAGRAMS
P-201.00	PLUMBING FIRST FLOOR NEW WORK AND RISER DIAGRAMS
P-202.00	PLUMBING SECOND FLOOR NEW WORK AND RISER DIAGRAMS
P-301.00	PLUMBING DETAILS
P-401.00	PLUMBING SPECIFICATIONS
ELECTRICAL DRAWINGS	
E-001.00	ELECTRICAL LEGEND, ABBREVIATIONS AND NOTES
E-101.00	ELECTRICAL FIRST FLOOR POWER AND LIGHTING – DEMOLITION PLANS
E-102.00	ELECTRICAL SECOND FLOOR POWER, LIGHTING – DEMOLITION PLANS
E-201.00	ELECTRICAL FIRST FLOOR POWER, LIGHTING – NEW WORK PLANS
E-202.00	ELECTRICAL SECOND FLOOR POWER, LIGHTING – NEW WORK PLANS
E-401.00	ELEC. SPECIFICATIONS, SHEET 1 OF 2
E-402.00	ELEC. SPECIFICATIONS, SHEET 2 OF 2
FIRE ALARM DRAWINGS	
FA-101.00	FIRST FLOOR AND SECOND FLOOR FIRE DEMOLITION

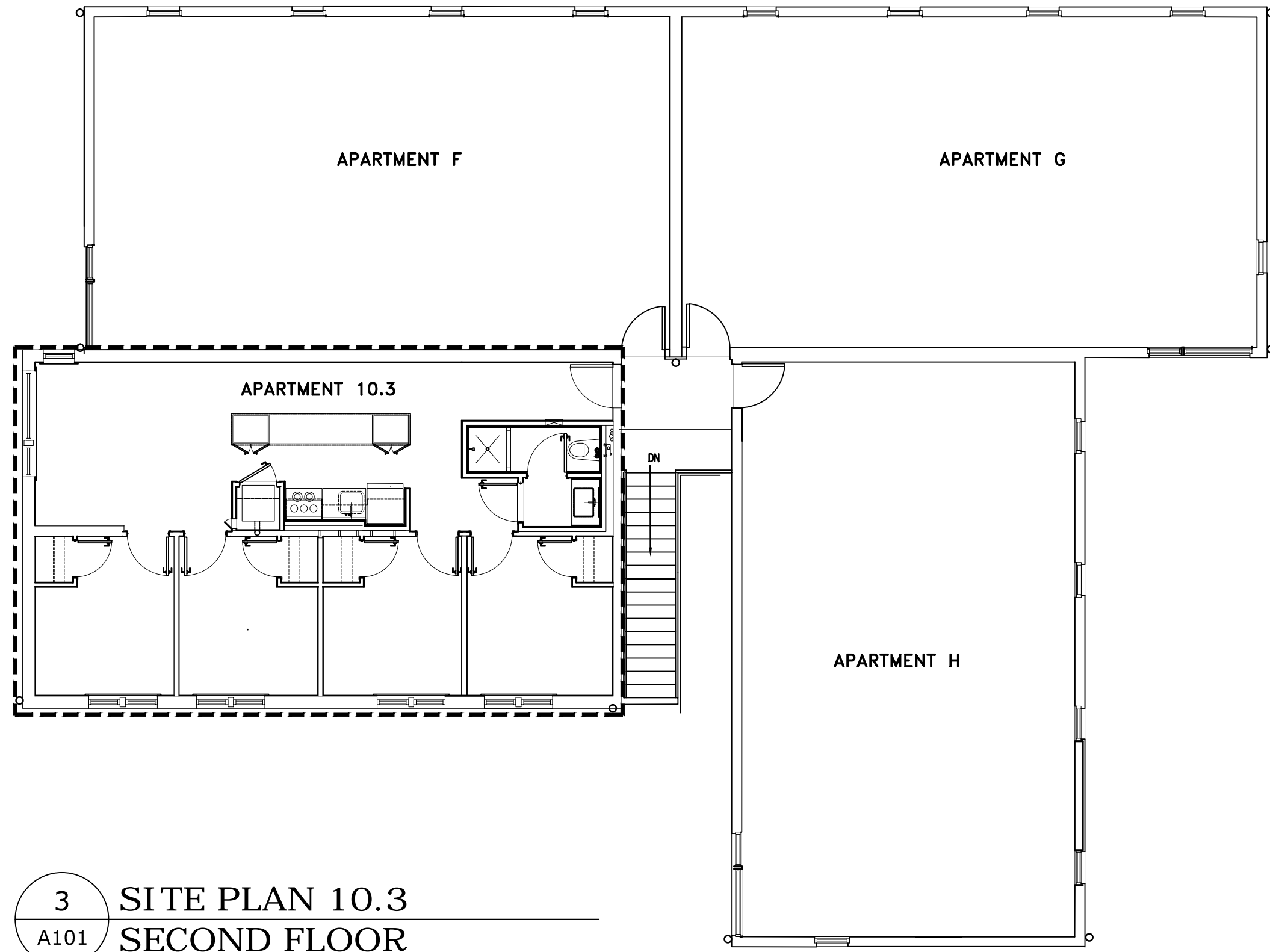
2	04/06/2023	100% SUBMISSION
1	09/24/2022	80% SUBMISSION
No.	Date	Revision
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Drawn by:	AZHER MALIK	
Checked by:	AKBER AFRIDI, P.E.	
Project:		
INTERIOR RENOVATIONS OF ALUMNI VILLAGE APARTMENTS 10.1 (ADA COMPLIANT) & 10.3		
Address:		
735 Anderson Hill Road Purchase NY 10577		
Drawing Title:		
LIST OF DRAWINGS		
	Drawing No.:	T003.00
	Scale:	AS NOTED
	Date:	08/24/2020



1 **LOCATION PLAN**
A101
0 8' 16' 32' 64'
SCALE: 1/16" = 1'-0"



2 **SITE PLAN 10.1 (ADA)**
A101
0 4' 8' 16' 32'
SCALE: 1/8" = 1'-0"



3 **SITE PLAN 10.3**
A101
0 4' 8' 16' 32'
SCALE: 1/8" = 1'-0"

2	04/06/2023	100% SUBMISSION
1	09/24/2022	80% SUBMISSION
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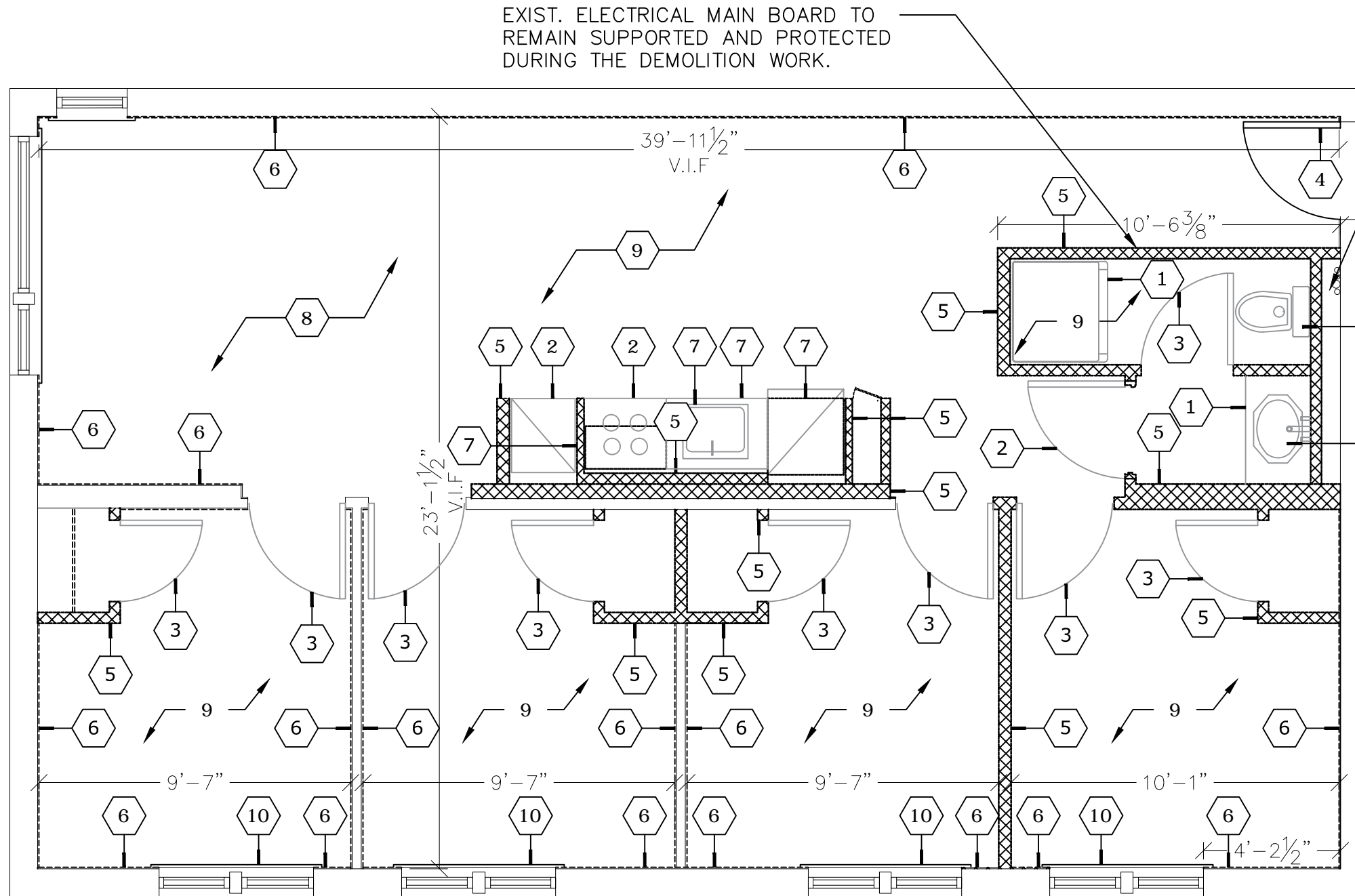
Project:
**INTERIOR RENOVATIONS OF
ALUMNI VILLAGE APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**

Address:
735 Anderson Hill Road
Purchase NY 10577

Drawing Title:
**LOCATION/KEY PLAN
(FOR REFERENCE ONLY)**

Drawing No.:	A101.00
Scale:	AS NOTED
Date:	08/24/2020

SU-040623



1
A102
DEMOLITION PLAN
ADA APARTMENT 10.1
SCALE: 1/4" = 1'-0"

ALL DAMAGE TO ADJOINING WORK DUE TO FAILURE TO PROVIDE ADEQUATE PROTECTION SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

PROTECT EXIST. PLUMBING WORK DURING DEMOLITION OF EXIST. STUD WALLS AND REMOVAL OF EXIST. FIXTURES. REFER TO PLUMBING DWGS. FOR THE REMOVAL OF EXIST. PLUMBING.

DEMOLITION KEY

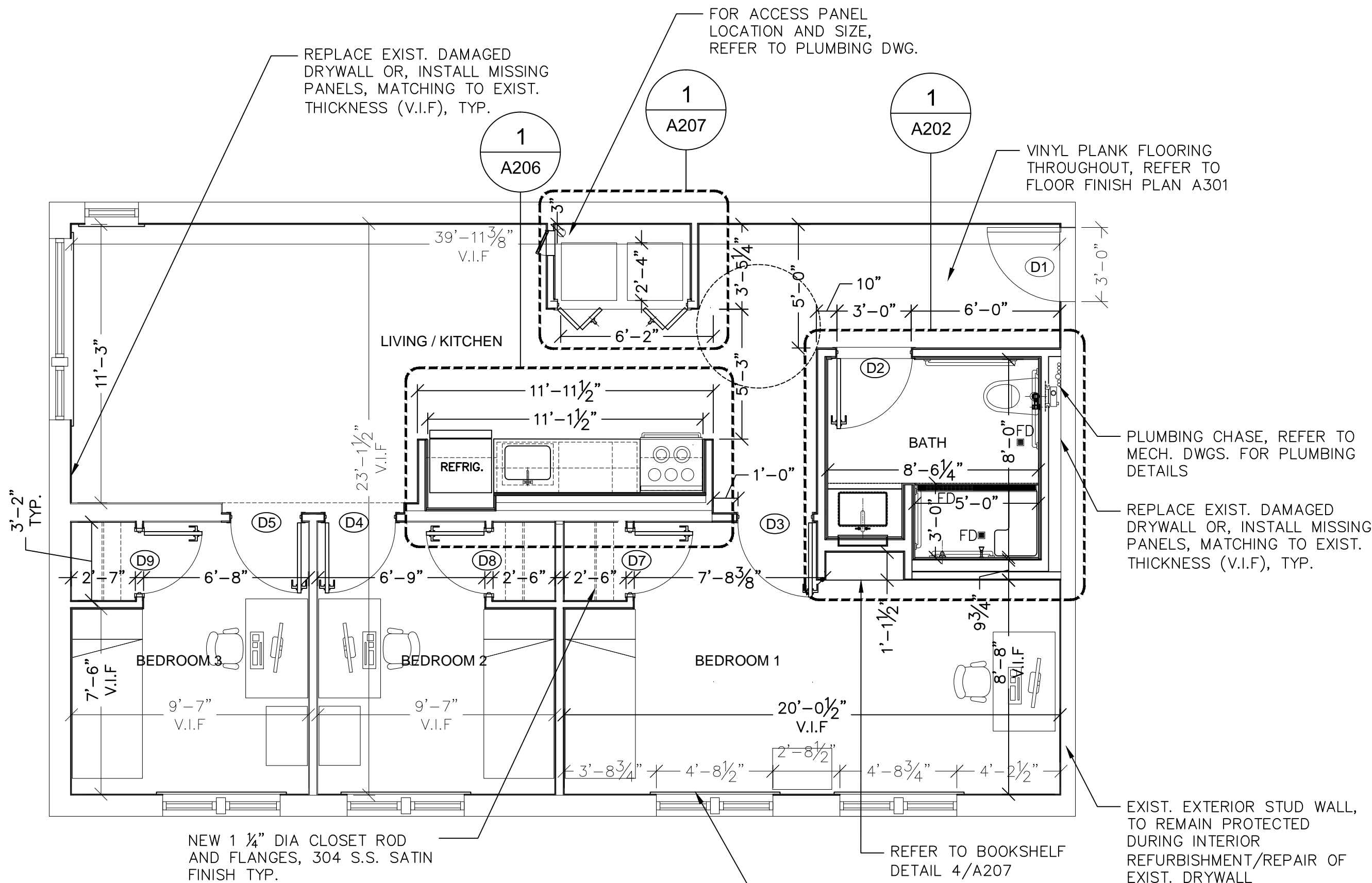
- 1 REMOVE TOILET FIXTURES AND ASSOCIATED HARDWARE AND ASSOCIATED PLUMBING AND CARRIERS. PREPARE FOR NEW FIXTURES IN RELOCATED AREAS. PATCH AREAS AS NECESSARY TO MATCH ADJACENT FINISHES.
- 2 DISCONNECT AND REMOVE KITCHEN APPLIANCES.
- 3 REMOVE EXISTING DOOR AND DOOR HARDWARE.
- 4 EXIST. DOOR TO REMAIN.
- 5 REMOVE INTERIOR NON LOAD-BEARING WALL AND ASSOCIATED FRAMING AND BLOCKING AND SUPPORT AS INDICATED.
- 6 REMOVE DAMAGED EXIST. DRYWALL, AND PREPARE EXIST. FRAMING FOR NEW DRYWALL. EXIST. DRYWALL IN GOOD CONDITION TO REMAIN.
- 7 REMOVE CASEWORK AND BUILT-IN THROUGHOUT WORK AREA.
- 8 REMOVE FINISH FLOOR AND REPAIR FOR NEW FLOOR FINISH.
- 9 REMOVE EXIST. DRYWALL CEILING CAREFULLY.
- 10 UNINSTALL EXIST. WINDOW APRON AND CASING.

GENERAL NOTES

1. SHUT DOWN ALL EXIST UTILITY CONNECTION PRIOR TO DISCONNECTING FIXTURES AND FAUCETS.
2. DISCONNECT AND SAFELY REMOVE ALL EXIST. EQUIPMENT.
3. CAP ALL EXIST. UTILITY CONNECTIONS PRIOR TO REINSTATING THE UTILITIES.
4. FOR REMOVAL OF ELECTRIC WIRING, SWITCHES, OUTLETS REFER TO ELECTRICAL DWGS.
5. FOR SMOKE DETECTORS AND OTHER EQUIPMENT REFER TO MEP DWGS.
6. NEW ROUGH DOOR OPENING SIZE MAY VARY ON METAL DOOR FRAME SIZE.
7. USE R-21, 5 1/2" INSULATION BATTS FOR 2"x6" STUD WALL.
8. USE R-15, 3 1/2" INSULATION BATTS FOR 2"x4" STUD WALL.

LEGEND

- EXIST. WALL, TO REMAIN
- REMOVE EXIST. FRAMING/DRYWALL
- NEW PARTIAL DRYWALL INSTALLATION
- NEW DRYWALL, FRAMING AND SHEET ROCK



2
A102
FIRST FLOOR PLAN
ADA APARTMENT 10.1
SCALE: 1/4" = 1'-0"

ADA COMPLIANT APARTMENT 10.1, APPLIANCES (BY OTHERS)

No.	APPLIANCE	CAPACITY					POWER SUPPLY	
		WIDTH	DEPTH	HEIGHT	CAPACITY	COLOR	AMPS	WATTS
01	SPEED QUEEN (COMMERCIAL FRONT LOAD) WASHER	27"	27 3/4"	44 1/2"	4.5 CF	WHITE	15 A	
02	SPEED QUEEN (COMMERCIAL FRONT LOAD) DRYER	27"	30 3/8"		7.4 CF	WHITE	30 A	
03	FRIGIDAIRE REFRIGERATOR	30"	30 3/8"	66.38"	18.3 CF	S. STEEL	15 A	
04	FRIGIDAIRE COOKING RANGE (4 BURNERS)	30"	32"	34"	6.3 CF	S. STEEL	40 A	1500-4800
05	FRIGIDAIRE MICROWAVE (OVER THE RANGE)	30"	15 3/4"	16 3/8"	1.9 CF	S. STEEL	15 A	1000

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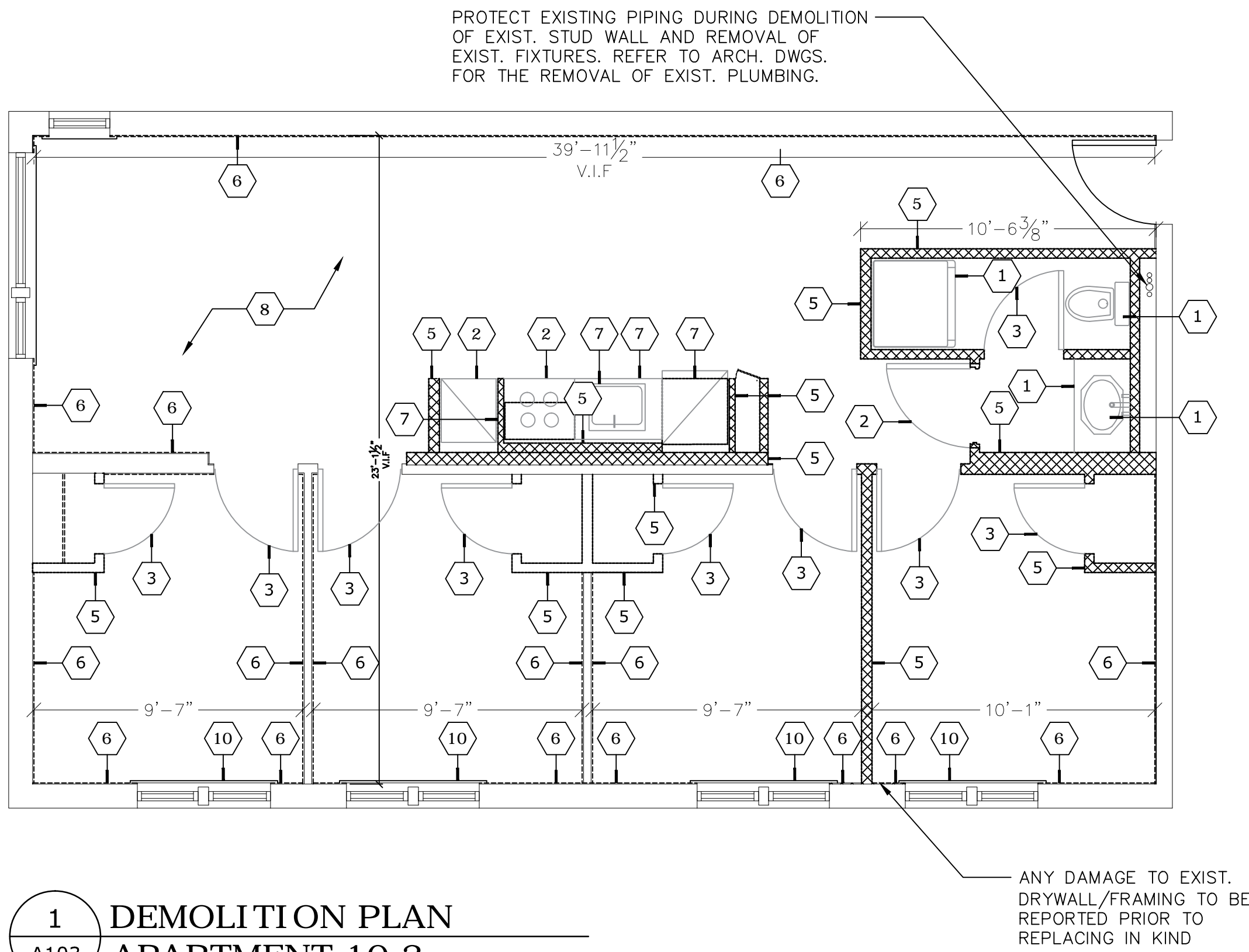
Drawing Title: ADA APARTMENT 10.1, PARTIAL REMOVALS & PROPOSED PLANS

Drawing No.:
A102.00

Scale: AS NOTED

Date: 08/24/2020

SU-040623



1 DEMOLITION PLAN
A103 APARTMENT 10.3
SCALE: 1/4" = 1'-0"

ALL DAMAGE TO ADJOINING WORK DUE TO FAILURE TO PROVIDE ADEQUATE PROTECTION SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

DEMOLITION KEY

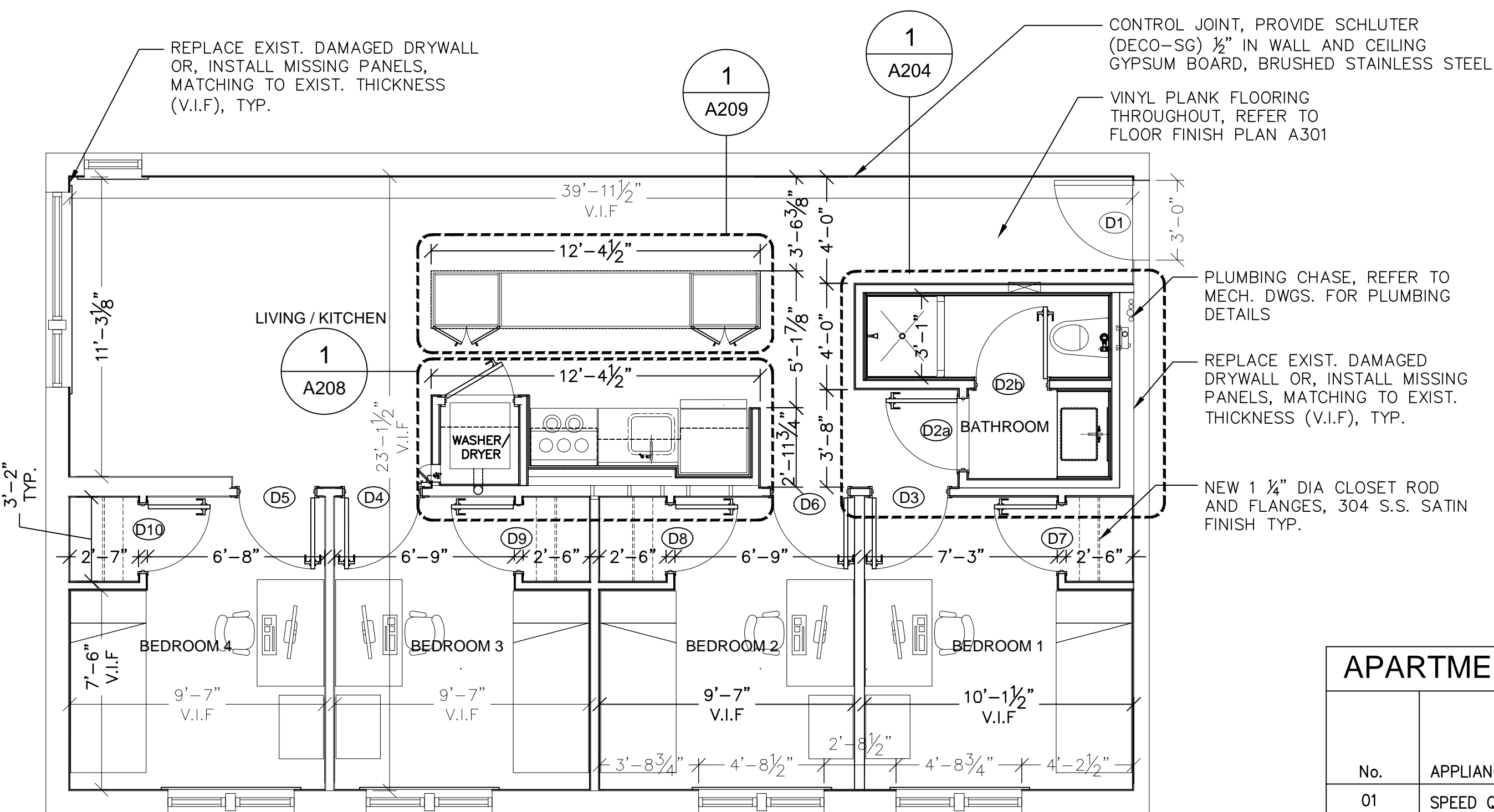
- 1 REMOVE TOILET FIXTURES AND ASSOCIATED HARDWARE AND ASSOCIATED PLUMBING AND CARRIERS. PREPARE FOR NEW FIXTURES IN RELOCATED AREAS. PATCH AREAS AS NECESSARY TO MATCH ADJACENT FINISHES.
- 2 DISCONNECT AND REMOVE KITCHEN APPLIANCES.
- 3 REMOVE EXISTING DOOR AND DOOR HARDWARE.
- 4 EXISTING DOOR TO REMAIN.
- 5 REMOVE INTERIOR NON LOAD-BEARING WALL AND ASSOCIATED FRAMING AND BLOCKING AND SUPPORT AS INDICATED.
- 6 EXISTING DRYWALL TO REMAIN. REMOVE ANY BROKEN PIECES WALL AND PREPARE STUD WALL FOR NEW DRYWALL.
- 7 REMOVE CASEWORK AND BUILT-IN THROUGHOUT WORK AREA.
- 8 REMOVE FINISH FLOOR AND PREPARE FOR NEW FLOOR FINISH.
- 9 REMOVE EXIST. DRYWALL CEILING CAREFULLY.
- 10 UNINSTALL EXIST. WINDOW APRON AND CASING.

GENERAL NOTES

1. SHUT DOWN ALL EXIST UTILITY CONNECTION PRIOR TO DISCONNECTING FIXTURES AND FAUCETS.
2. DISCONNECT AND SAFELY REMOVE ALL EXIST. EQUIPMENT.
3. CAP ALL EXIST. UTILITY CONNECTIONS PRIOR TO REINSTATING THE UTILITIES.
4. FOR REMOVAL OF ELECTRIC WIRING, SWITCHES, OUTLETS REFER TO ELECTRICAL DWGS.
5. FOR SMOKE DETECTORS AND OTHER EQUIPMENT REFER TO MEP DWGS.
6. NEW ROUGH DOOR OPENING SIZE MAY VARY ON METAL DOOR FRAME SIZE.
7. USE R-21, 5 1/2" INSULATION BATTS FOR 2"x6" STUD WALL.
8. USE R-15, 3 1/2" INSULATION BATTS FOR 2"x4" STUD WALL.

LEGEND

- EXIST. WALL, TO REMAIN
- REMOVE EXIST. FRAMING/DRYWALL
- NEW PARTIAL DRYWALL INSTALLATION
- NEW DRYWALL, FRAMING AND SHEET ROCK



2 SECOND FLOOR PLAN
A103 APARTMENT 10.3
SCALE: 1/4" = 1'-0"

APARTMENT 10.3, APPLIANCES (BY OTHERS)

No.	APPLIANCE	CAPACITY					POWER SUPPLY	
		WIDTH	DEPTH	HEIGHT	CAPACITY	COLOR	AMPS	WATTS
01	SPEED QUEEN (COMMERCIAL FRONT LOAD) STACKED WASHER/DRYER	27"	27 3/4"	78 1/4"	21.5 LB 18 LB	WHITE	30 A 30 A	
02	FRIGIDAIRE REFRIGERATOR	30"	30 3/8"	66.38"	18.3 CF	S. STEEL	15 A	
03	FRIGIDAIRE COOKING RANGE (4 BURNERS)	30"	32"	34"	6.3 CF	S. STEEL	40 A	1500-4800
04	FRIGIDAIRE MICROWAVE (OVER THE RANGE)	30"	15 3/4"	16 3/8"	1.9 CF	S. STEEL	15 A	1000

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Lizardos Engineering Associates D.P.C.

Designer: AKBER AFRIDI, P.E.
Drawn by: AZHER MALIK
Checked by: AKBER AFRIDI, P.E.

Project:
**INTERIOR RENOVATIONS OF
ALUMNI VILLAGE APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**

Address:
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Purchase NY 10577

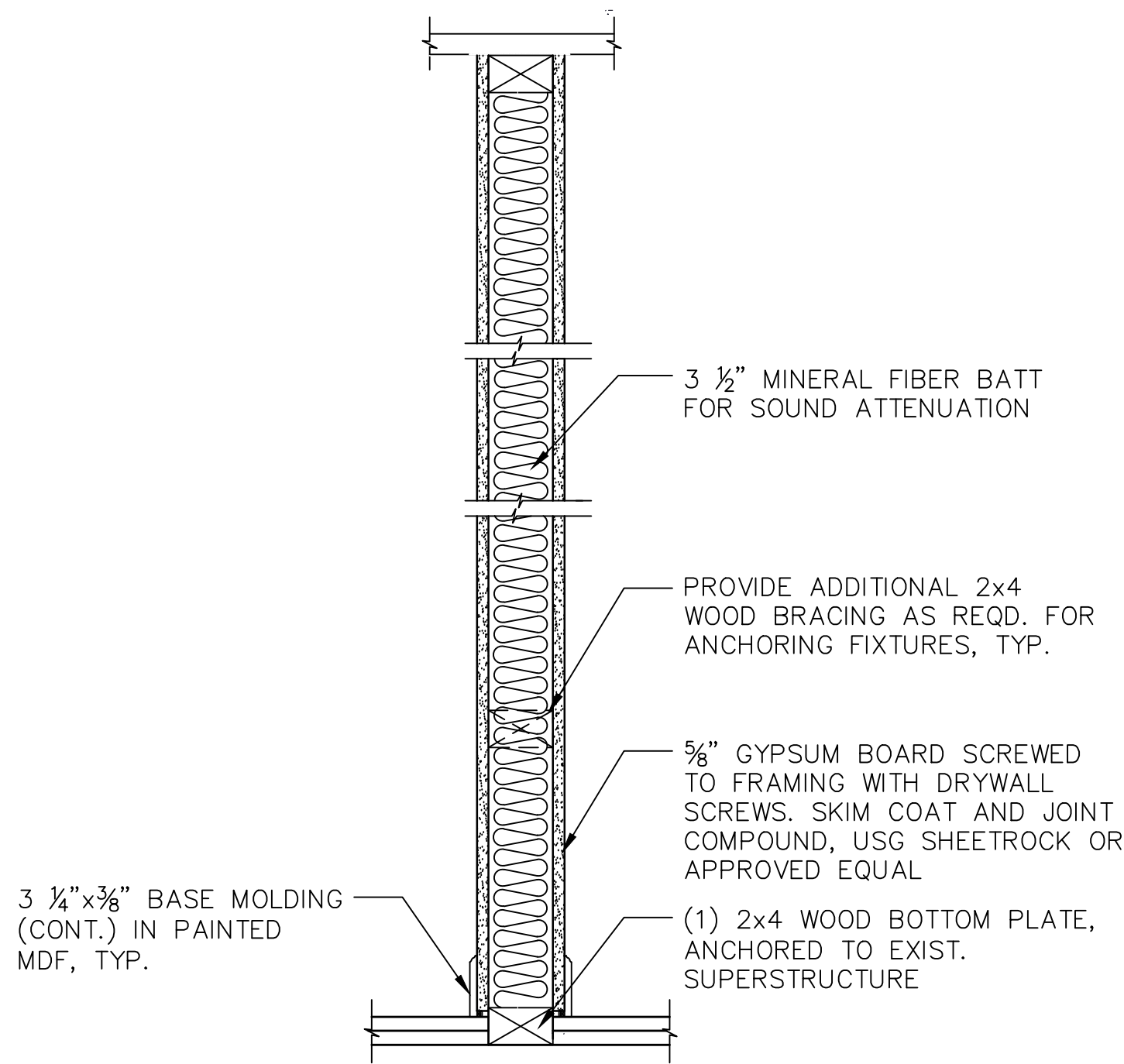
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**APARTMENT 10.3, PARTIAL
REMOVAL & PROPOSED PLANS**

Drawing No.:
A103.00

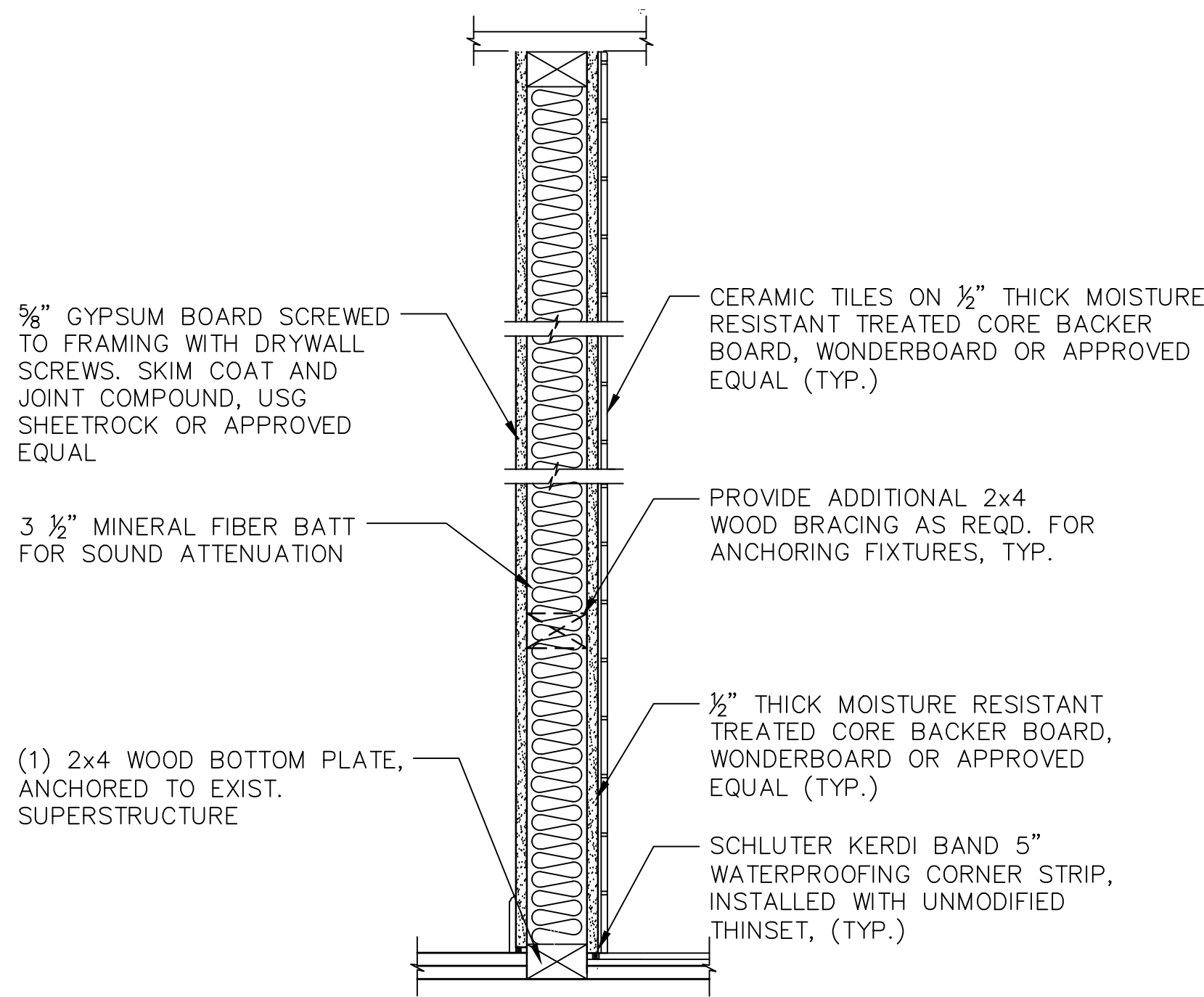
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Date: 08/24/2020

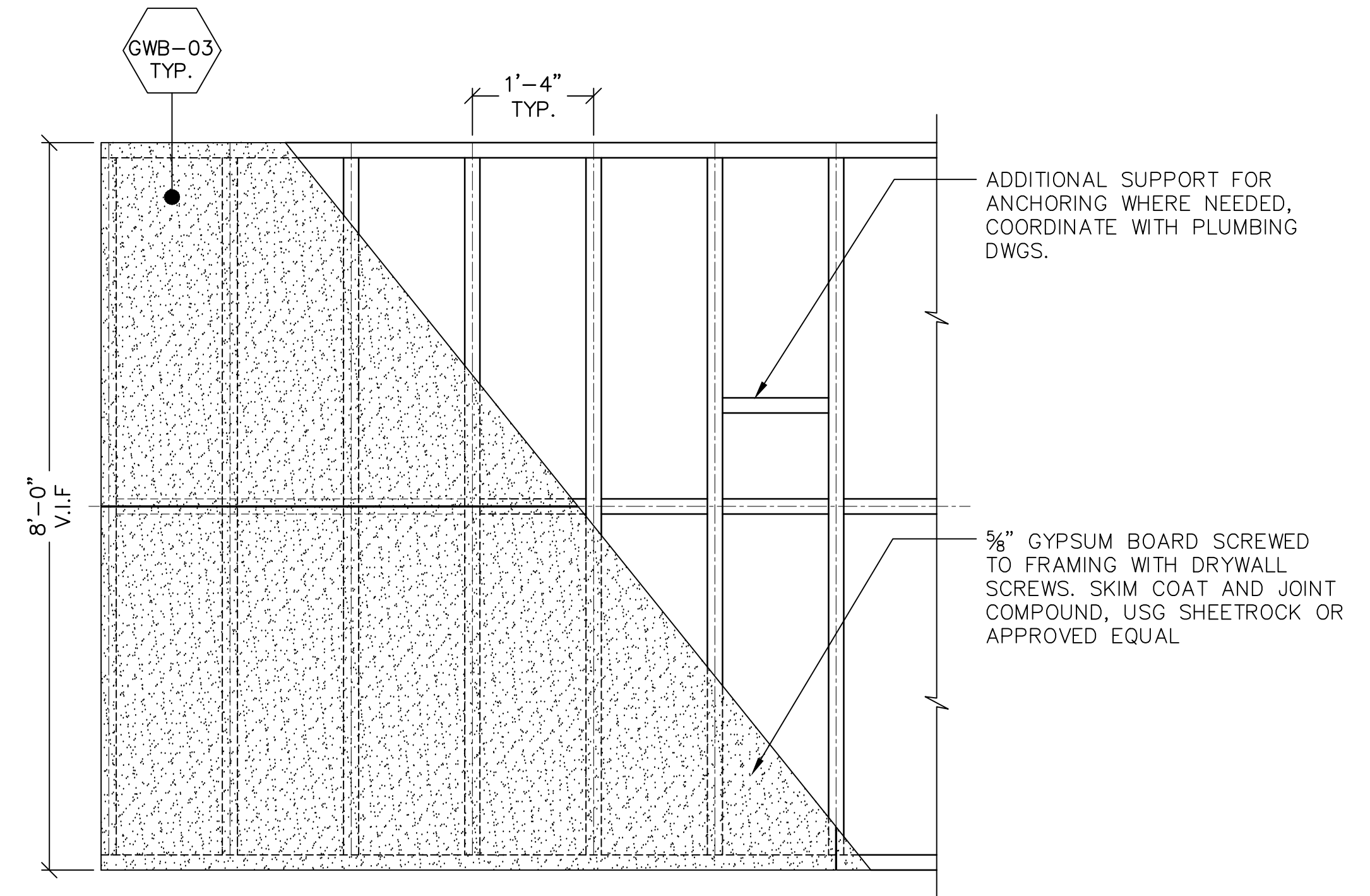
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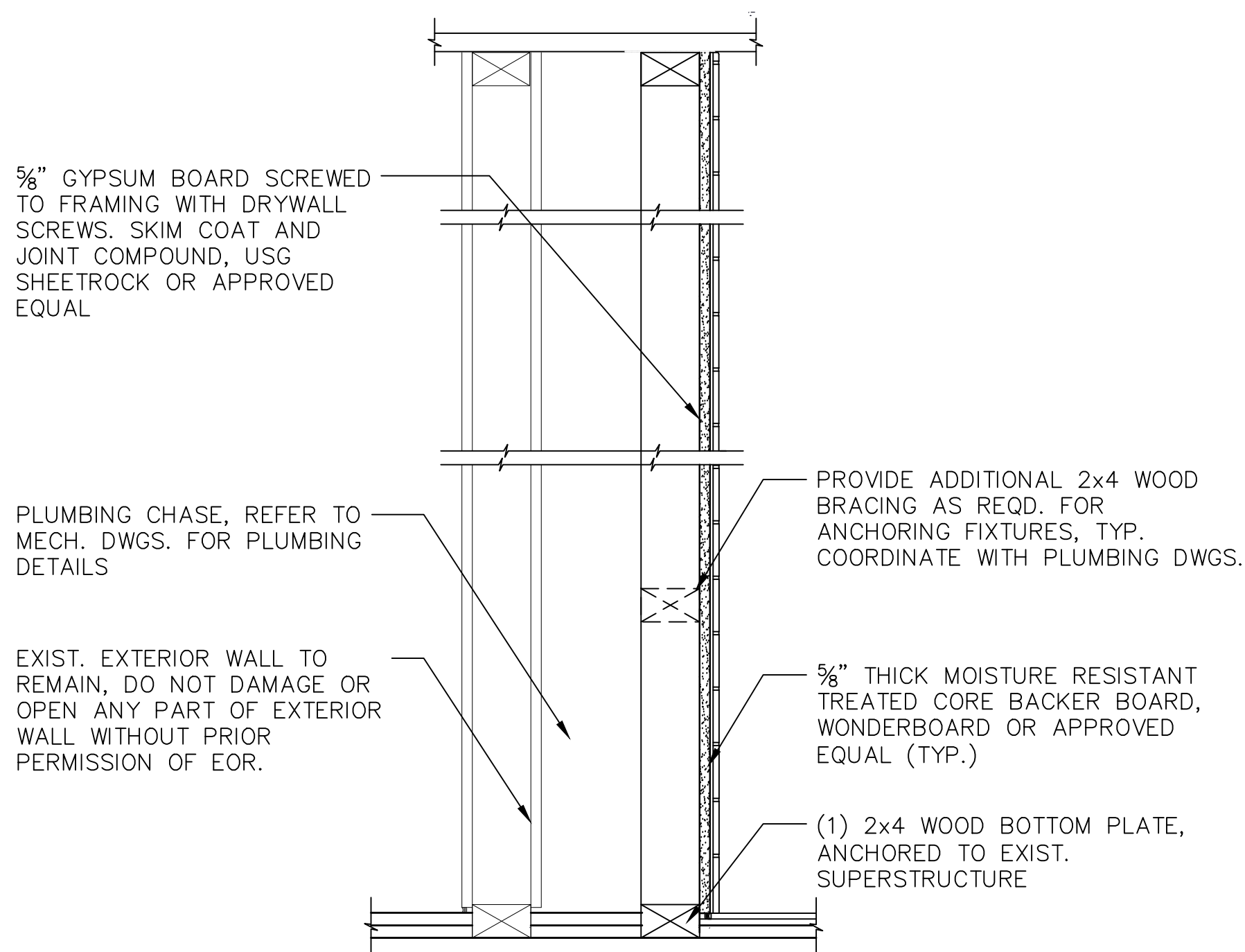
1 SECTION - INT. GYPSUM DRYWALL
A201
0 6" 1' 2'
SCALE: 1 1/2" = 1'-0"



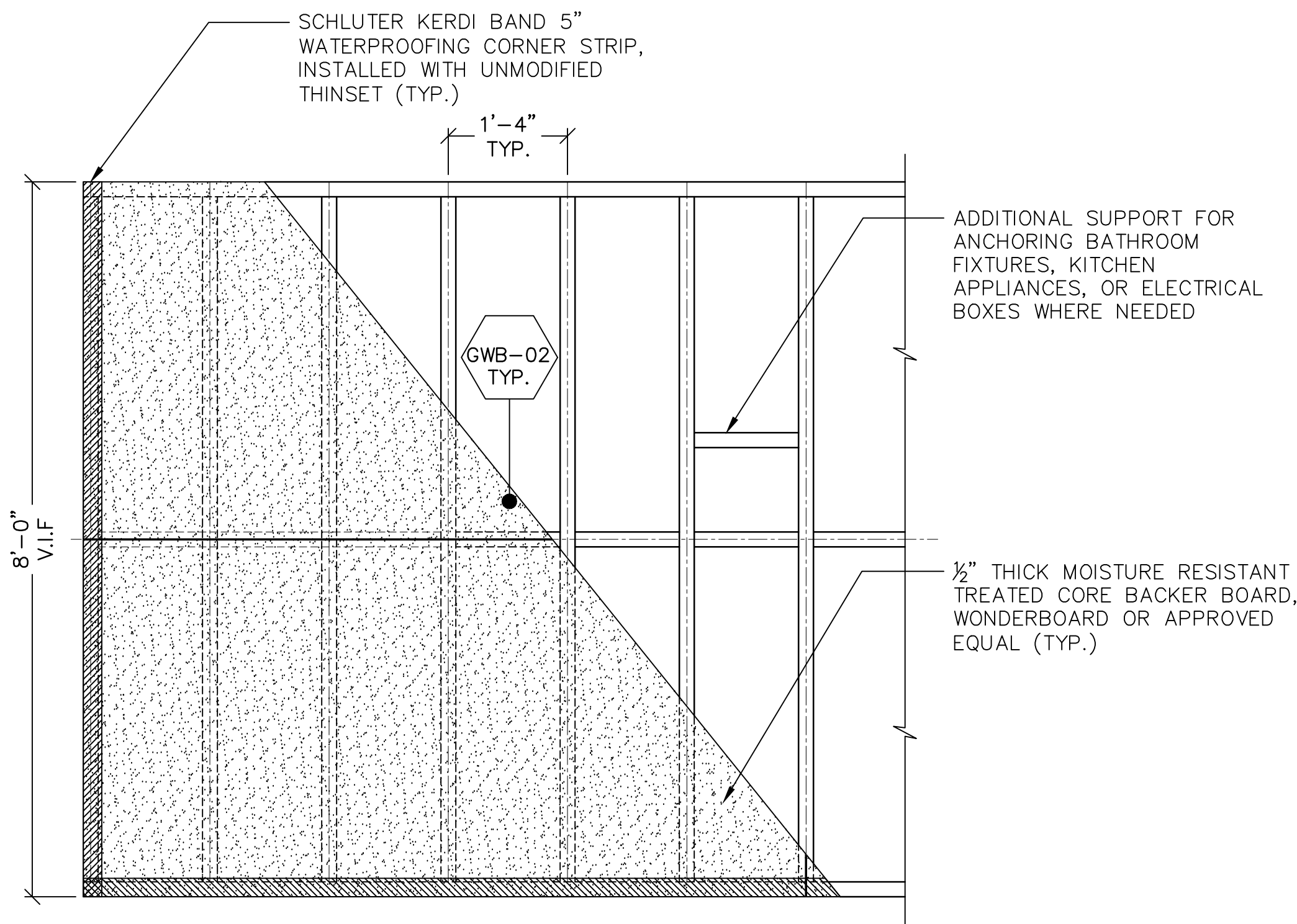
3 SECTION - CERAMIC WALL TILE
ON BACKER BOARD
A201
0 6" 1' 2'
SCALE: 1 1/2" = 1'-0"



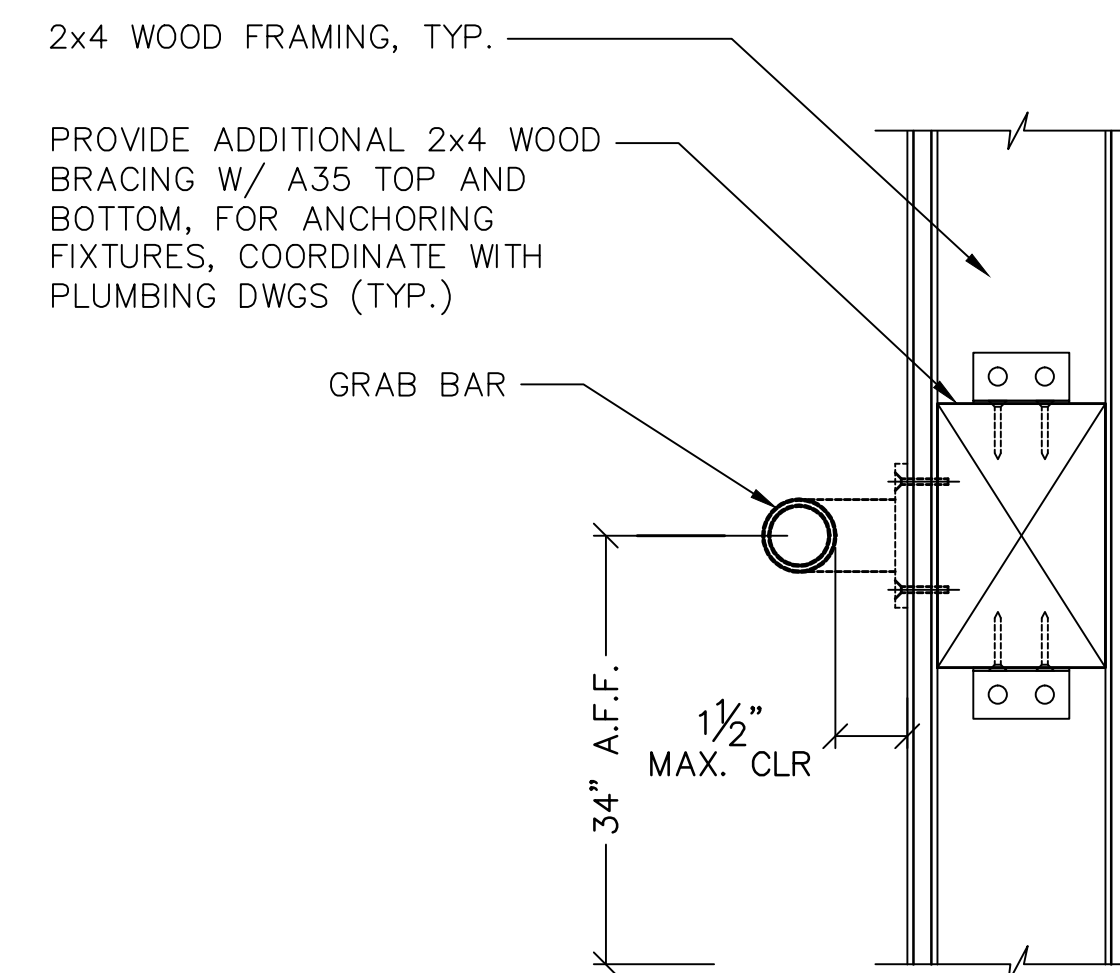
5 TYP. DRYWALL / FRAMING
A201
0 1' 2' 4'
SCALE: 3/4" = 1'-0"



2 SECTION - CERAMIC WALL TILE
ON BACKER BOARD
A201
0 6" 1' 2'
SCALE: 1 1/2" = 1'-0"



4 DRYWALL / FRAMING
(KITCHEN & BATHROOM)
A201
0 1' 2' 4'
SCALE: 3/4" = 1'-0"



6 HORIZONTAL WOOD BRACING
TYP. DETAIL
A201
0 3" 6" 1'
SCALE: 3" = 1'-0"

NOTE:

- GRAB BAR MOUNTING TO WITHSTAND 250 LBS IN BENDING SHEAR AND TENSION W/ 1/8" MIN. RADIUS ON ALL EDGES. BAR SHALL NOT ROTATE IN FITTINGS.
- A GRAB BAR AND ANY WALL SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".
- ALL OTHER EQUIPMENT SHALL BE ADA COMPLIANT WITH ADDITIONAL HORIZONTAL BRACING.

2 04/06/2023 100% SUBMISSION

1 09/24/2022 80% SUBMISSION

No. Date Revision

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Lizardos Engineering Associates D.P.C.

Designer: AKBER AFRIDI, P.E.

Drawn by: AZHER MAJID

Checked by: AKBER AFRIDI, P.E.

Project:
**INTERIOR RENOVATIONS OF
ALUMNI VILLAGE APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**

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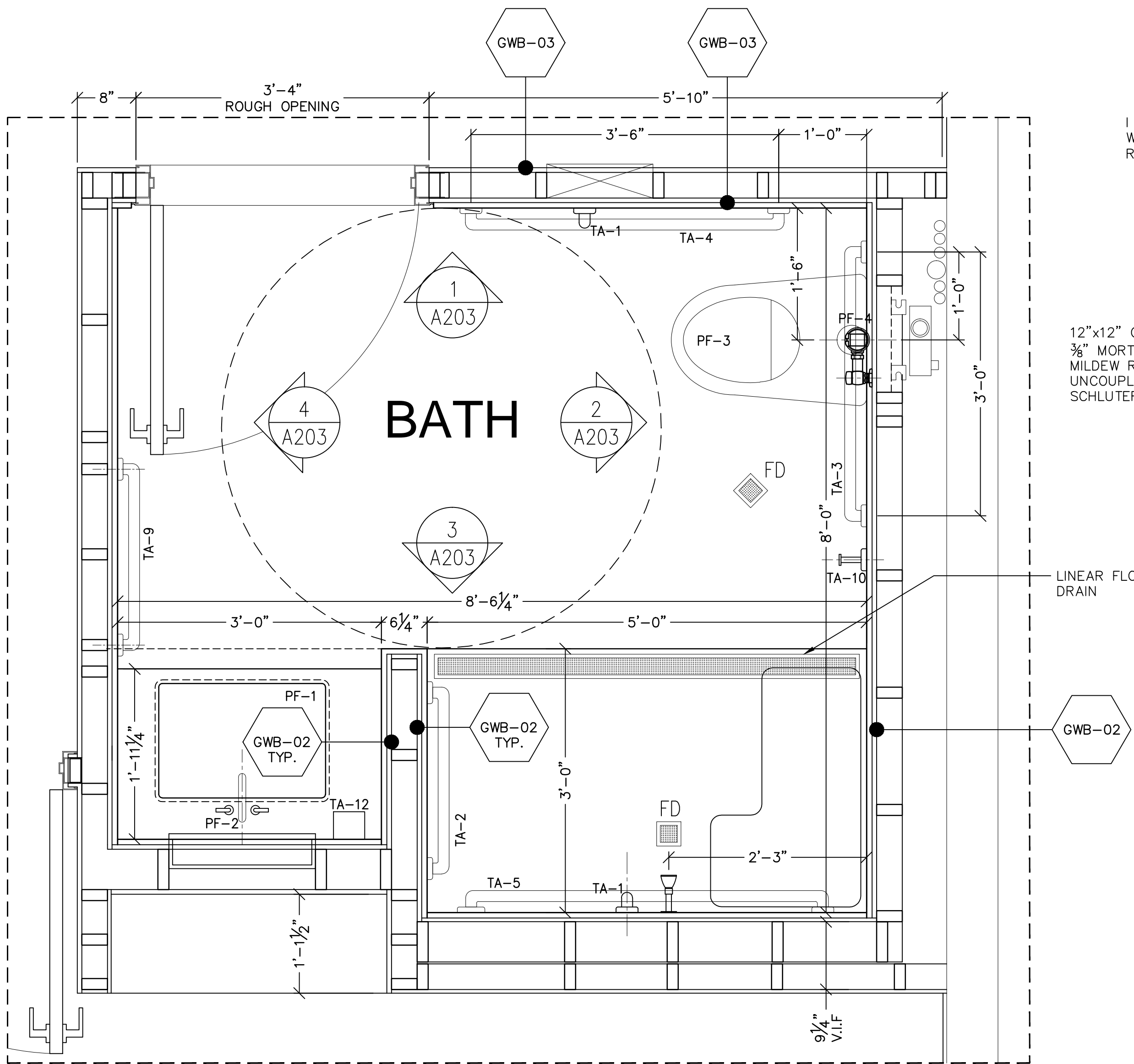
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WALL SECTIONS

Drawing No.:
A201.00

Scale: AS NOTED

Date: 08/24/2020

SU-040623

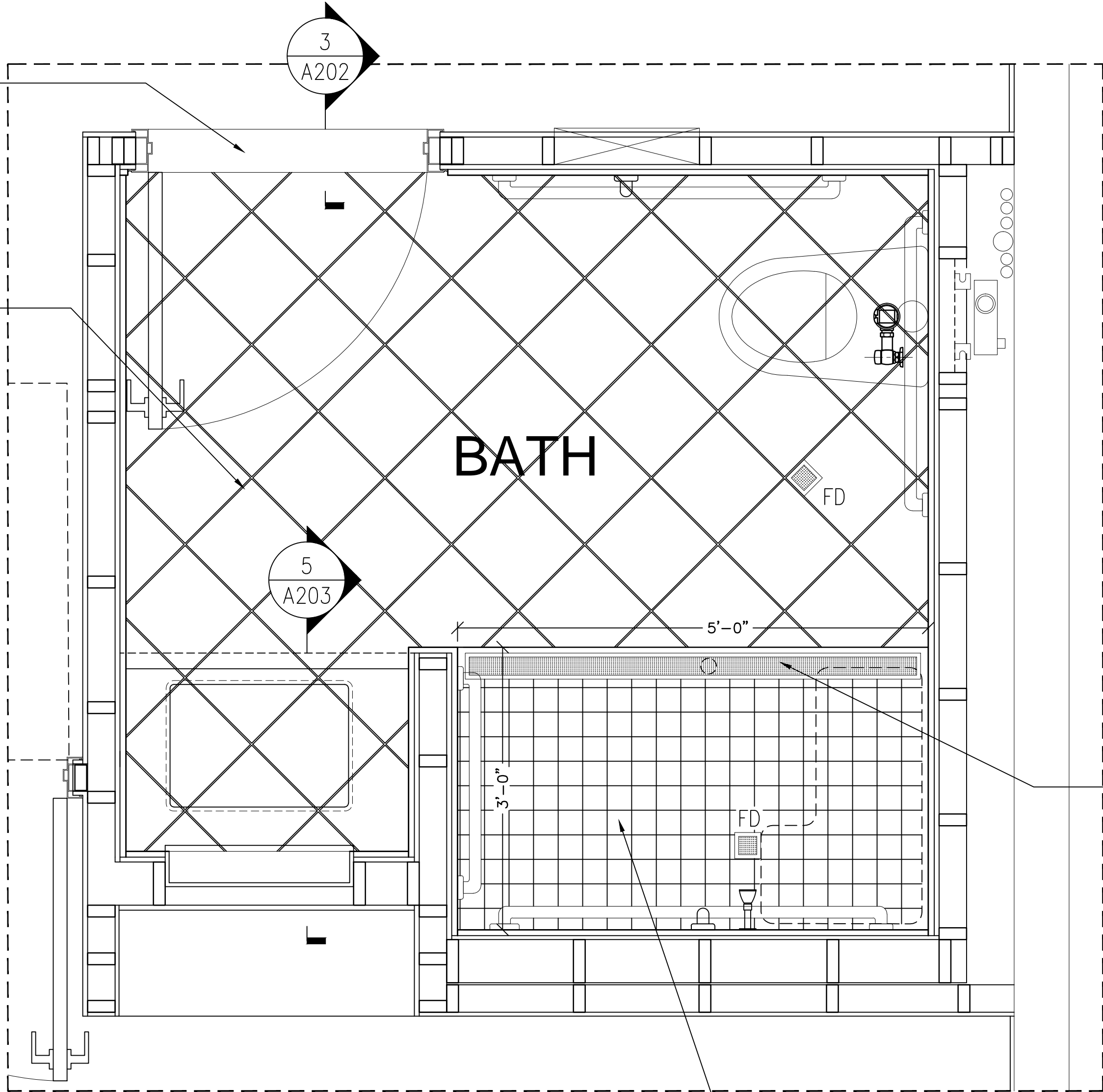


1 ADA BATHROOM LAYOUT PLAN
A202
SCALE: 1" = 1'-0"

1 1/2" THICK POLISHED WHITE MARBLE THRESHOLD, REFER TO DETAIL 3/A202

12"x12" CERAMIC TILES LAYED ON 3/8" MORTAR BED, OVER MOLD AND MILDEW RESISTANT POLYETHYLENE UNCOUPLING UNDERLAYMENT, SCHLUTER OR APPROVED EQUAL

LINEAR FLOOR DRAIN



2 ADA BATHROOM PLAN - FLOOR TILES
A202
SCALE: 1" = 1'-0"

2"x2" MOSAIC/CERAMIC TILES LAYED ON 3/8" MORTAR BED, OVER WATERPROOFING MEMBRANE UNDERLAYMENT, SCHLUTER OR APPROVED EQUAL

LINEAR STAINLESS STEEL SHOWER DRAIN, KOHLER, U.S. TRENCH DRAIN OR APPROVED EQUAL

NOTES

1. LEVEL SUBFLOOR AS REQUIRED PRIOR TO INSTALLING FINISH FLOOR.
2. STAGGER SUBFLOOR JOINTS IN BOTH DIRECTIONS.
3. PROVIDE COLOR SAMPLES AND FULL SIZE TILE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION OF TILES/VINYL PLANKS.
4. FOR SHOWER AREA, BATHROOM AND KITCHEN WALLS, USE SCHLUTER KERDI MEMBRANE, CORNER STRIPS AND FIXTURE AND FAUCET SEALS.
5. FOR BATHROOM FLOOR UNCOUPLING MEMBRANE, USE SCHLUTER DITRA OR APPROVED EQUAL.
6. DOOR STOP IN BATHROOM, TO BE INSTALLED ON BASEBOARD/TILED WALL. DO NOT INSTALL ON FINISH FLOOR.
7. ELECTRICAL RECEPTACLES NEAR WET AREA TO BE GFCI OUTLETS.

LEGEND

- VINYL FLOOR PLANK (VF-01)
- CERAMIC TILES (KITCHEN)
- 12"x12" CERAMIC FLOOR TILES (BATHROOM)
- 2"x2" CERAMIC FLOOR TILES (SHOWER)
- PLYWOOD/SUBFLOOR

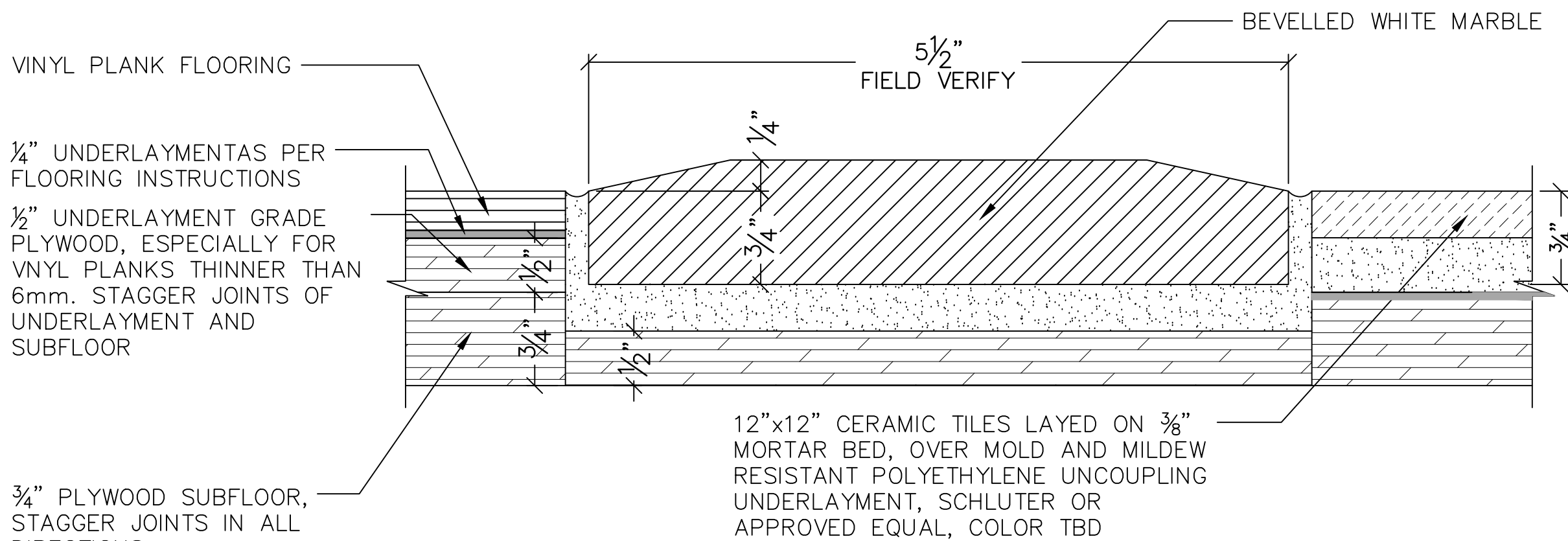
APARTMENT 10.1 PLUMBING FIXTURE SCHEDULE

MARK	QTY	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
PF-1	1	'STUDIO' UNDERCOUNTER SINK, VITREOUS CHINA	AMERICAN STANDARD	STUDIO - 0618.300	
PF-1K	1	'RUVATI' MODENA UNDERMOUNT 20 1/2"x17 3/4" BRUSHED SS SINK (16 GAUGE)	RUVATI	MODENA	
PF-2	1	'MONTERREY' TWO HANDLE 8" WIDESPREAD LAVATORY FAUCET	AMERICAN STANDARD	MONTERREY - 6500.170	
PF-2K	1	'HYDROLOCK' SINGLE HANDLE HIGH ARC PULL DOWN KITCHEN FAUCET	MOEN	CA87094 SERIES	
PF-3	1	'MODERA' FLOWISE 16 1/2" (FLUSHOMETER TOILET), 1.28 GPF	AMERICAN STANDARD		
PF-4	1	'SOLIS' SLOAN BATTERY/SOLAR POWERED DUAL FLUSH (8111-1.6/1.1)	SLOAN	8111-1.6/1.1	
PF-5	1	'M-DURA' COMMERCIAL THREE-FUNCTION SHOWER SYSTEM	MOEN	T9342	

NOTE: STANDARD CAMPUS WIDE FIXTURES, FINISHES AND OPERATION, G.C. TO COORDINATE.

BATHROOM ACCESSORIES

MARK	QTY	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
TA-1	2	BOBRICK B-5806.99x18 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x18	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-2	1	BOBRICK B-5806.99x24 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x24	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-3	1	BOBRICK B-5806.99x36 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x36	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-4	1	BOBRICK B-5806.99x42 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x42	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-5	1	BOBRICK B-5806.99x48 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x48	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-6	1	BOBRICK COMMERCIAL TOILET PAPER DISPENSER	BOBRICK WASHROOM EQUIPMENT, INC.	B-6677	S.S. SATIN FIN.
TA-7	1	KOHLER, MEDICINE CABINET, RECESSED-MOUNTED	KOHLER	CATALAN	ANODIZED ALUMINUM (20 1/8"x36 1/8")
TA-8	1	BOBRICK B-542, SATIN FINISH STAINLESS STEEL COAT HOOK	BOBRICK WASHROOM EQUIPMENT, INC.	B-9542	S.S. SATIN FIN.
TA-9	1	BOBRICK B-530x18, TOWEL BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-530x18	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-10	1	BOBRICK B-6777, SATIN FINISH STAINLESS STEEL TOWEL PIN	BOBRICK WASHROOM EQUIPMENT, INC.	B-6777	S.S. SATIN FIN.
TA-11	1	BOBRICK B-207x60, SHOWER CURTAIN ROD/CONCEALED MOUNT	BOBRICK WASHROOM EQUIPMENT, INC.	B-207x60	S.S. SATIN FIN.
TA-12	1	BOBRICK B-40, SURFACE MOUNTED SOAP DISPENSER	BOBRICK WASHROOM EQUIPMENT, INC.	B-40 (ADA)	POLYETHYLENE FIN.(BLACK)



3 ADA THRESHOLD DETAIL
A202
SCALE: 12" = 1'-0"

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Lizardos Engineering Associates D.P.C.

Designer: AKBER AFRIDI, P.E.
Drawn by: AZHER MALIK
Checked by: AKBER AFRIDI, P.E.

Project: INTERIOR RENOVATIONS OF ALUMNI VILLAGE APARTMENTS 10.1 (ADA COMPLIANT) & 10.3

Address:
735 Anderson Hill Road
Purchase NY 10577

Drawing Title: ENLARGED BATHROOM PLANS ADA APARTMENT 10.1

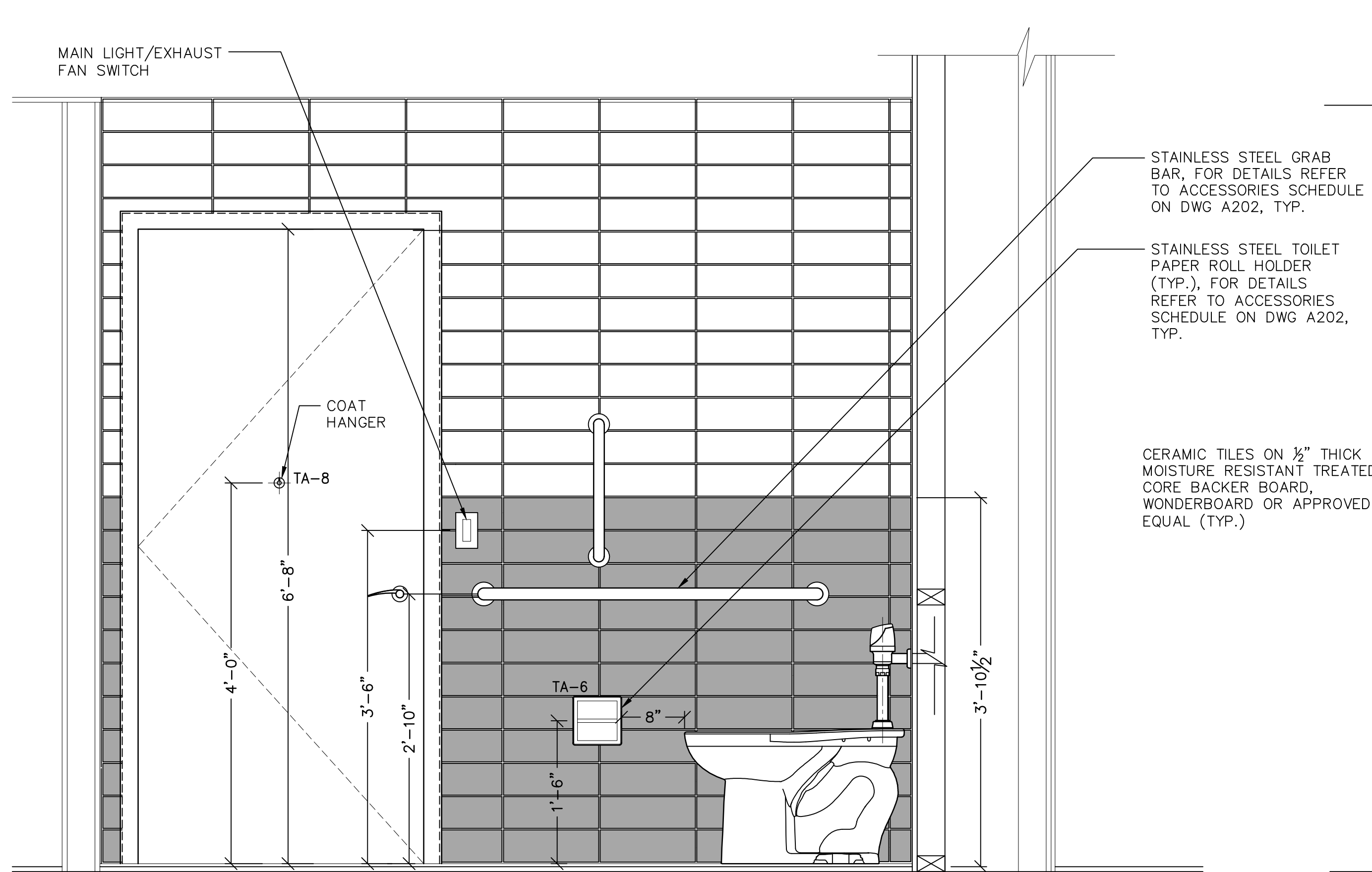
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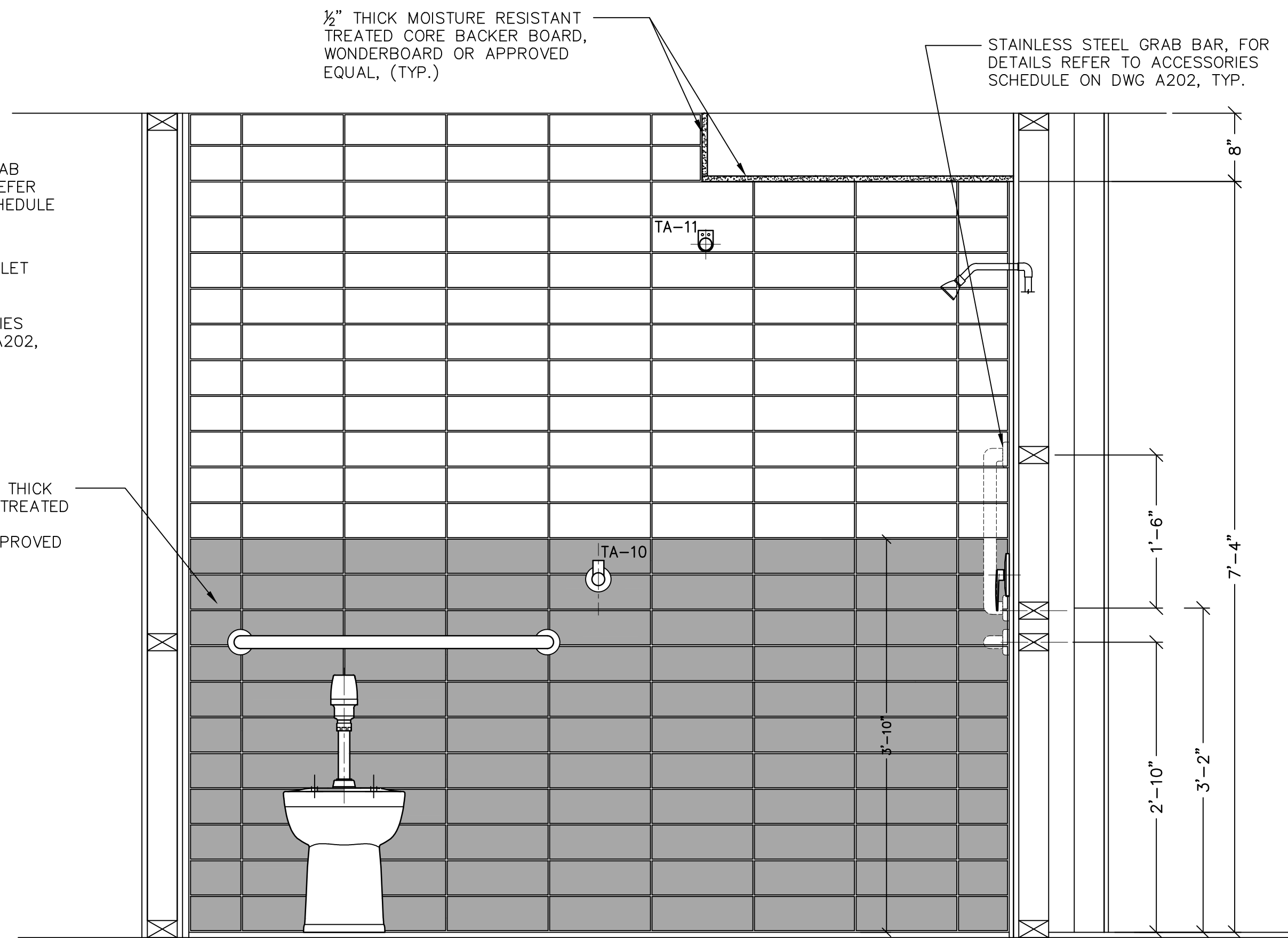
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SU-040623

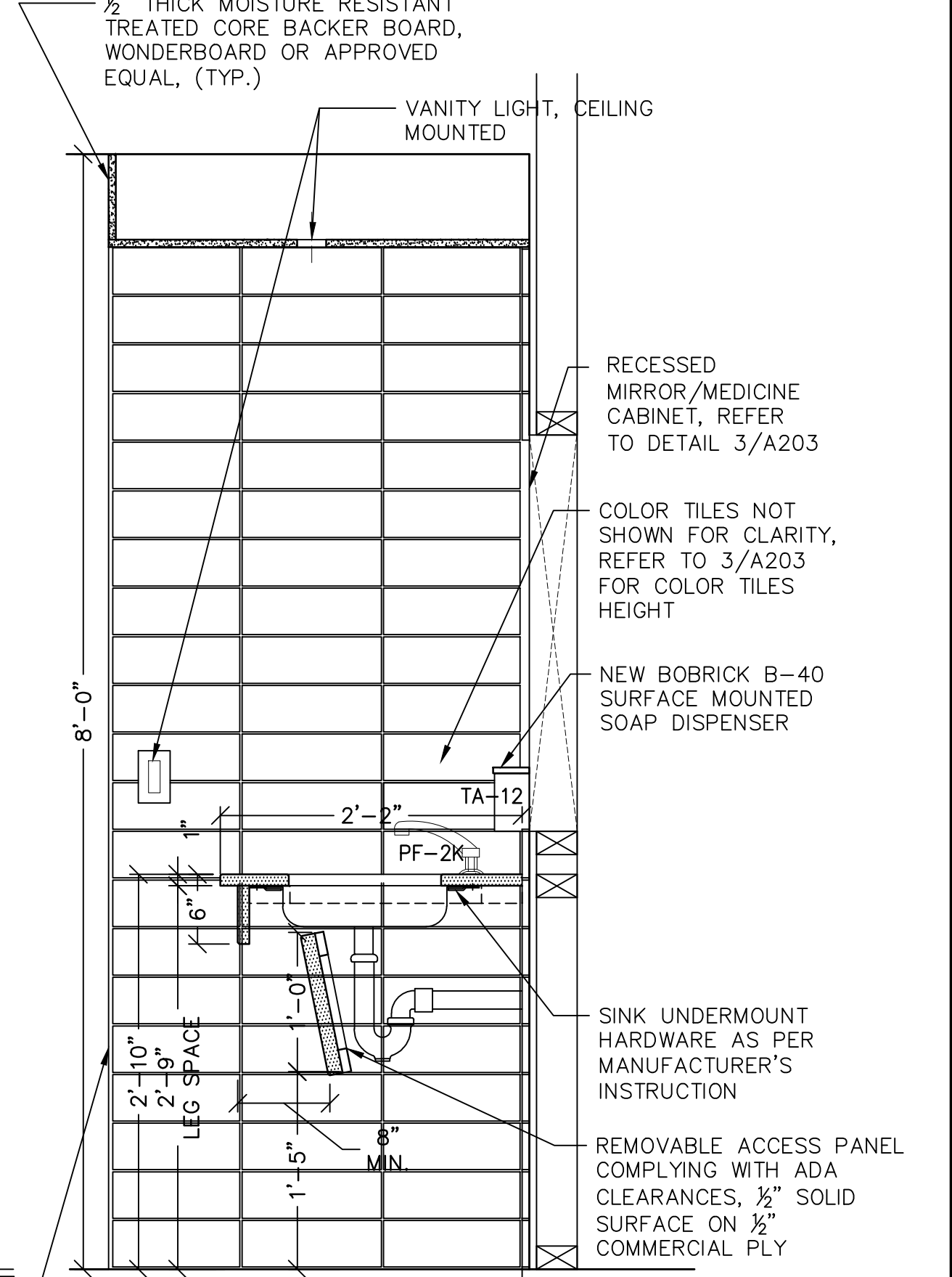


1 ADA BATHROOM ELEVATION 1
A203 0 6" 1' 2' 4'
SCALE: 1" = 1'-0"

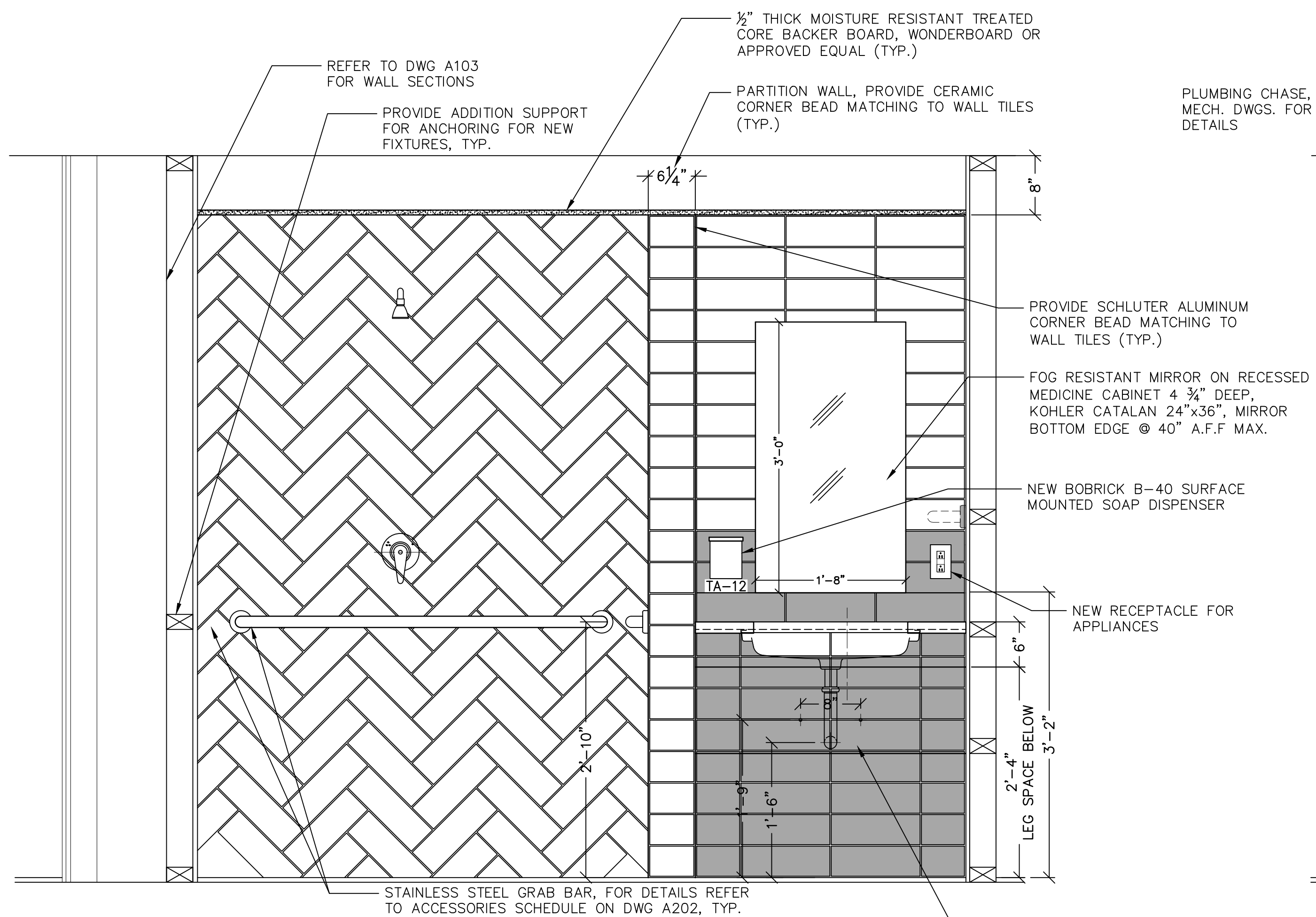


2 ADA BATHROOM ELEVATION 2
A203 0 6" 1' 2' 4'
SCALE: 1" = 1'-0"

NOTE:
TILE COLORS TO BE APPROVED BY EOR,
PROVIDE SAMPES FOR APPROVAL

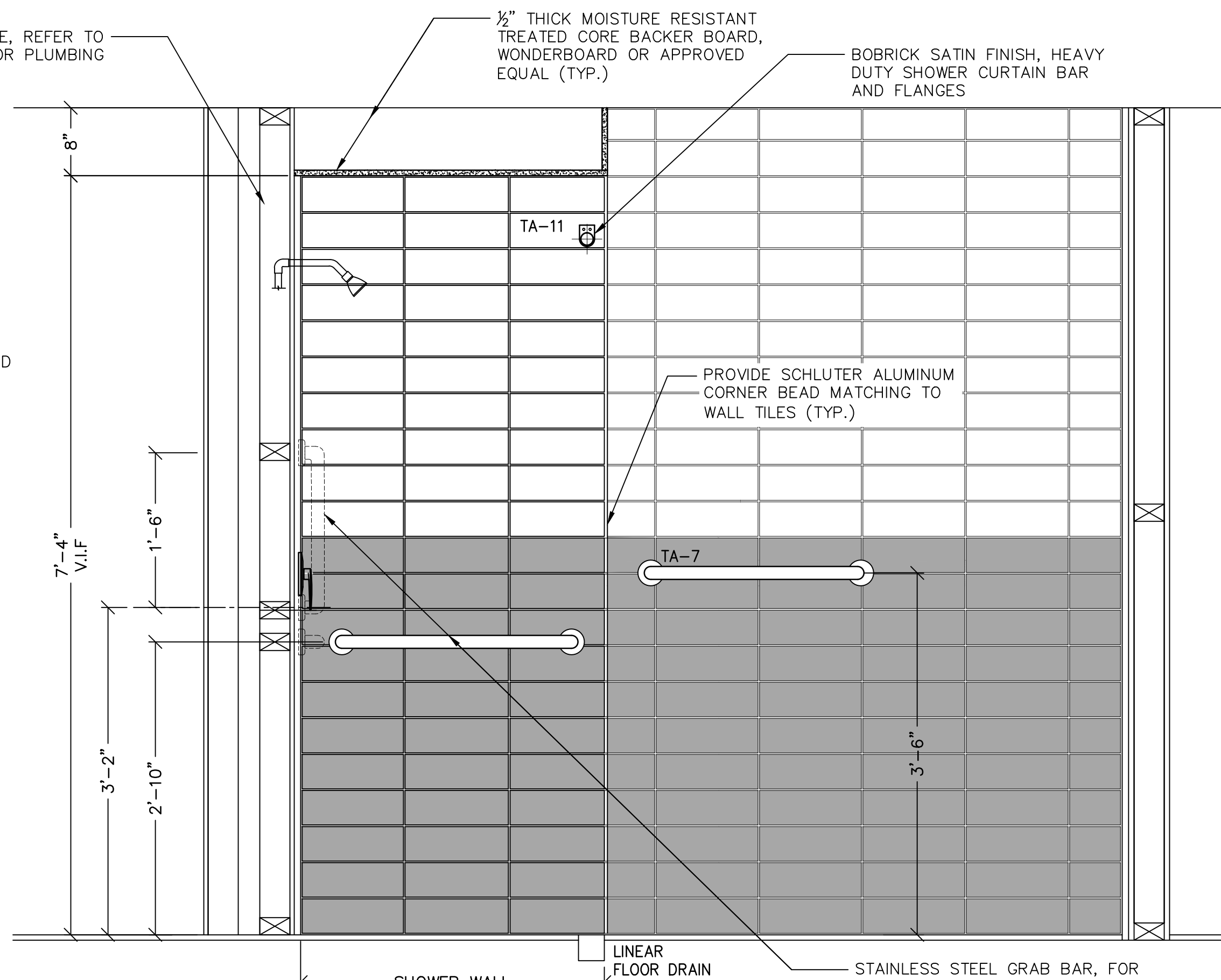


5 SECTION @ SINK
A203 0 6" 1' 2' 4'
SCALE: 1" = 1'-0"



3 ADA BATHROOM ELEVATION 3 (ACCENT WALL)
A203 0 6" 1' 2' 4'
SCALE: 1" = 1'-0"

PLUMBING CHASE, REFER TO MECH. DWGS. FOR PLUMBING DETAILS



4 ADA BATHROOM ELEVATION 4
A203 0 6" 1' 2' 4'
SCALE: 1" = 1'-0"

2	04/06/2023	100% SUBMISSION
1	09/24/2022	80% SUBMISSION
No.	Date	Revision

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Designer:	AKBER AFRIDI, P.E.
Drawn by:	AZHER MALIK
Checked by:	AKBER AFRIDI, P.E.

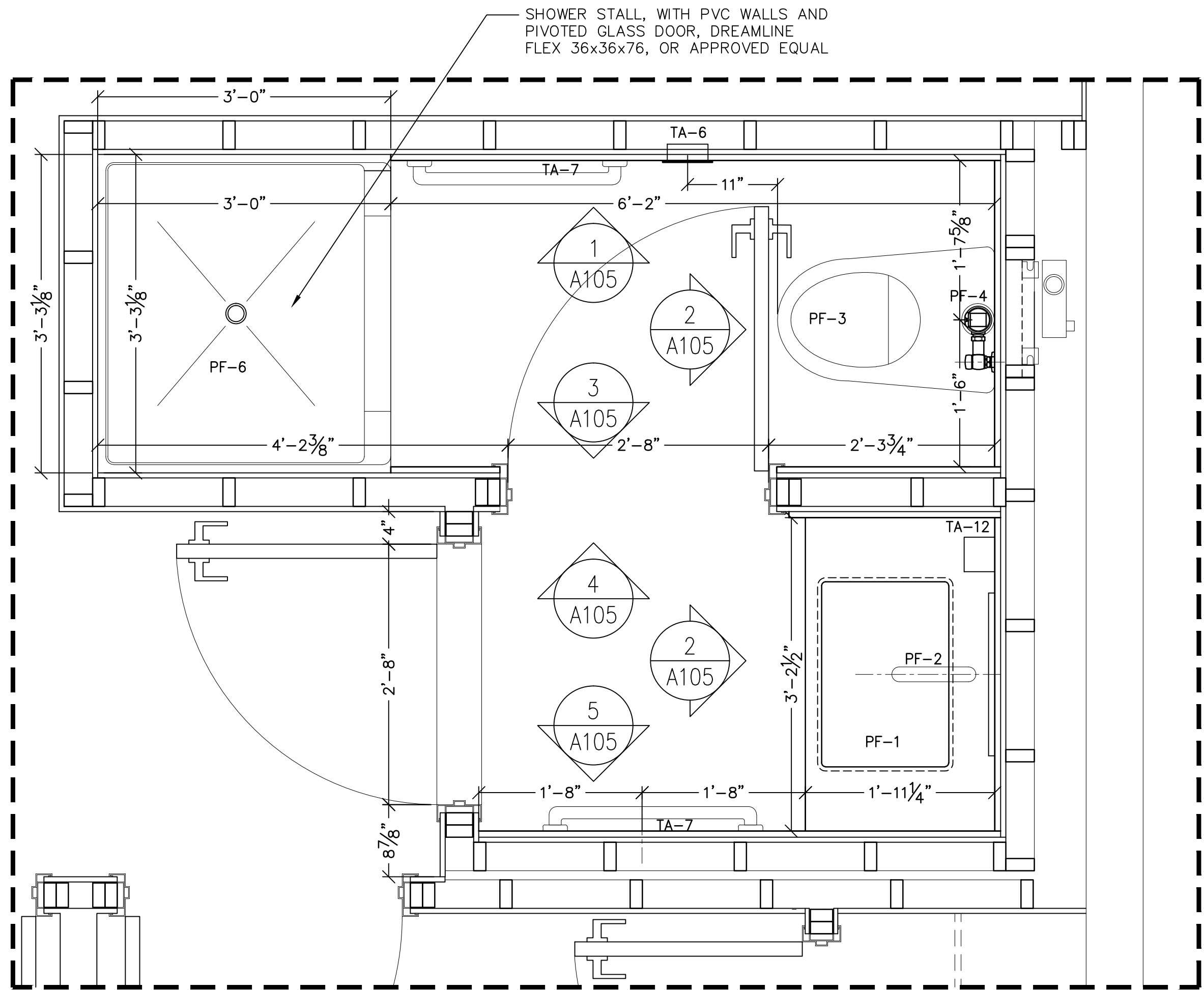
Project:
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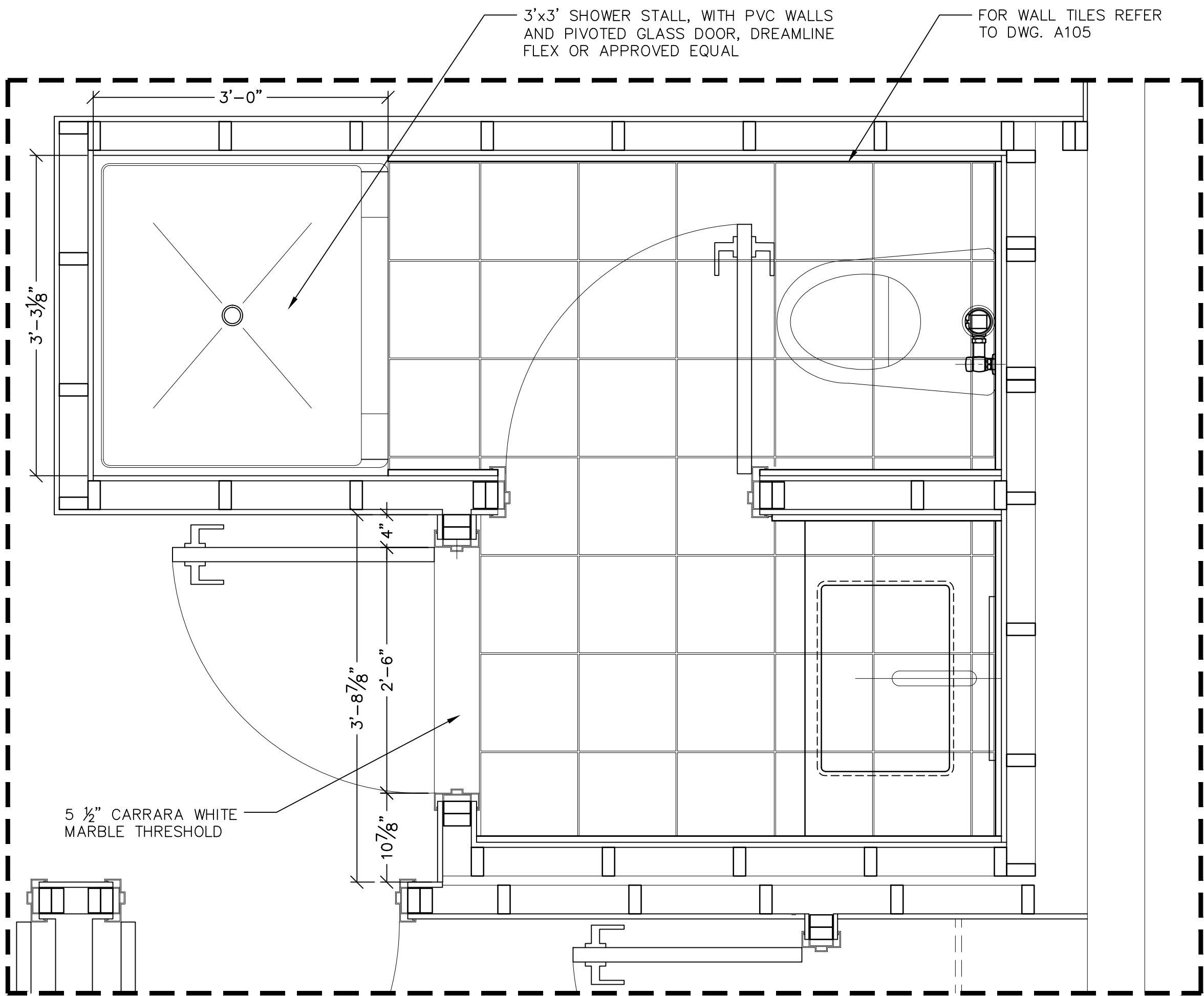
Drawing Title:
**BATHROOM WALL ELEVATIONS &
FINISHES, ADA APARTMENT 10.1**

Drawing No.:	A203.00
Scale:	AS NOTED
Date:	08/24/2020

SU-040623



1 ADA BATHROOM LAYOUT PLAN
A204



2 ADA BATHROOM PLAN - FLOOR TILES
A204

APARTMENT 10.1 PLUMBING FIXTURE SCHEDULE					
MARK	QTY	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
PF-1	1	'STUDIO' UNDERCOUNTER SINK, VITREOUS CHINA	AMERICAN STANDARD	STUDIO - 0618.300	GLAZED UNDERSIDE
PF-1K	1	'RUVATI' MODENA UNDERMOUNT 20 1/2"x17 3/4" BRUSHED SS SINK (16 GAUGE)	RUVATI	MODENA	
PF-2	1	'MONTERREY' TWO HANDLE 8" WIDESPREAD LAVATORY FAUCET	AMERICAN STANDARD	MONTERREY - 6500.170	
PF-2K	1	'HYDROLOCK' SINGLE HANDLE HIGH ARC PULL DOWN KITCHEN FAUCET	MOEN	CA87094 SERIES	
PF-3	1	'MODERA' FLOWISE 16 1/2" (FLUSHOMETER TOILET), 1.28 GPF	AMERICAN STANDARD		
PF-4	1	'SOLIS' SLOAN BATTERY/SOLAR POWERED DUAL FLUSH (8111-1.6/1.1)	SLOAN	8111-1.6/1.1	
PF-5	1	'M-DURA' COMMERCIAL THREE-FUNCTION SHOWER SYSTEM	MOEN	T9342	
PF-6	1	36Dx36Lx76 3/4 H SEMI FRAMLESS DOOR, BASE/BACKWALLS, SATIN CHROME	DREAMLINE	DL-6218C-04CL FLEX	

NOTE: STANDARD CAMPUS WIDE FIXTURES, FINISHES AND OPERATION, G.C. TO COORDINATE.

BATHROOM ACCESSORIES					
MARK	QTY	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
TA-1		BOBRICK B-5806.99x18 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x18	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-2		BOBRICK B-5806.99x24 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x24	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-3		BOBRICK B-5806.99x36 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x36	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-4		BOBRICK B-5806.99x42 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x42	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-5		BOBRICK B-5806.99x48 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x48	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-6	1	BOBRICK COMMERCIAL TOILET PAPER DISPENSER	BOBRICK WASHROOM EQUIPMENT, INC.	B-6677	S.S. SATIN FIN.
TA-7	1	KOHLER, MEDICINE CABINET, RECESSED-MOUNTED	KOHLER	CATALAN	ANODIZED ALUMINUM (20 1/8"x36 1/8")
TA-8	1	BOBRICK B-542, SATIN FINISH STAINLESS STEEL COAT HOOK	BOBRICK WASHROOM EQUIPMENT, INC.	B-9542	S.S. SATIN FIN.
TA-9	2	BOBRICK B-530x18, TOWEL BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-530x18	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-10		BOBRICK B-6777, SATIN FINISH STAINLESS STEEL TOWEL PIN	BOBRICK WASHROOM EQUIPMENT, INC.	B-6777	S.S. SATIN FIN.
TA-11		BOBRICK B-207x60, CLOSET ROD/CONCEALED MOUNT	BOBRICK WASHROOM EQUIPMENT, INC.	B-207x60	S.S. SATIN FIN.
TA-12	1	BOBRICK B-40, SURFACE MOUNTED SOAP DISPENSER	BOBRICK WASHROOM EQUIPMENT, INC.	B-40 (ADA)	POLYETHYLENE FIN.(BLACK)

NOTES

1. LEVEL SUBFLOOR AS REQUIRED PRIOR TO INSTALLING FINISH FLOOR.
2. STAGGER SUBFLOOR JOINTS IN BOTH DIRECTIONS.
3. PROVIDE COLOR SAMPLES AND FULL SIZE TILE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION OF TILES/VINYL PLANKS.
4. FOR SHOWER AREA, BATHROOM AND KITCHEN WALLS, USE SCHLUTER KERDI MEMBRANE, CORNER STRIPS AND FIXTURE AND FAUCET SEALS.
5. FOR BATHROOM FLOOR UNCOUPLING MEMBRANE, USE SCHLUTER DITRA OR APPROVED EQUAL.
6. DOOR STOP IN BATHROOM, TO BE INSTALLED ON BASEBOARD/TILED WALL. DO NOT INSTALL ON FINISH FLOOR.
7. ELECTRICAL RECEPTACLES NEAR WET AREA TO BE GFCI OUTLETS.

LEGEND

- VINYL FLOOR PLANK (VF-01)
- 12"x12" CERAMIC TILES (KITCHEN)
- 12"x12" CERAMIC FLOOR TILES (BATHROOM)
- PLYWOOD/SUBFLOOR

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Designer: AKBER AFRIDI, P.E.

Drawn by: AZHER MALIK

Checked by: AKBER AFRIDI, P.E.

Project:
**INTERIOR RENOVATIONS OF
ALUMNI VILLAGE APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**

Address:
735 Anderson Hill Road
Purchase NY 10577

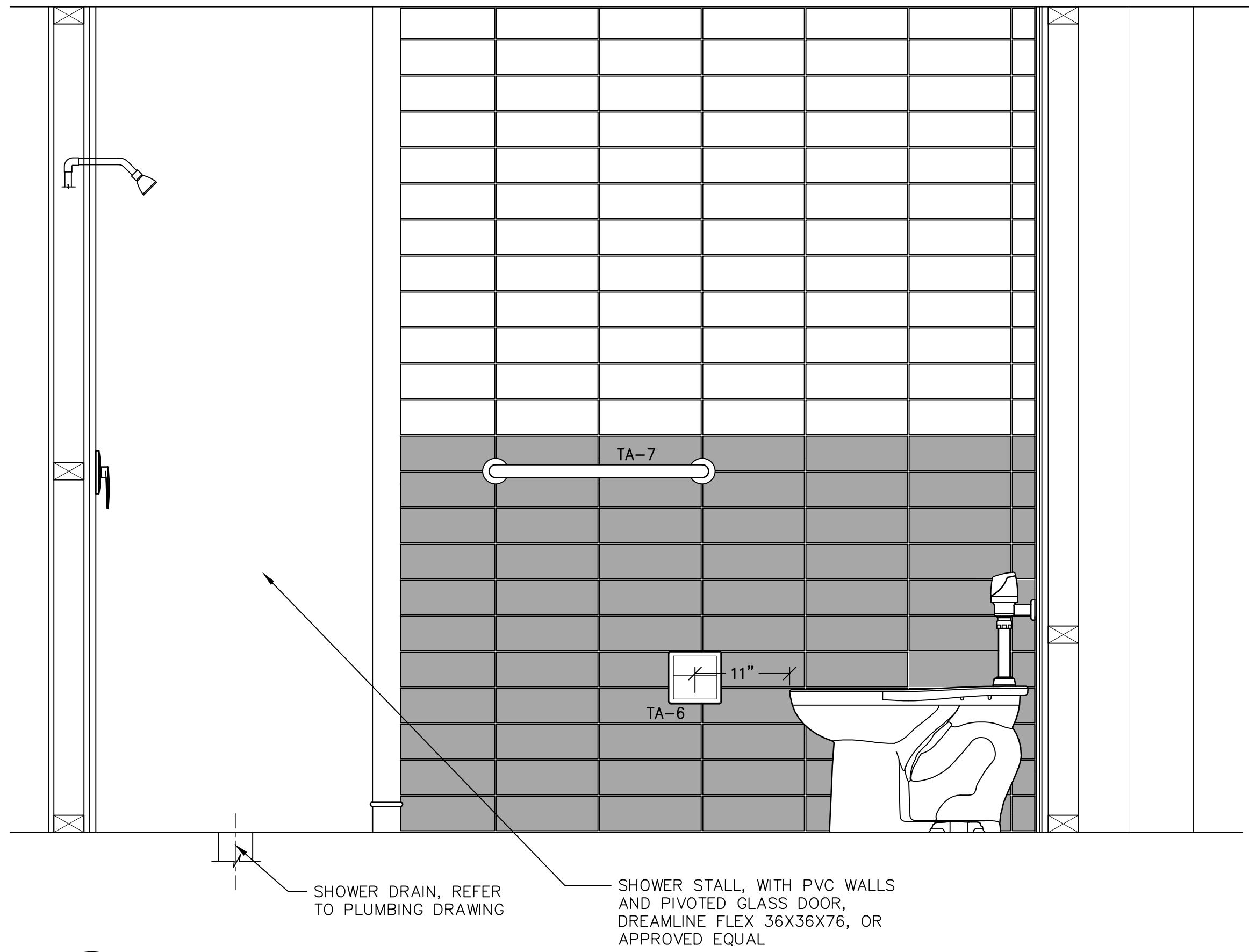
Drawing Title:
**ENLARGED BATHROOM PLANS
APARTMENT 10.3**

Drawing No.:

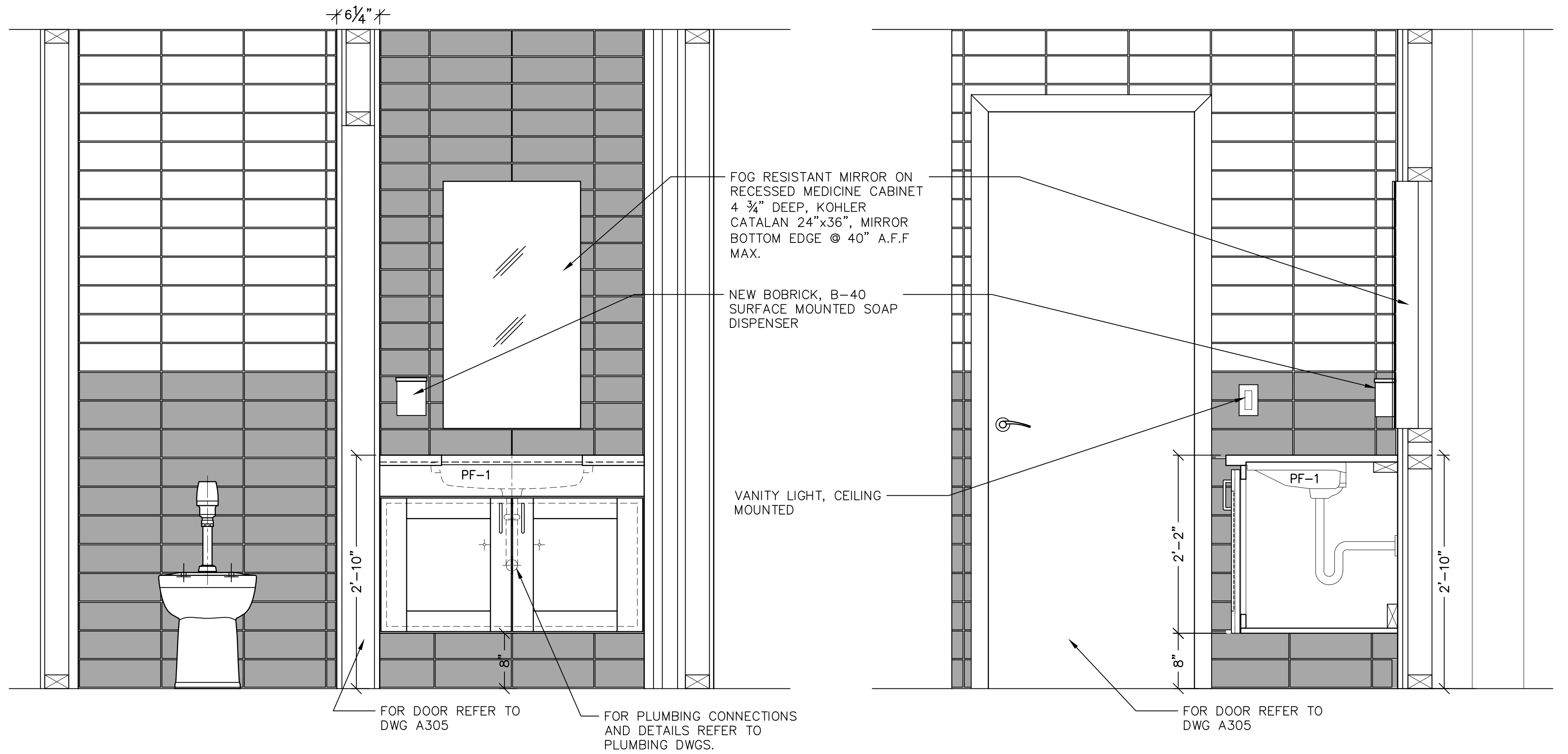
A204.00

Scale: AS NOTED

Date: 08/24/2020

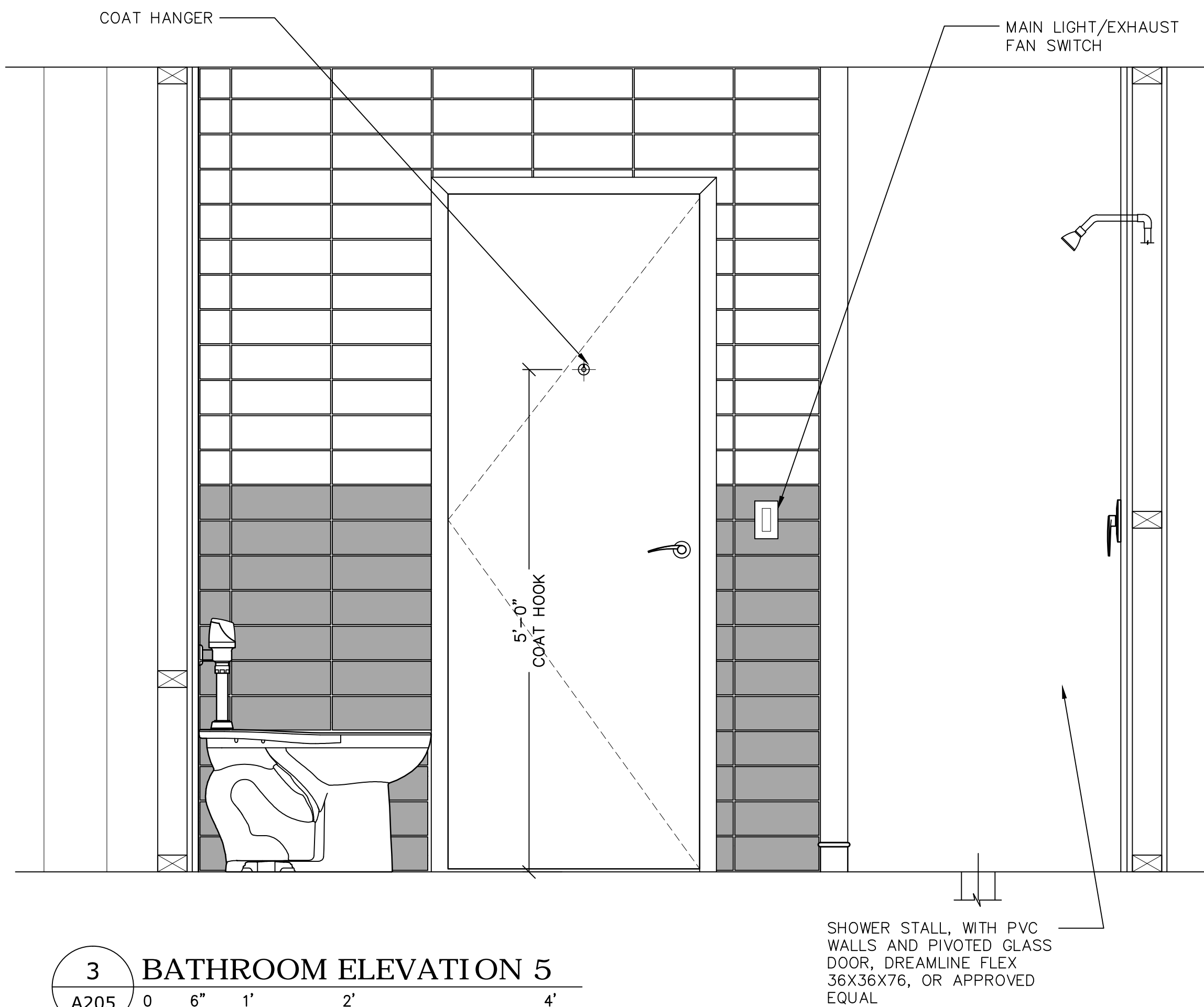


1 BATHROOM ELEVATION 1
A205
SCALE: 1" = 1'-0"

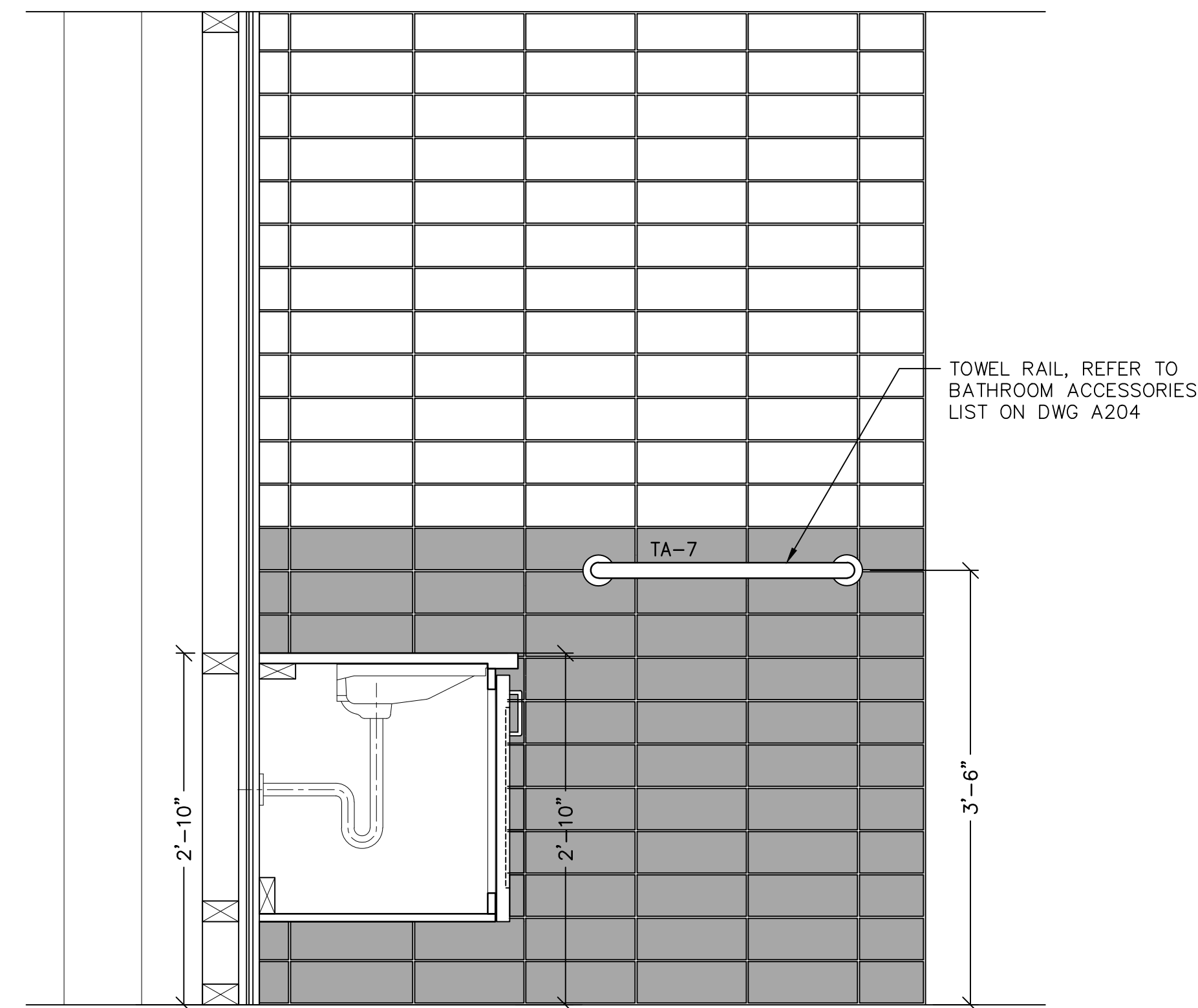


2 BATHROOM ELEVATION 2
A205
SCALE: 1" = 1'-0"

4 BATHROOM ELEVATION 4
A205
SCALE: 1" = 1'-0"



3 BATHROOM ELEVATION 3
A205
SCALE: 1" = 1'-0"



5 BATHROOM ELEVATION 4
A205
SCALE: 1" = 1'-0"

2	04/06/2023	100% SUBMISSION
1	09/24/2022	80% SUBMISSION
No.	Date	Revision

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Drawn by:	AZHER MALIK
Checked by:	AKBER AFRIDI, P.E.

Project:

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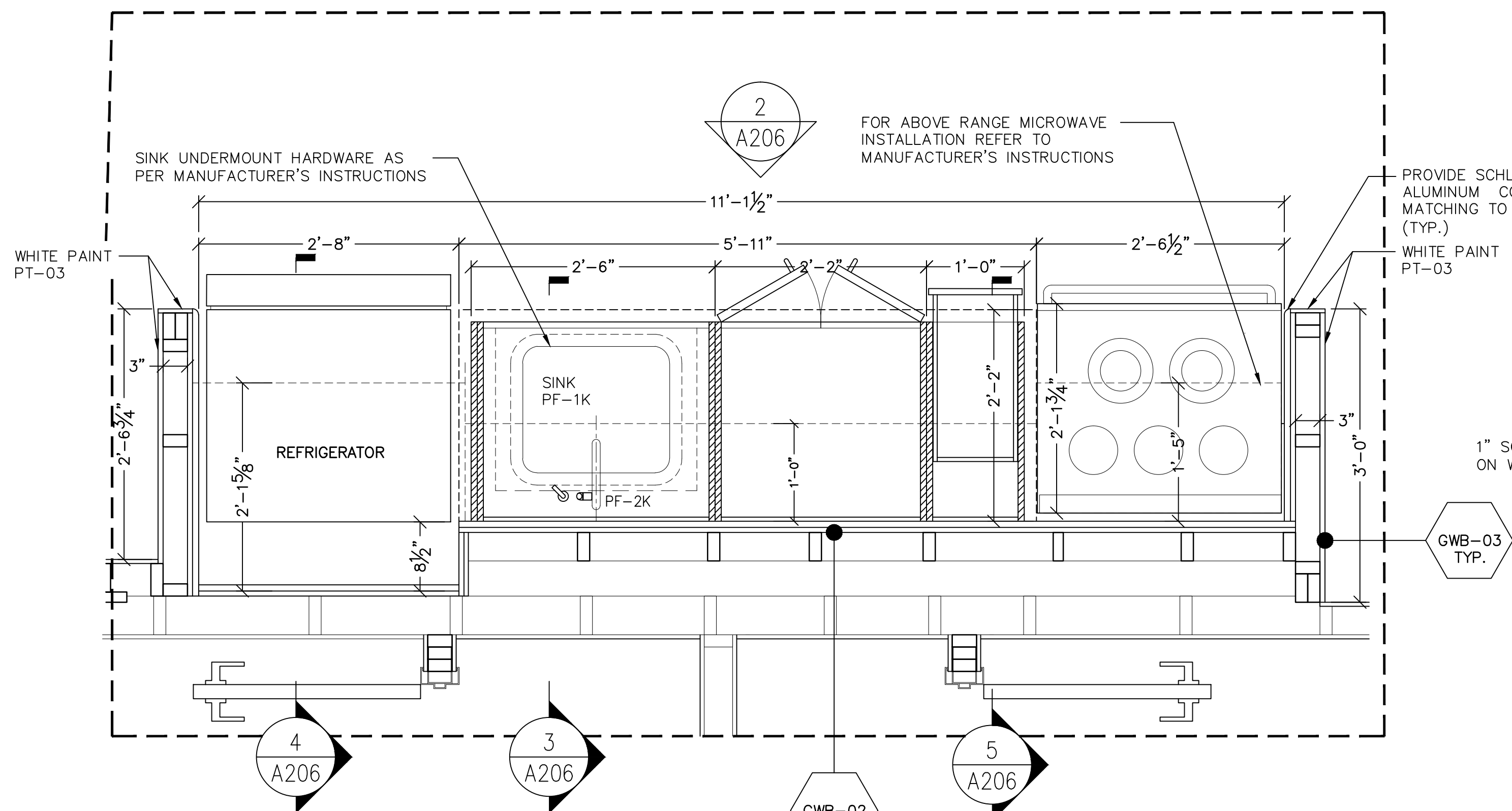
Address:

735 Anderson Hill Road
Purchase NY 10577

Drawing Title:

**BATHROOM WALL ELEVATIONS &
FINISHES, APARTMENT 10.3**

Drawing No.:	A205.00
Scale:	AS NOTED
Date:	08/24/2020

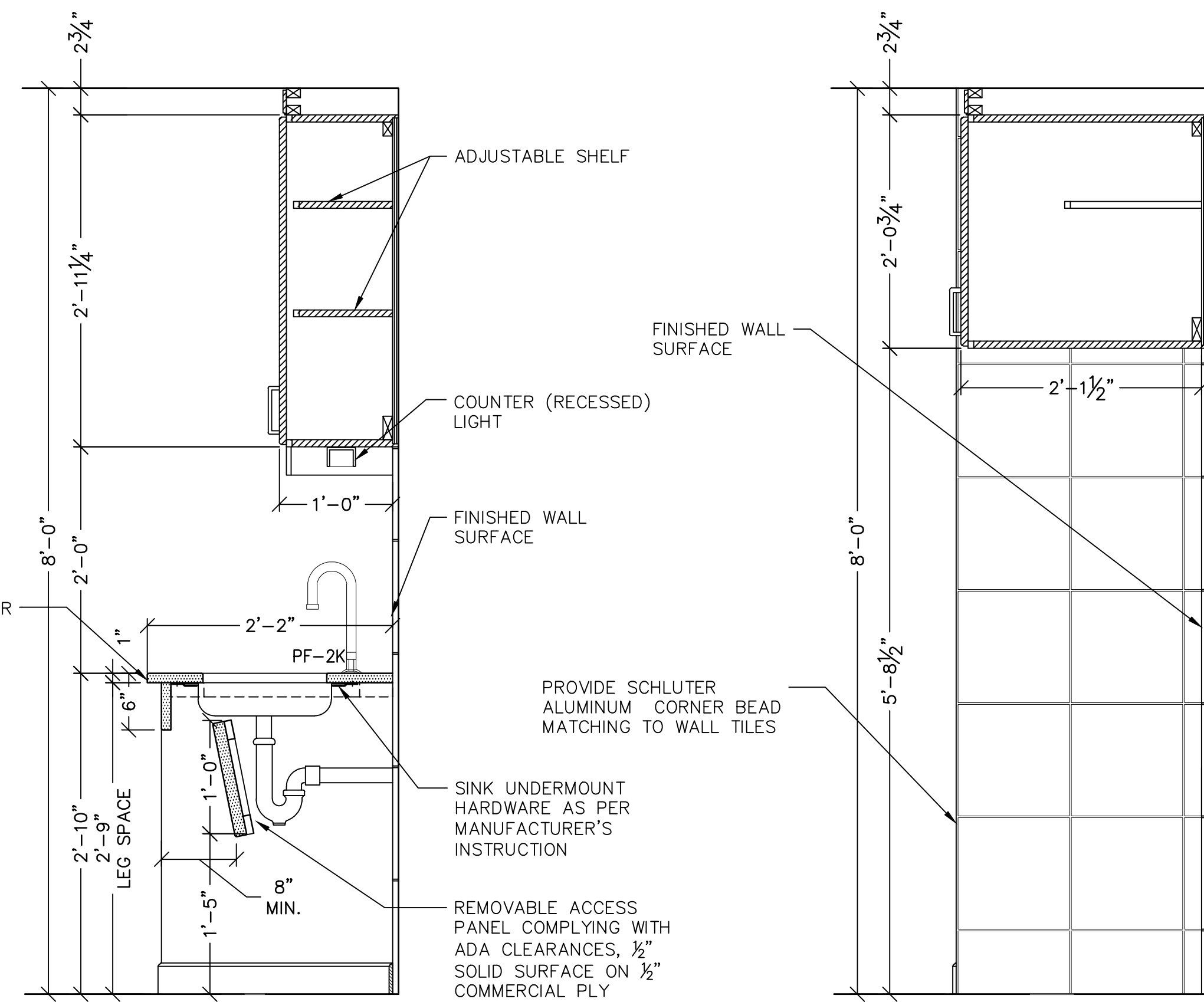


1 ENLARGED LAYOUT PLAN

A206

0 6" 1' 2' 4'

SCALE: 1" = 1'-0"



3 SECTION @ SINK

A206

0 6" 1' 2' 4'

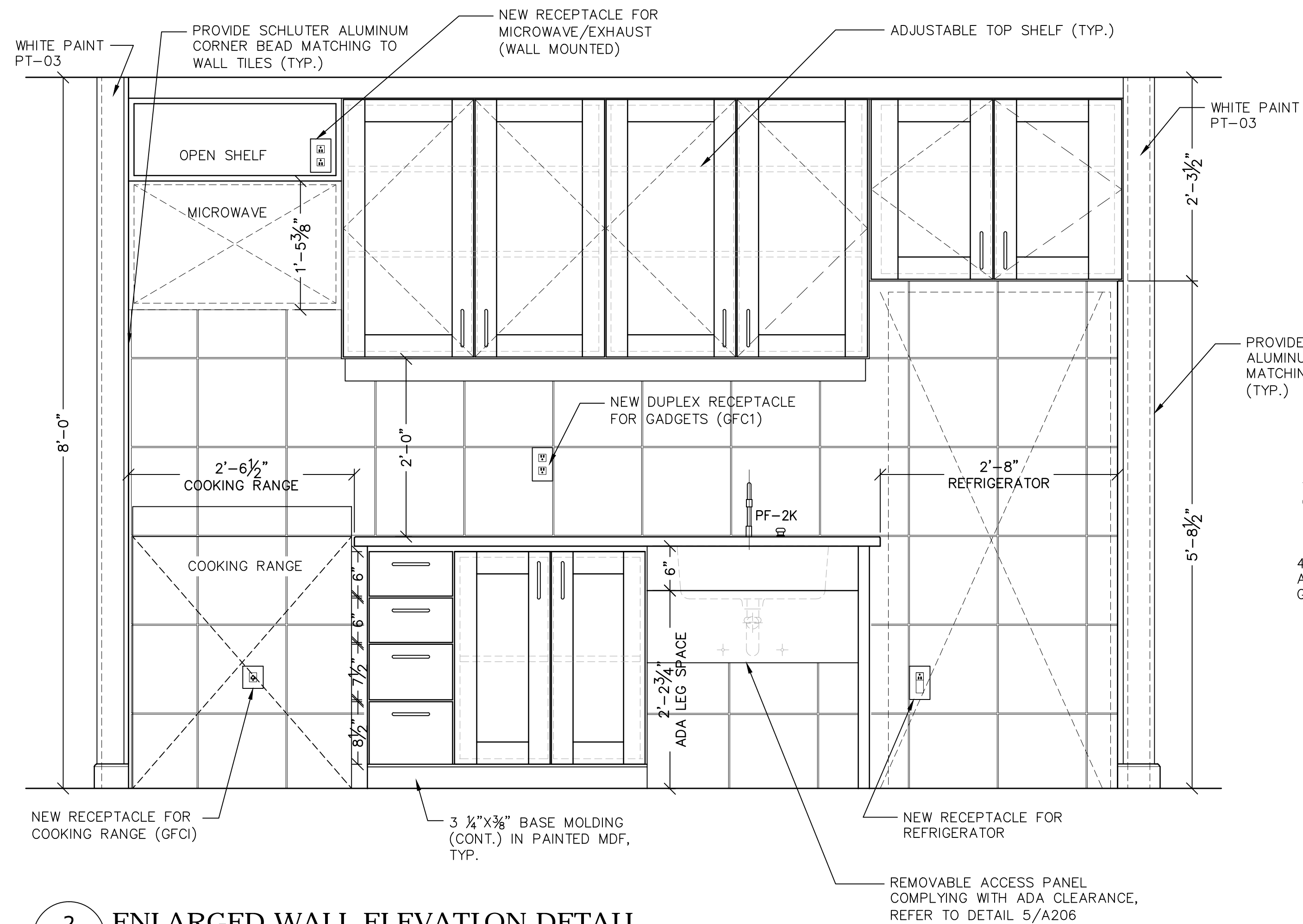
SCALE: 1" = 1'-0"

4 SECTION @ REFRIGERATOR

A206

0 6" 1' 2' 4'

SCALE: 1" = 1'-0"

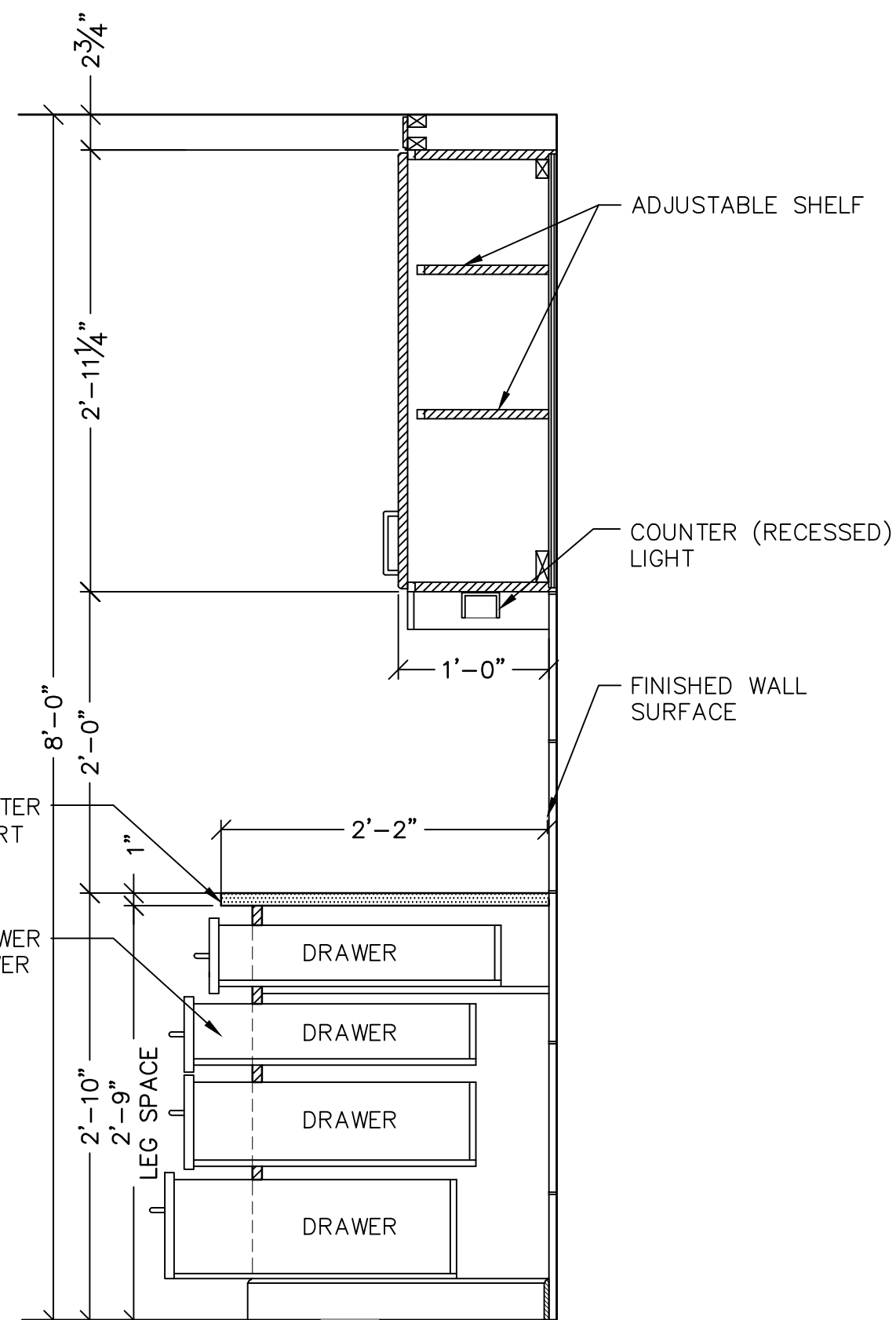


2 ENLARGED WALL ELEVATION DETAIL

A206

0 6" 1' 2' 4'

SCALE: 1" = 1'-0"



5 SECTION @ KITCHEN DRAWERS

A206

0 6" 1' 2' 4'

SCALE: 1" = 1'-0"

NOTES

1. LEVEL SUBFLOOR AS REQUIRED PRIOR TO INSTALLING FINISH FLOOR.
2. STAGGER SUBFLOOR JOINTS IN BOTH DIRECTIONS.
3. PROVIDE COLOR SAMPLES AND FULL SIZE TILE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION OF TILES/VINYL PLANKS.
4. FOR SHOWER AREA, BATHROOM AND KITCHEN WALLS, USE SCHLUTER KERDI MEMBRANE, CORNER STRIPS AND FIXTURE AND FAUCET SEALS.
5. FOR BATHROOM FLOOR UNCOUPLING MEMBRANE, USE SCHLUTER DITRA OR APPROVED EQUAL.
6. DOOR STOP IN BATHROOM, TO BE INSTALLED ON BASEBOARD/TILED WALL. DO NOT INSTALL ON FINISH FLOOR.
7. ELECTRICAL RECEPTACLES NEAR WET AREA TO BE GFCI OUTLETS.

LEGEND

- VINYL FLOOR PLANK (VF-01)
- CERAMIC TILES (KITCHEN)
- 12"x12" CERAMIC FLOOR TILES (BATHROOM)
- 2"x2" CERAMIC FLOOR TILES (SHOWER)
- PLYWOOD/SUBFLOOR

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Drawn by: AZHER MALIK

Checked by: AKBER AFRIDI, P.E.

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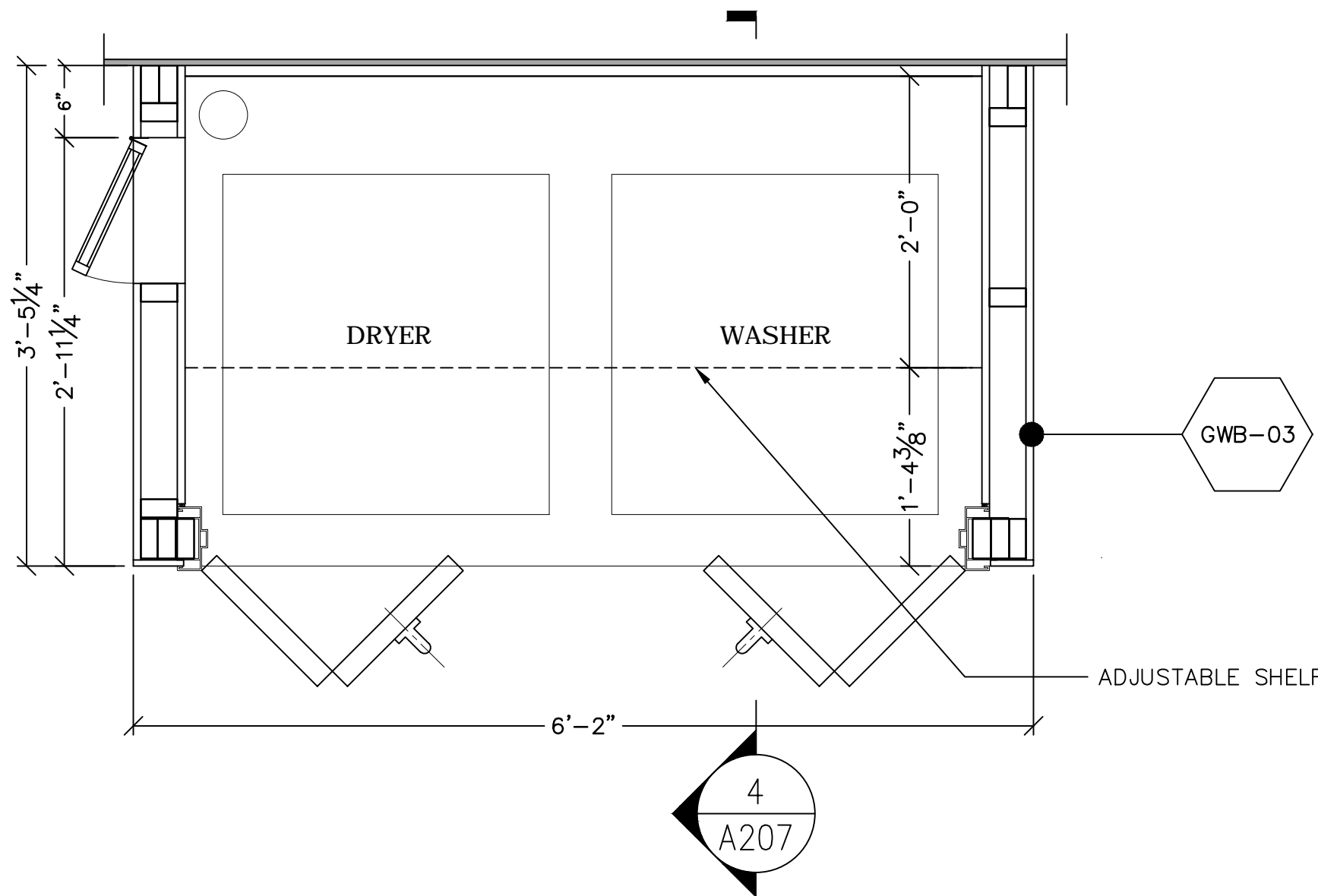
Drawing Title:
ENLARGED KITCHEN DETAILS,
ADA APARTMENT 10.1

Drawing No.:
A206.00

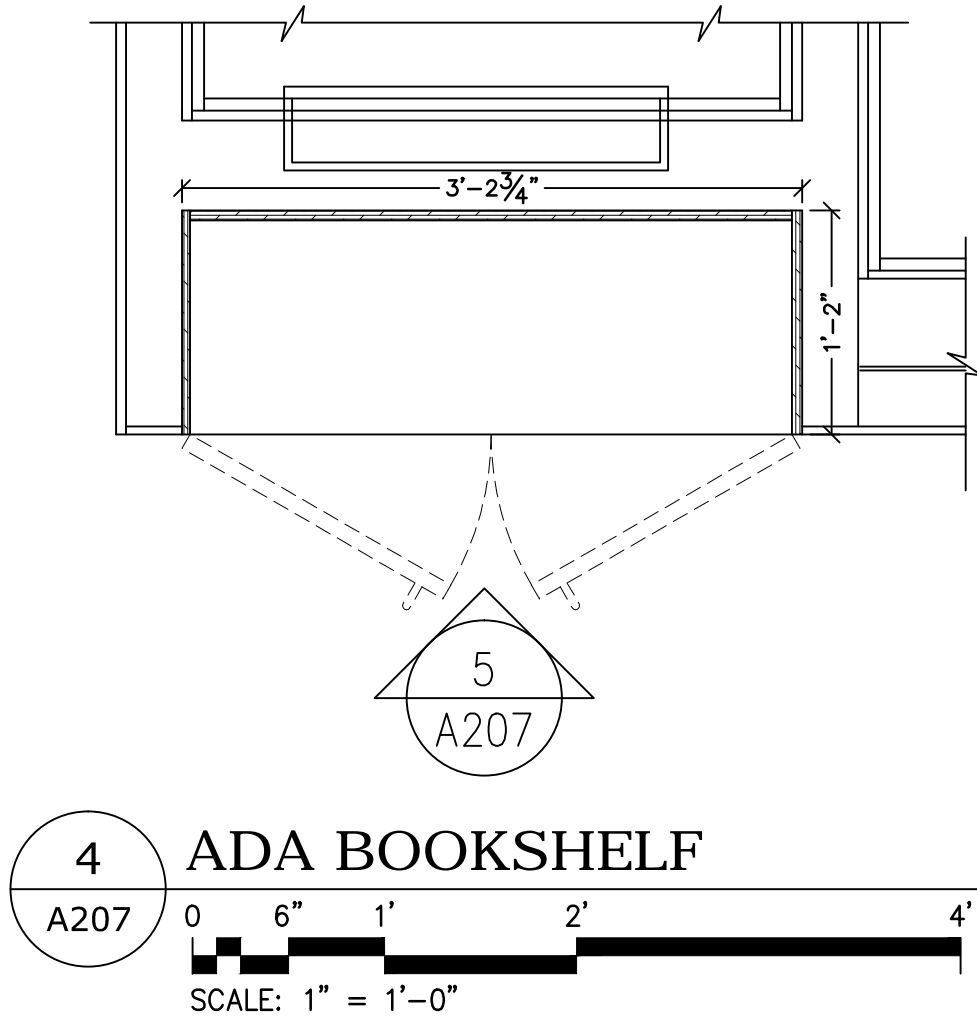
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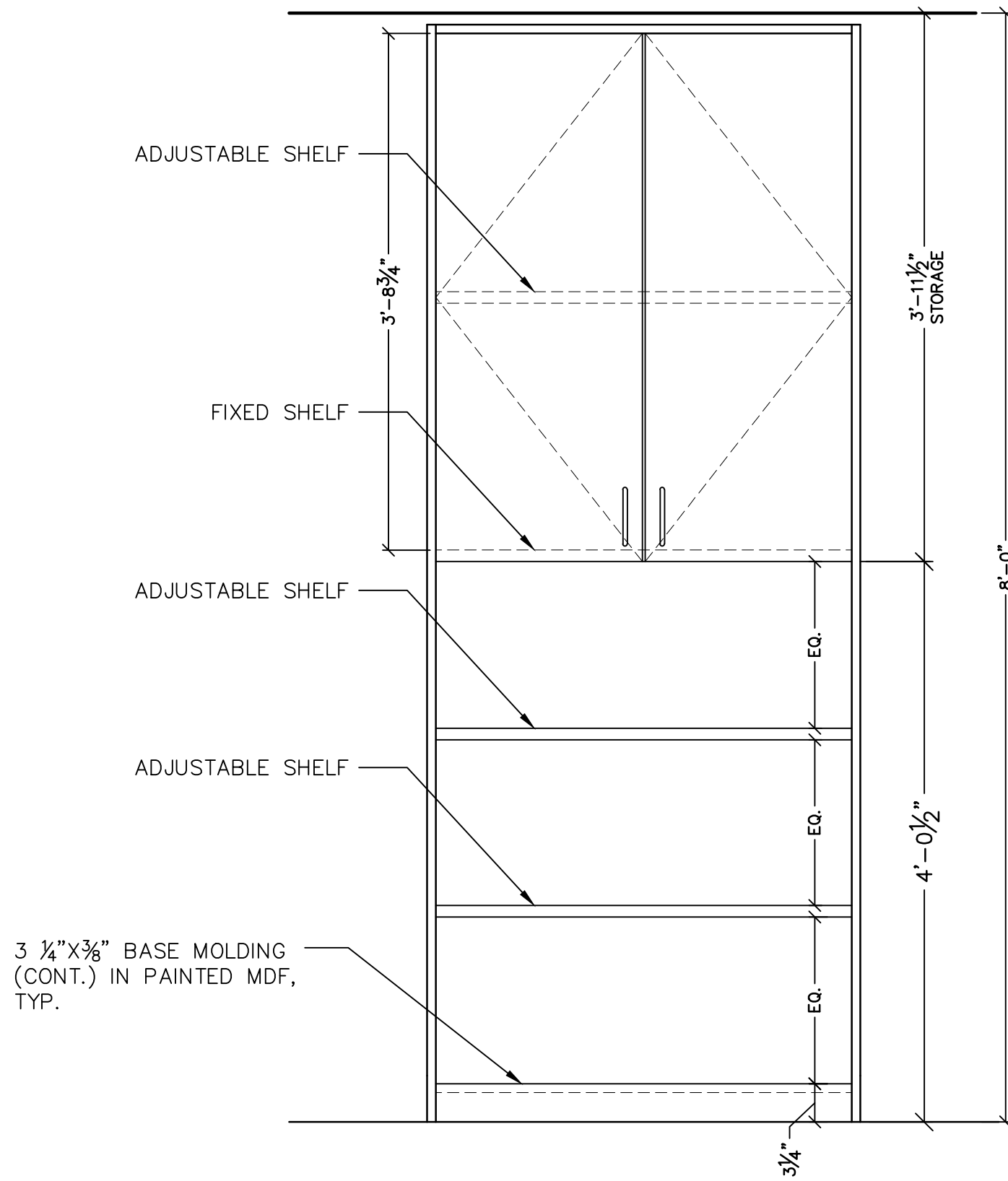
SU-040623



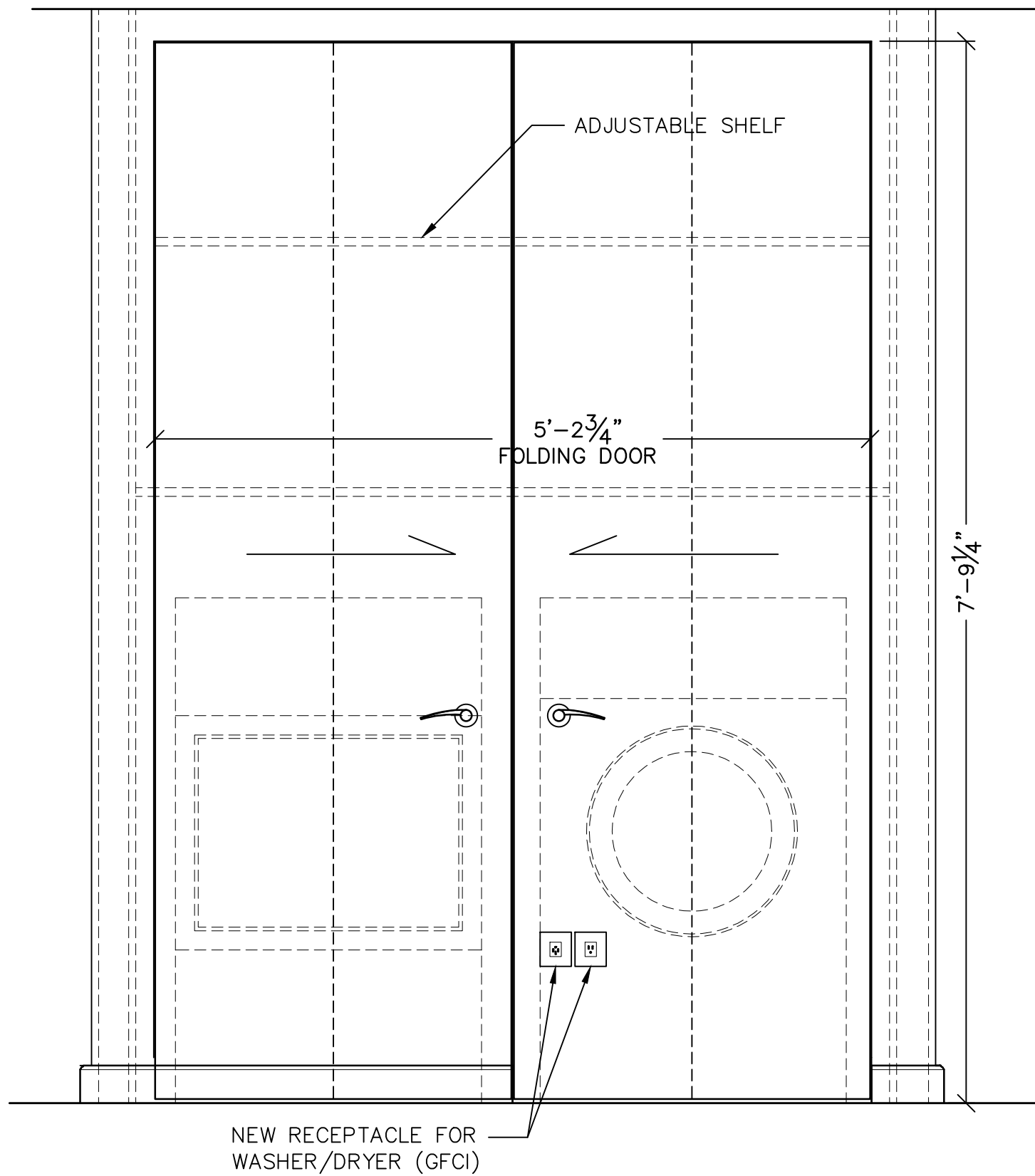
1 ADA LAUNDRY/UTILITY CLOSET
A207
SCALE: 1" = 1'-0"



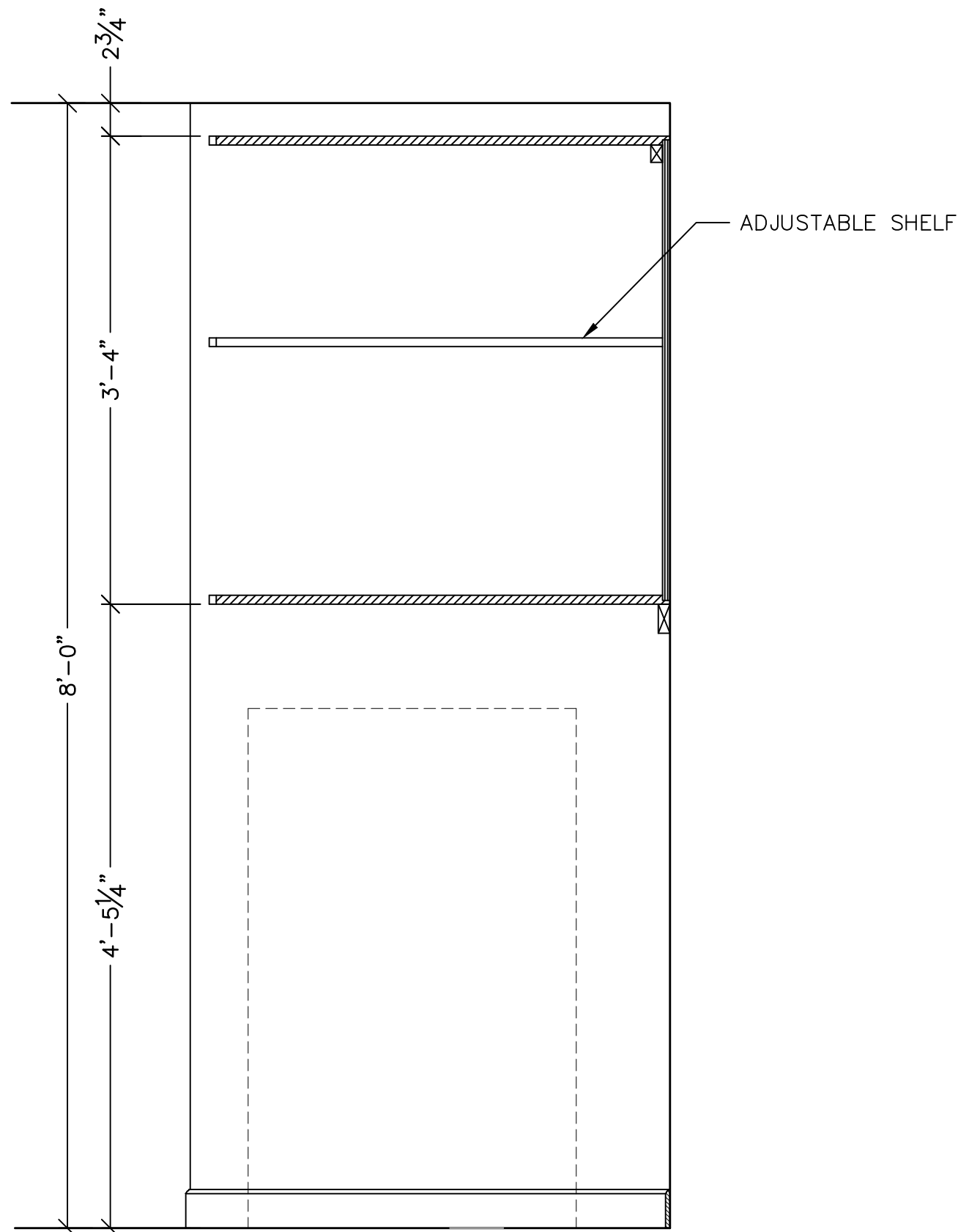
4 ADA BOOKSHELF
A207
SCALE: 1" = 1'-0"



5 ELEV. BOOK SHELF (10.1)
A207
SCALE: 1" = 1'-0"



2 ADA KITCHEN SINK SECTION
A207
SCALE: 1" = 1'-0"



3 ADA LAUNDRY CABINET
A207
SCALE: 1" = 1'-0"

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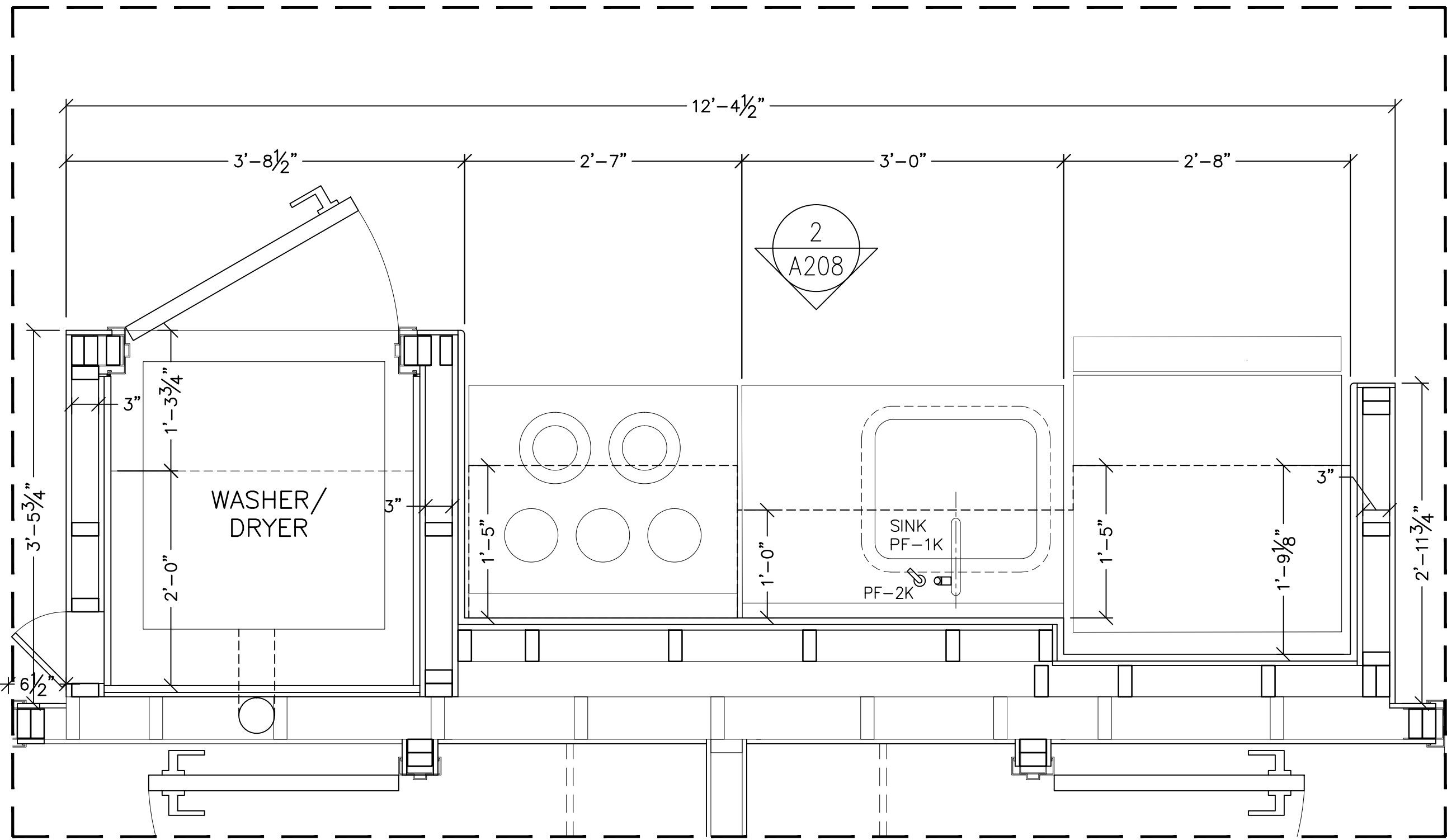
Drawing Title:
**MILLWORK DETAILS
ADA APARTMENT 10.1**

Drawing No.:
A207.00

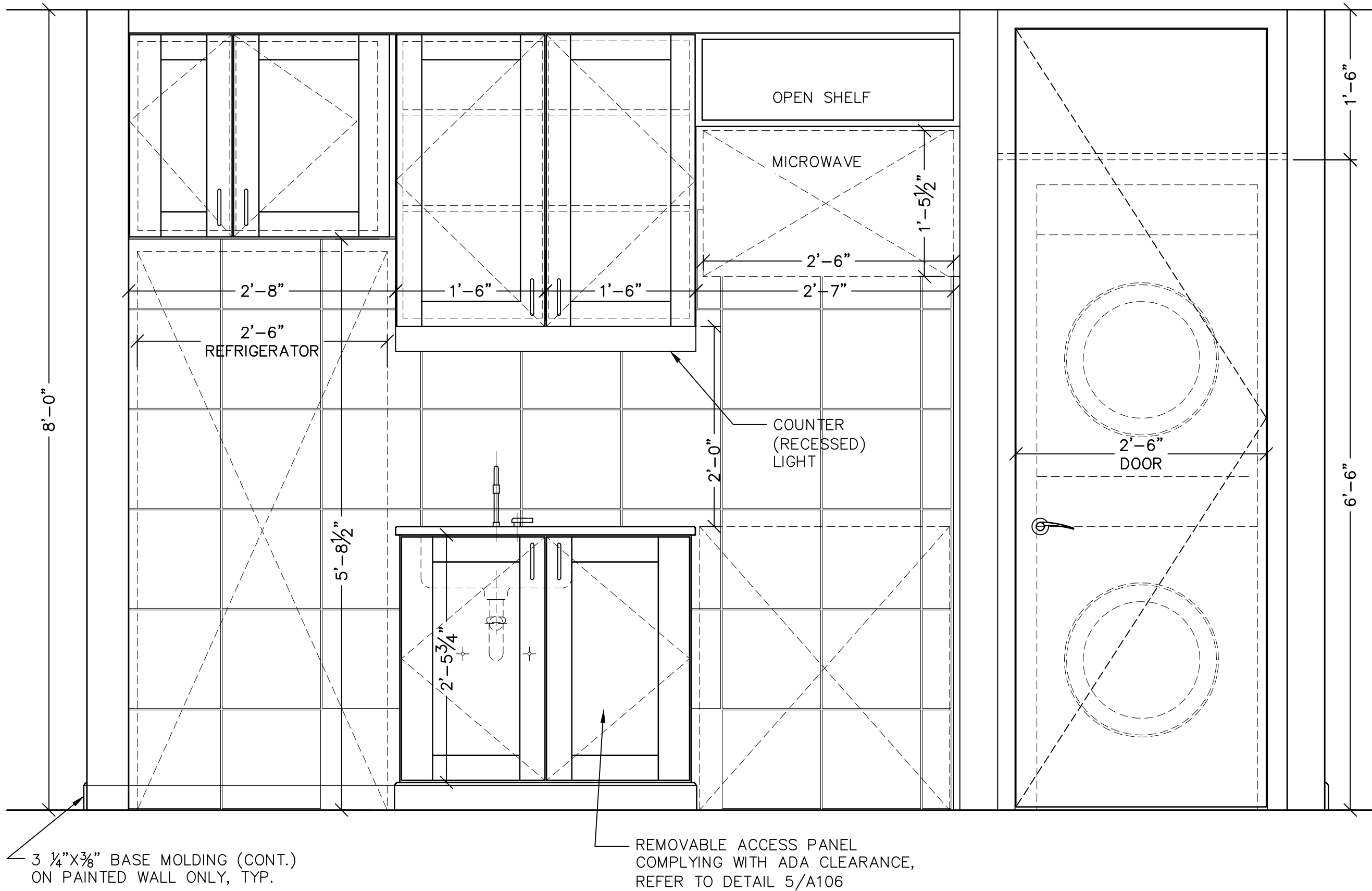
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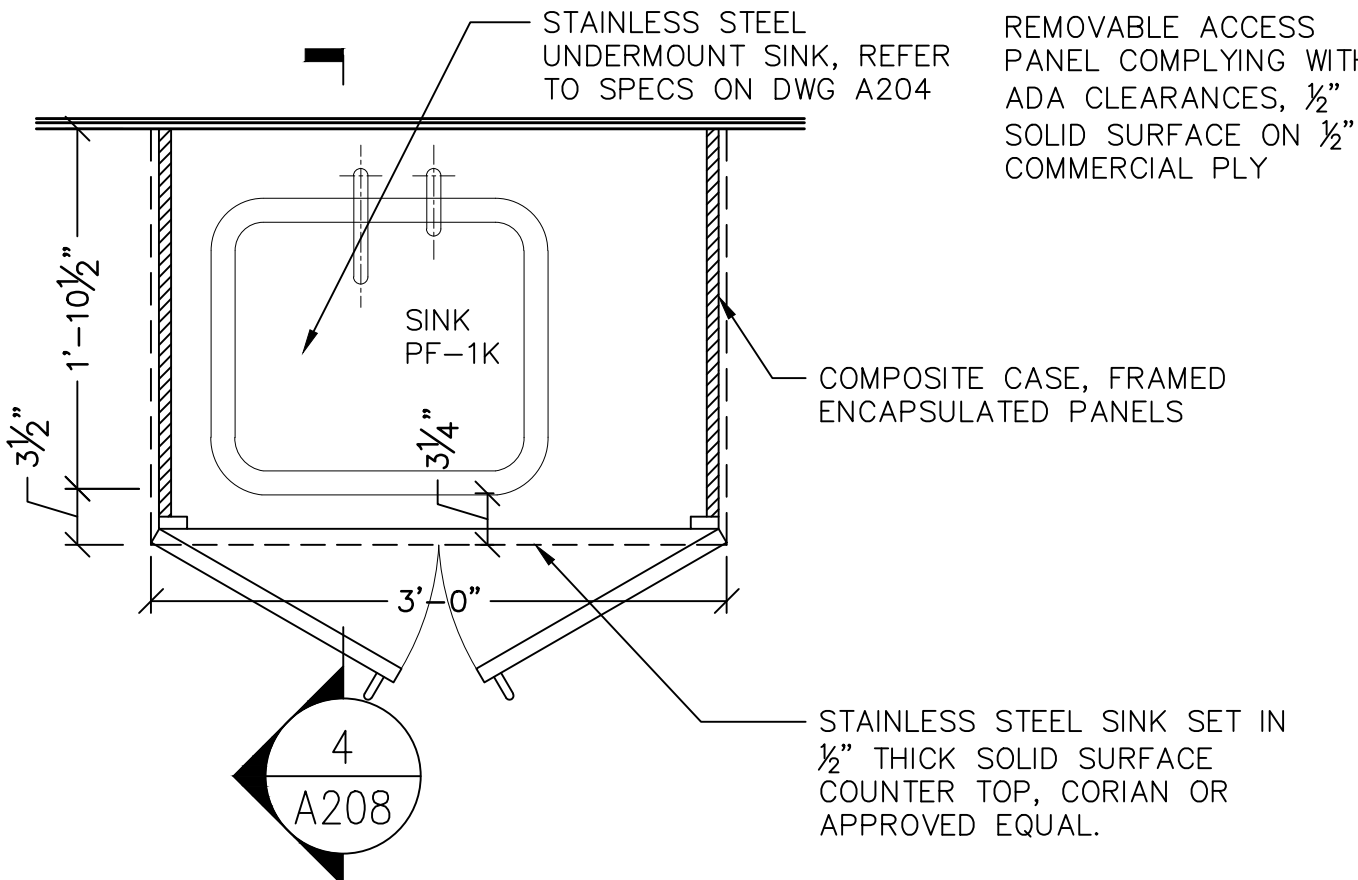
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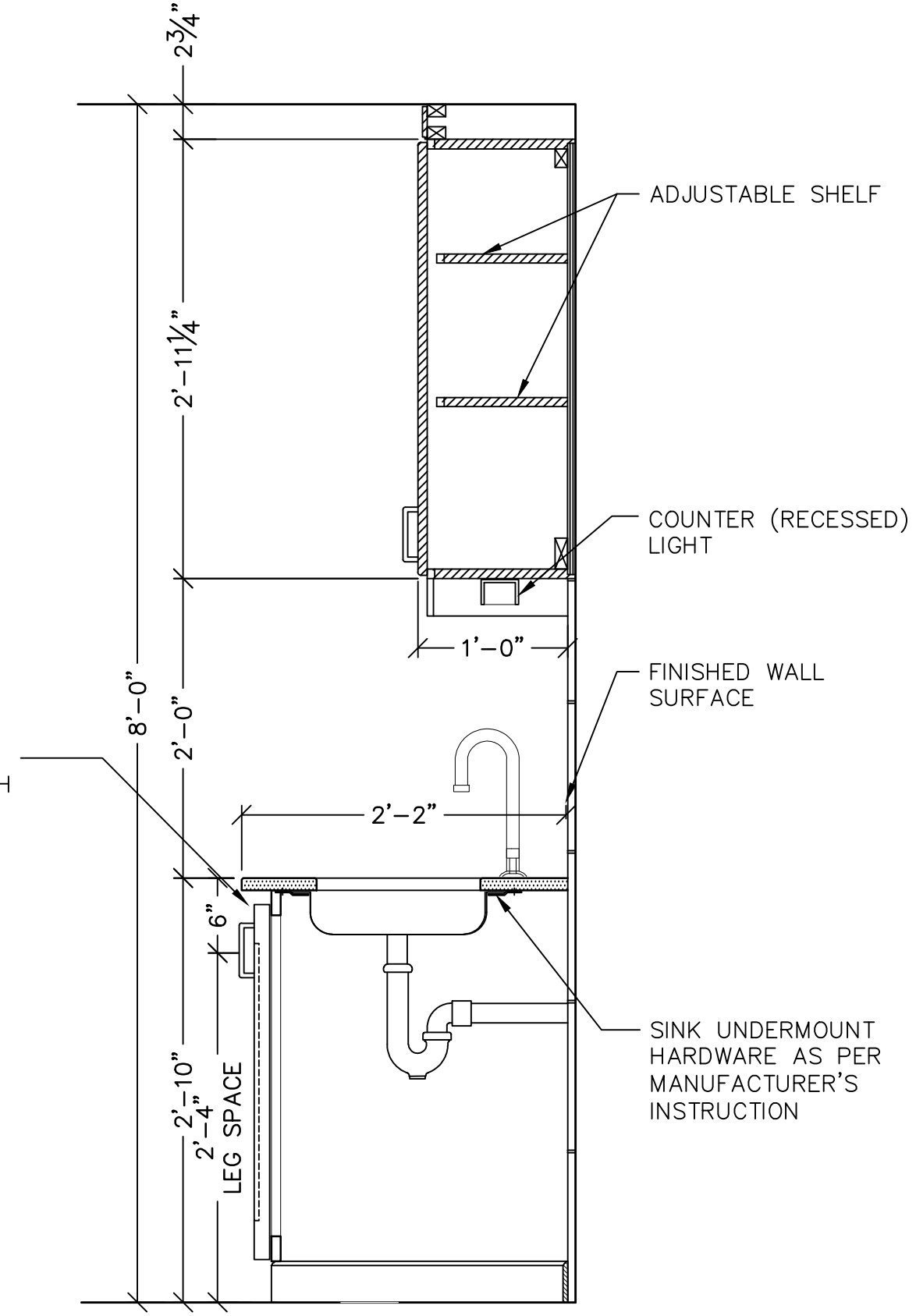
1 ENLARGED LAYOUT PLAN
A206
0 6" 1' 2' 4'
SCALE: 1" = 1'-0"



2 ELEVATION - WALL/TILE DETAILS
A208
0 6" 1' 2' 4'
SCALE: 1" = 1'-0"



3 ADA KITCHEN SINK DETAIL
A208
0 6" 1' 2' 4'
SCALE: 1" = 1'-0"



4 KITCHEN SINK DETAIL
A208
0 6" 1' 2' 4'
SCALE: 1" = 1'-0"

- NOTES**
1. LEVEL SUBFLOOR AS REQUIRED PRIOR TO INSTALLING FINISH FLOOR.
 2. STAGGER SUBFLOOR JOINTS IN BOTH DIRECTIONS.
 3. PROVIDE COLOR SAMPLES AND FULL SIZE TILE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION OF TILES/VINYL PLANKS.
 4. FOR SHOWER AREA, BATHROOM AND KITCHEN WALLS, USE SCHLUTER KERDI MEMBRANE, CORNER STRIPS AND FIXTURE AND FAUCET SEALS.
 5. FOR BATHROOM FLOOR UNCOUPLING MEMBRANE, USE SCHLUTER DITRA OR APPROVED EQUAL.
 6. DOOR STOP IN BATHROOM, TO BE INSTALLED ON BASEBOARD/TILED WALL. DO NOT INSTALL ON FINISH FLOOR.
 7. ELECTRICAL RECEPTACLES NEAR WET AREA TO BE GFCI OUTLETS.

- LEGEND**
- VINYL FLOOR PLANK (VF-01)
 - 12"x12" CERAMIC TILES (KITCHEN)
 - 12"x12" CERAMIC FLOOR TILES (BATHROOM)
 - PLYWOOD/SUBFLOOR

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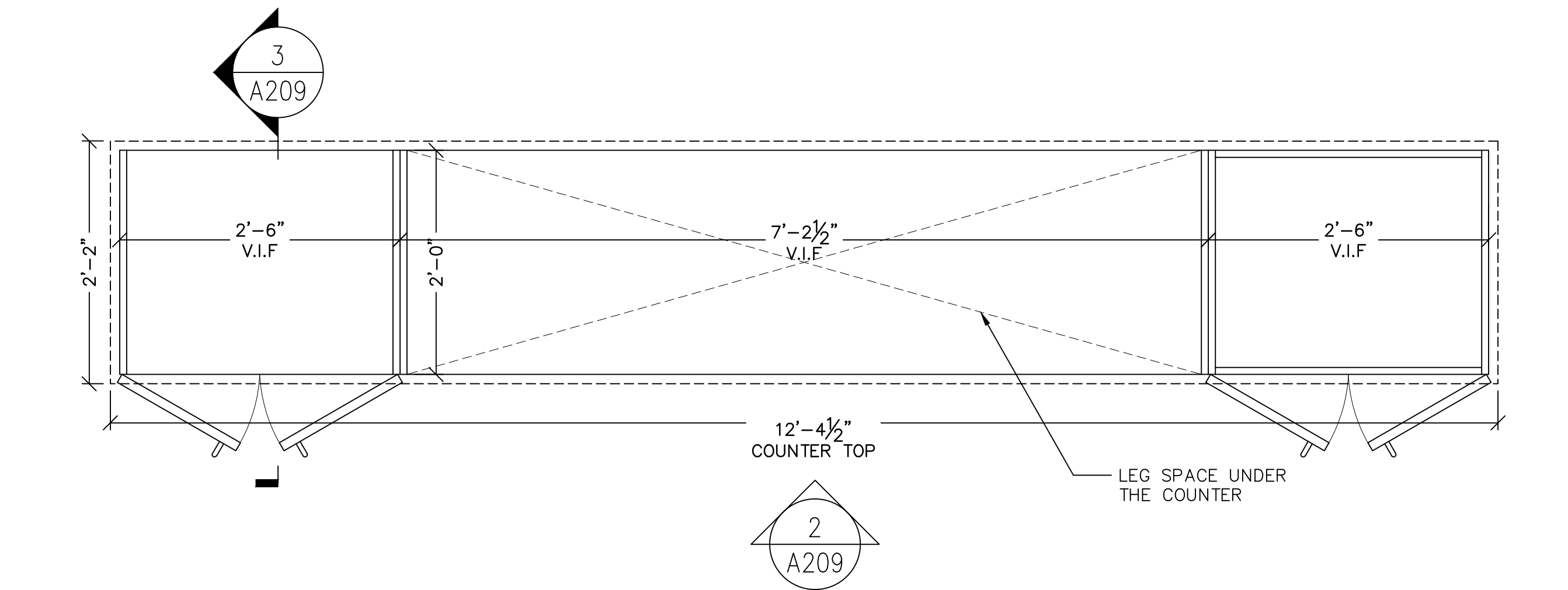
Designer: AKBER AFRIDI, P.E.
Drawn by: AZHER MAJID
Checked by: AKBER AFRIDI, P.E.

Project:
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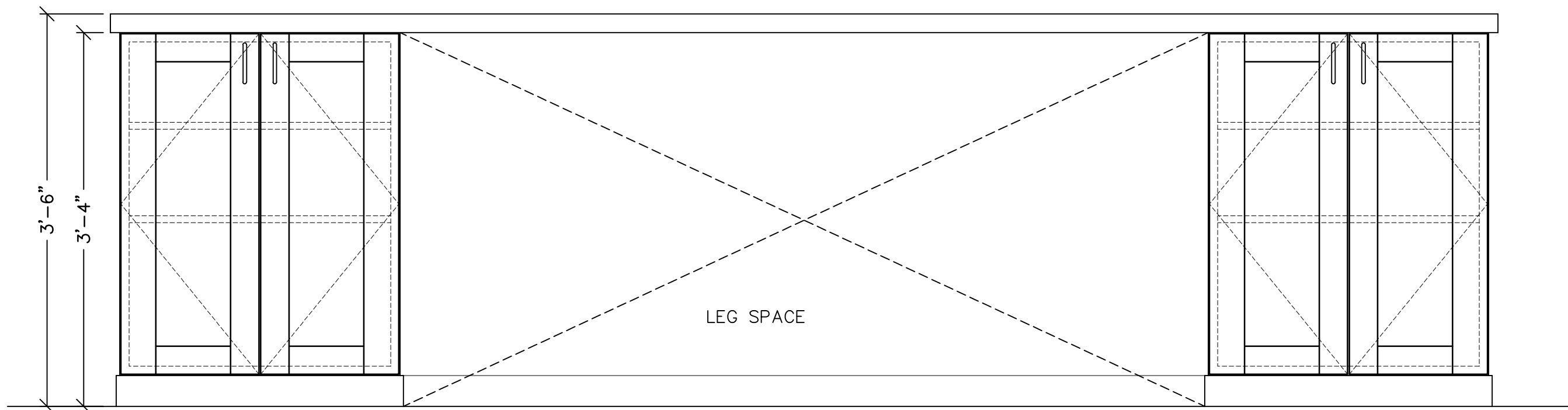
Address:
735 Anderson Hill Road
Purchase NY 10577

Drawing Title:
**ENLARGED KITCHEN DETAILS,
APARTMENT 10.3**

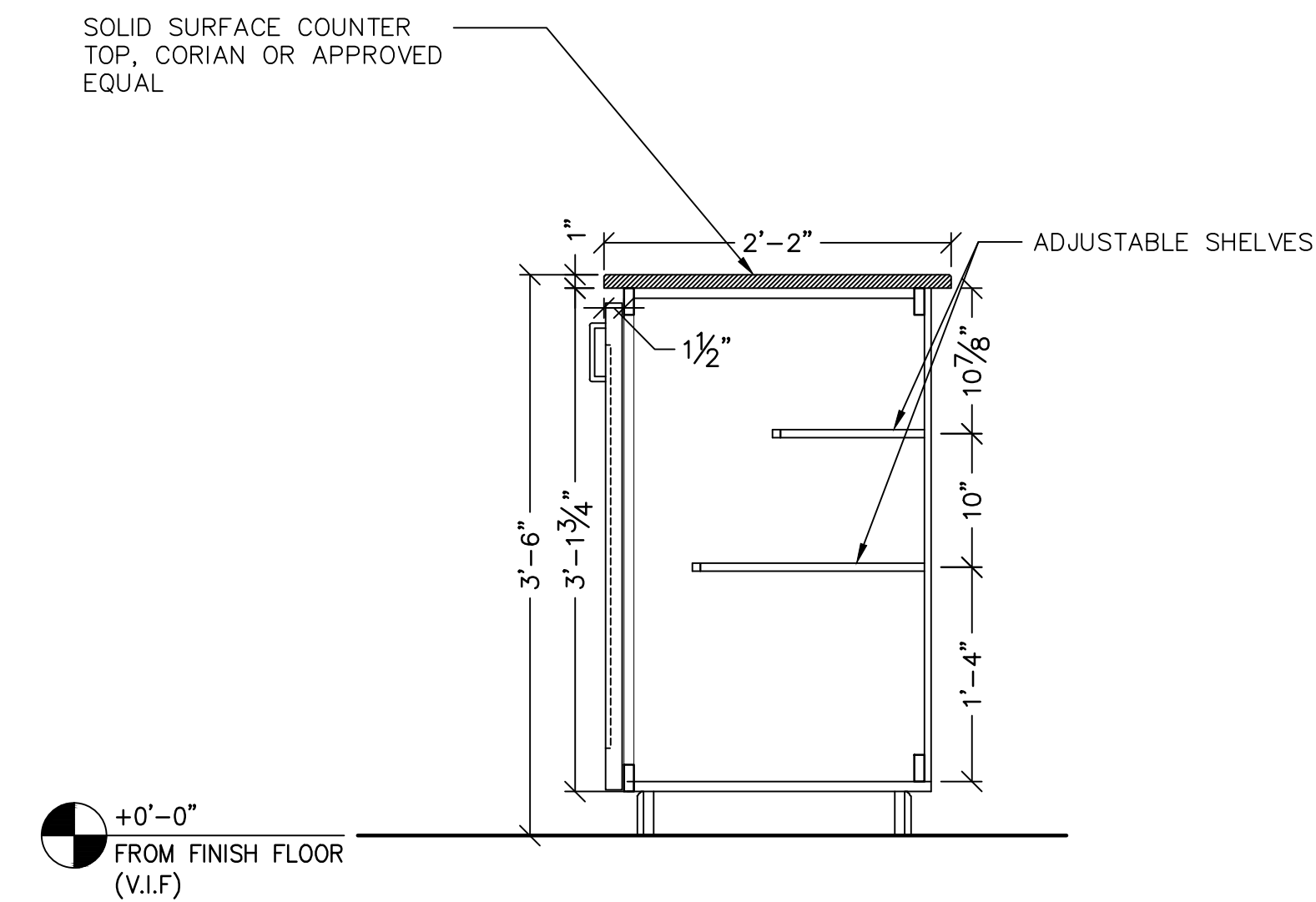
Drawing No.:
A208.00
Scale: AS NOTED
Date: 08/24/2020



1 ENLARGED PLAN DETAILS - DINING COUNTER



2 TYP. ELEVATION - DINING COUNTER / WALL CABINETS



3 ADA DINING COUNTER SECTION DETAIL

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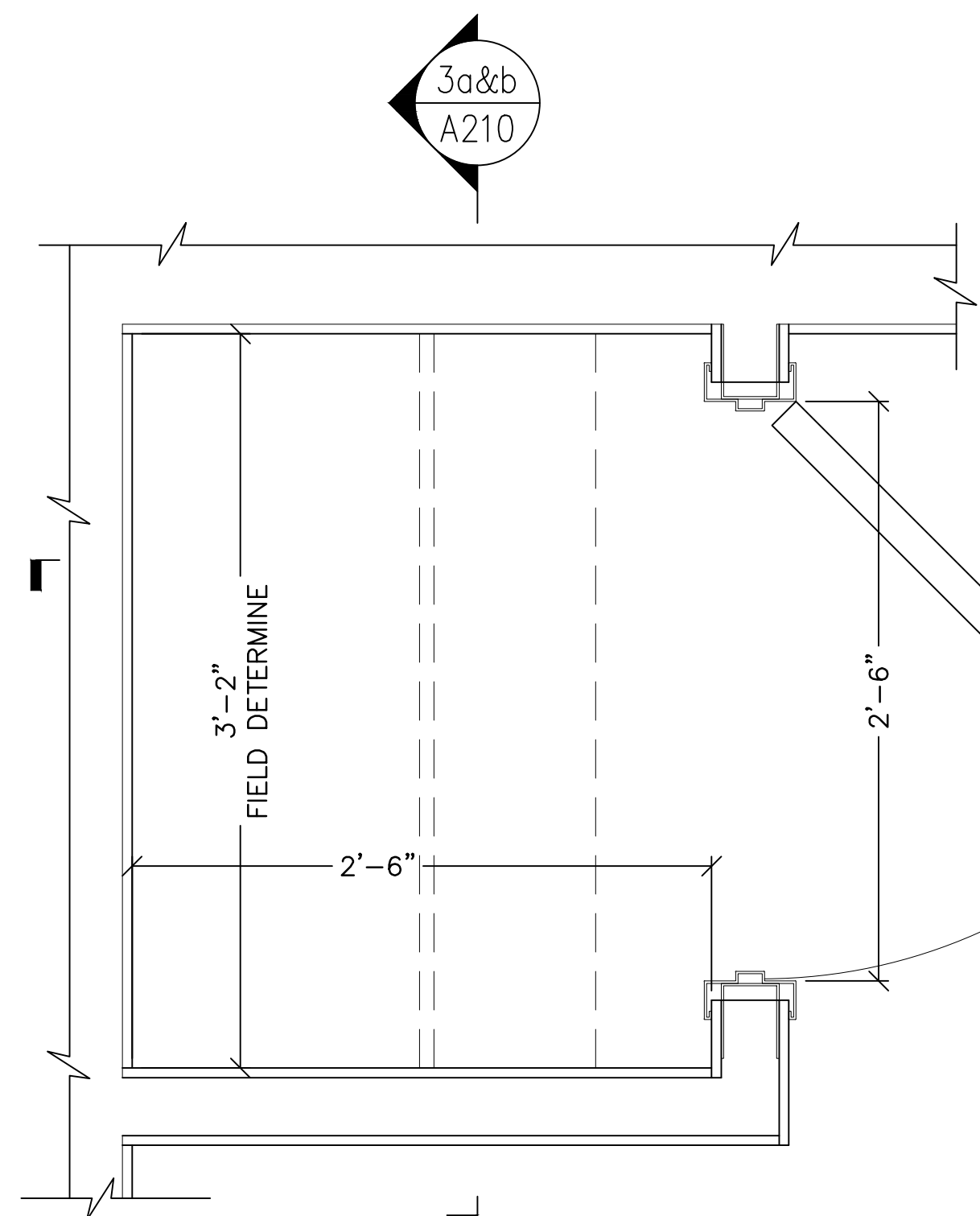
Drawing Title:
**MILLWORK DETAILS
APARTMENT 10.3**

Drawing No.:
A209.00

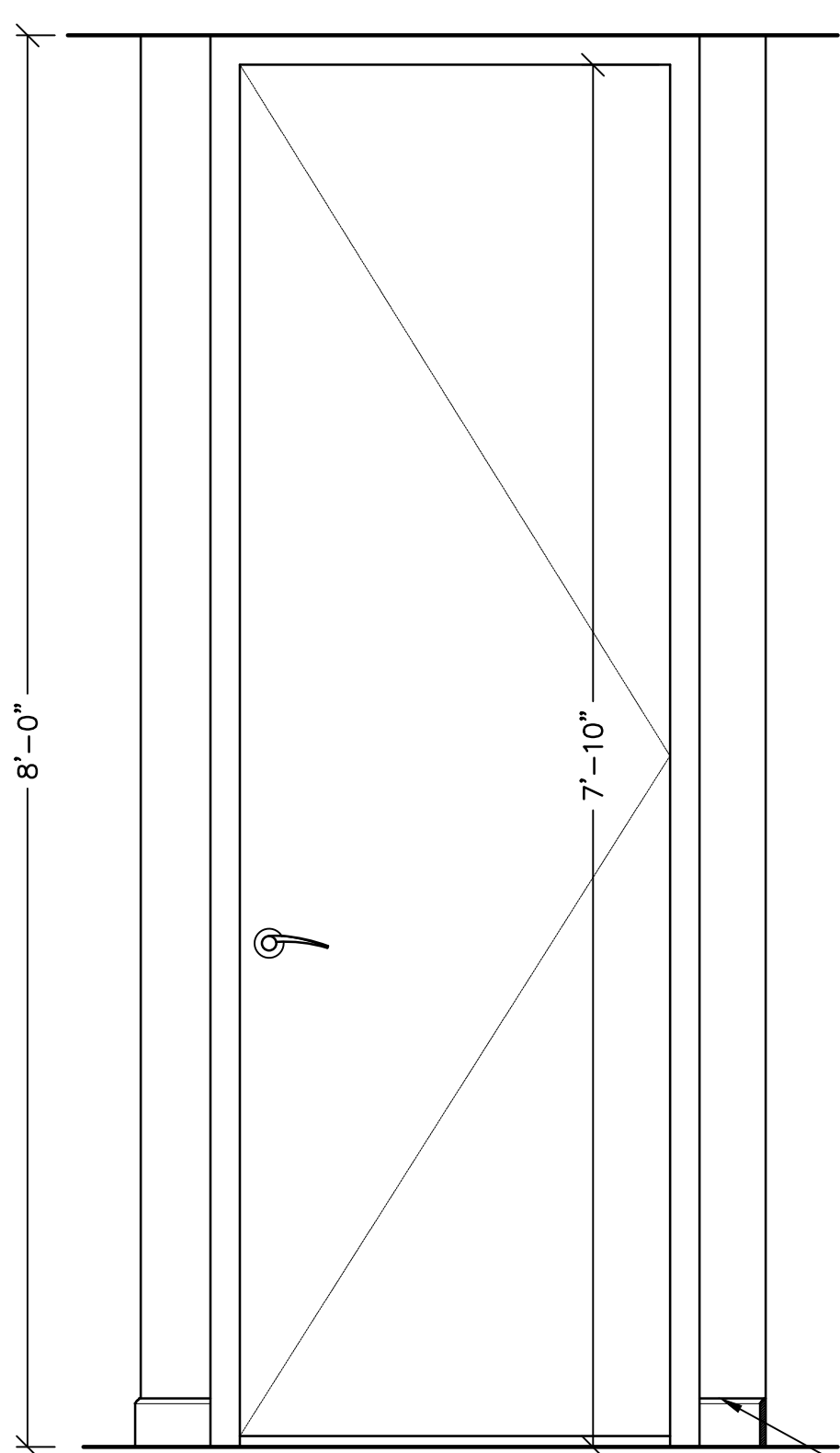
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Date: 08/24/2020

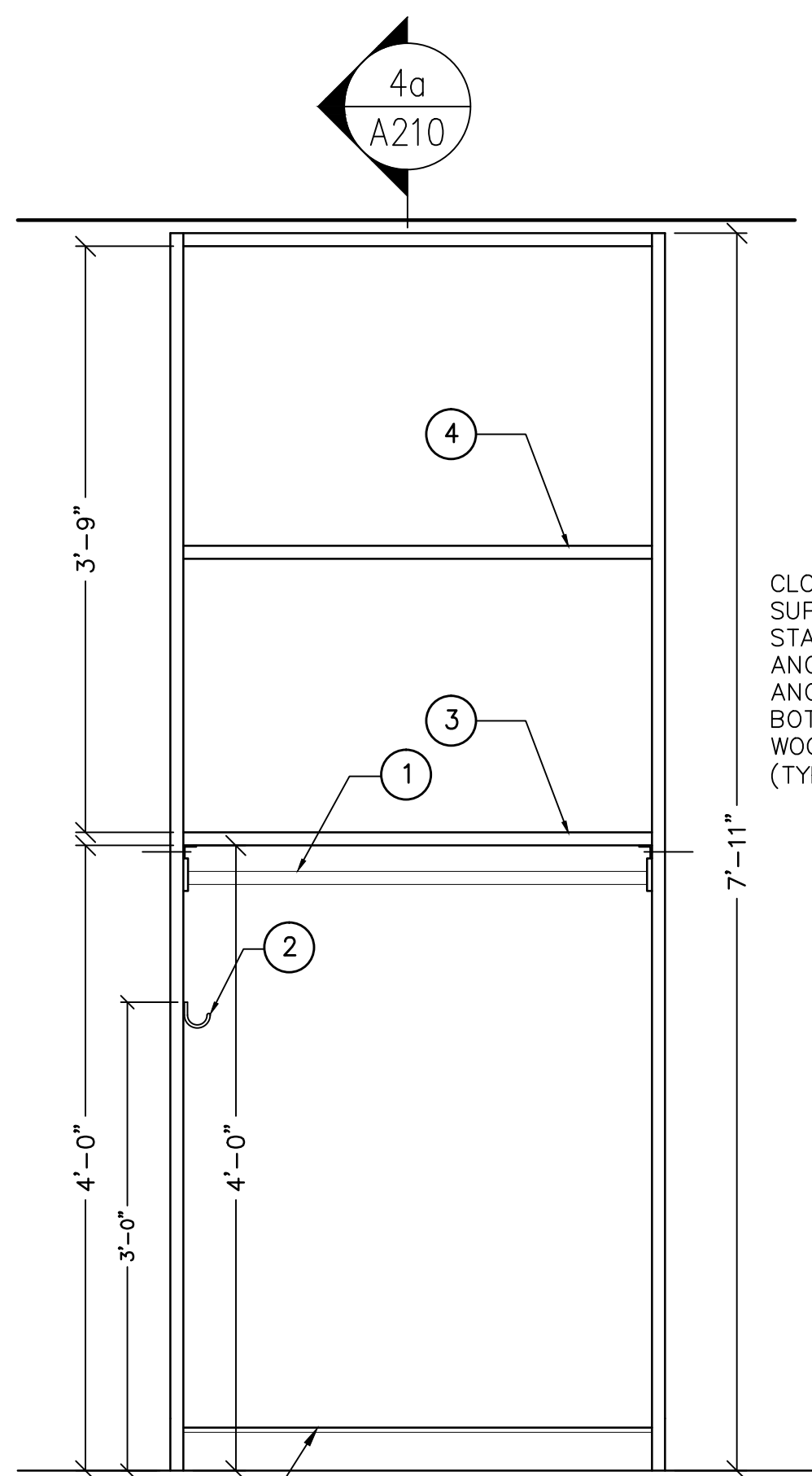
SU-040623



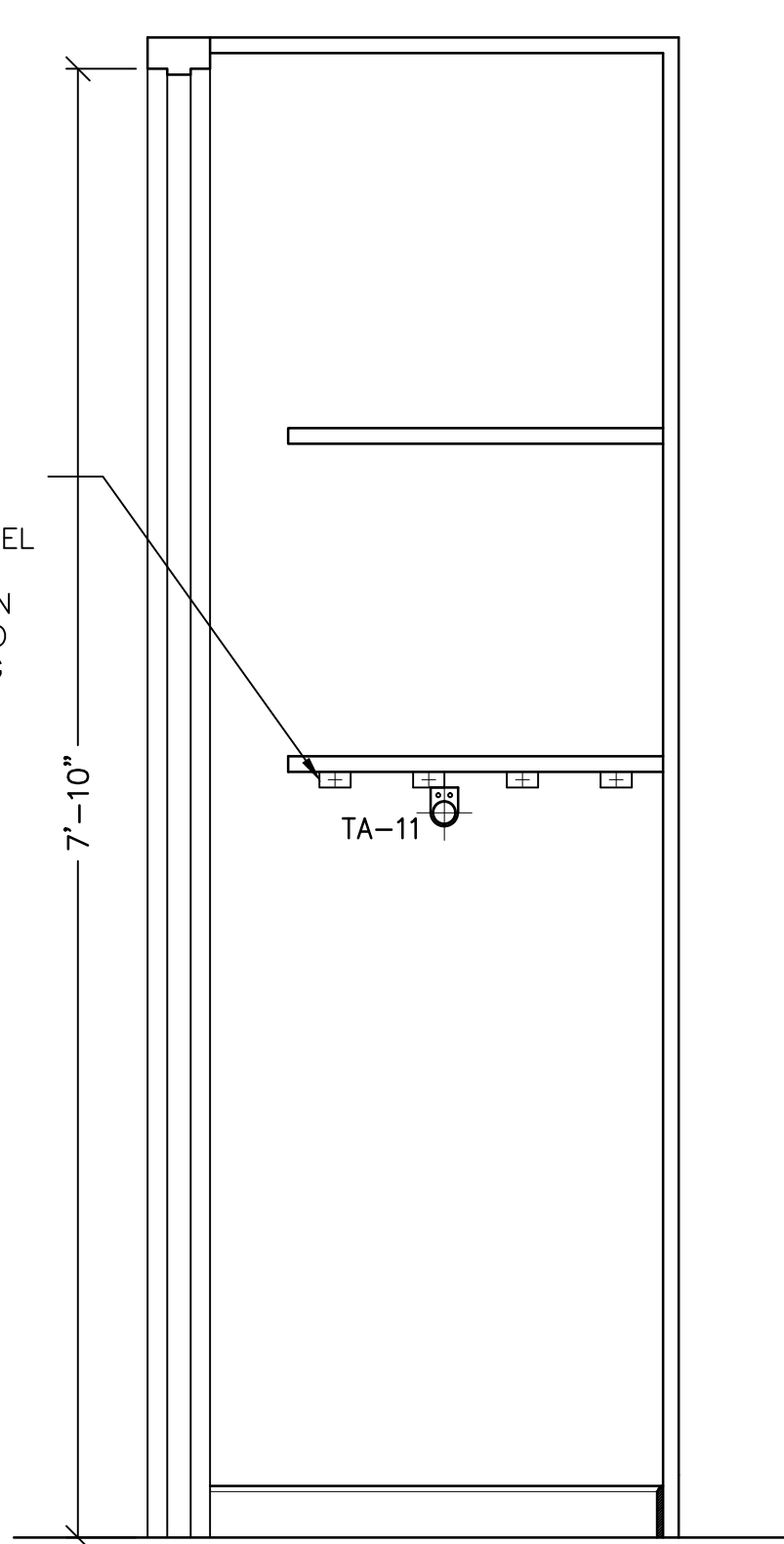
1 ENLARGED PLAN - BEDROOM CLOSET
A210
SCALE: 1 1/2" = 1'-0"



2a ELEV. CLOSET DOOR (10.1) ADA
A210
SCALE: 1" = 1'-0"



3a ELEV. CLOSET (10.1) ADA
A210
SCALE: 1" = 1'-0"

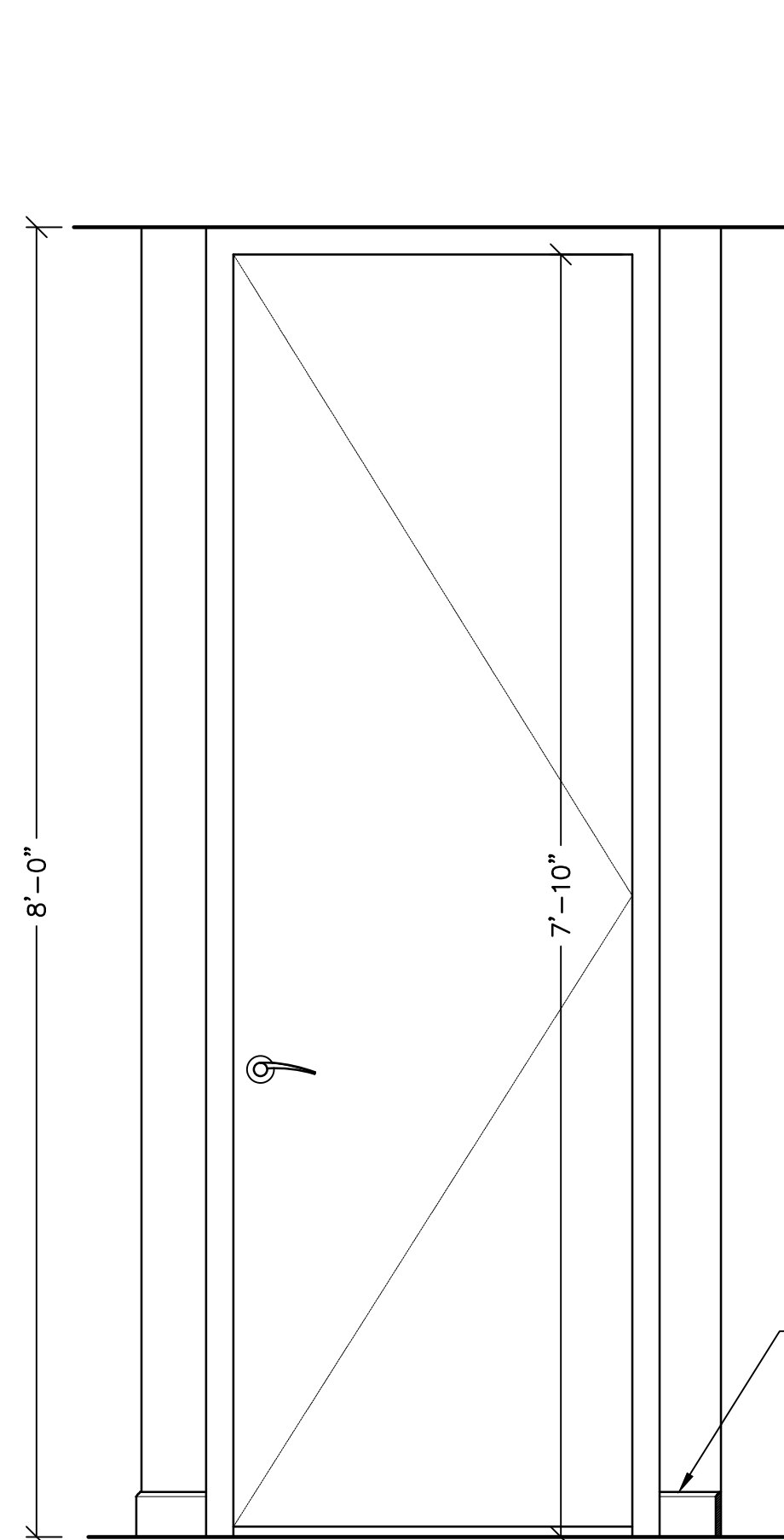


4a SECTION CLOSET (10.1) ADA
A210
SCALE: 1" = 1'-0"

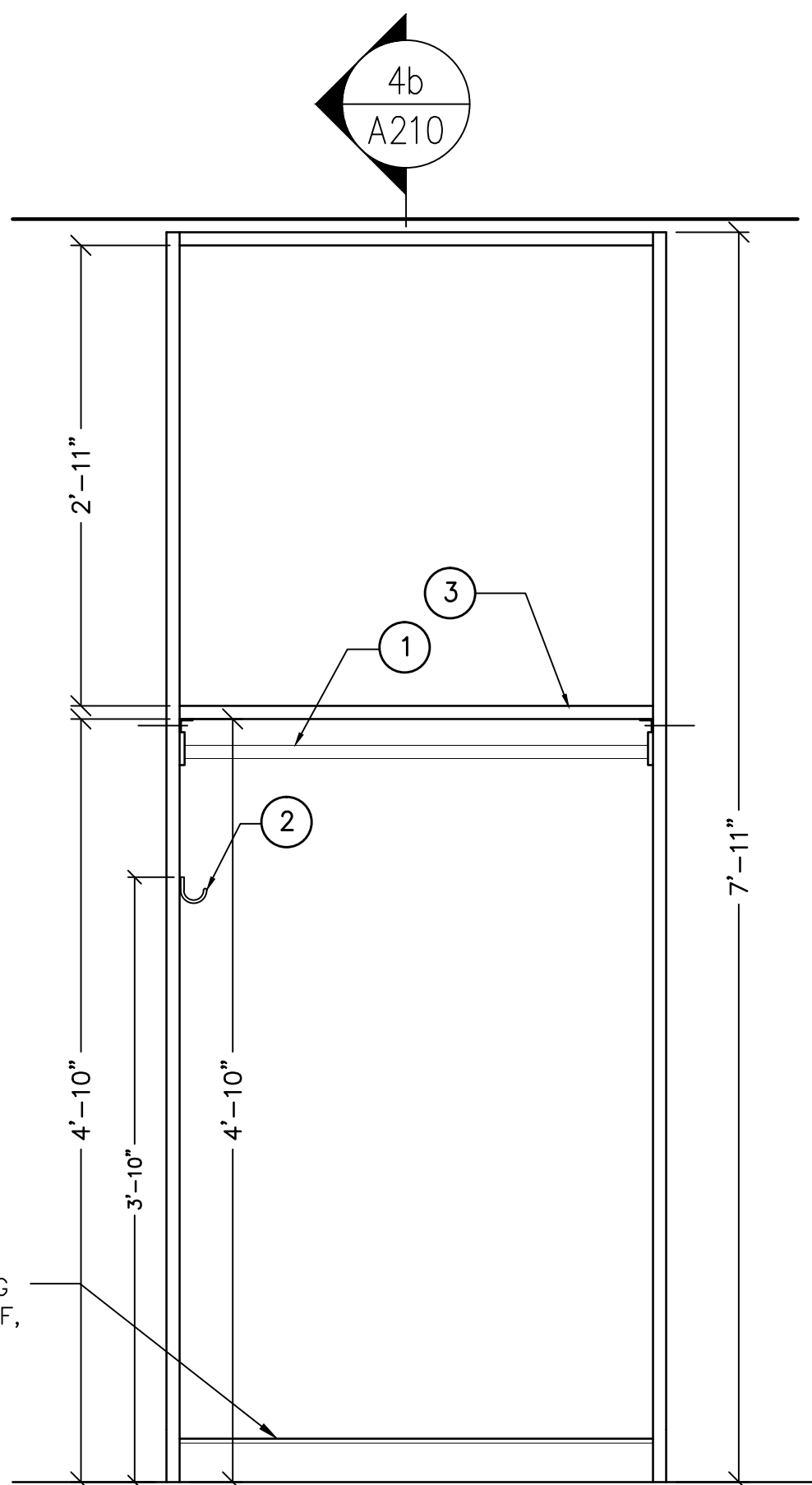
LEGEND			
W-1	GRADE 1 PLYWD. W/ PLAIN SAWN WHITE BIRCH VENEER	H-1	DOOR LEVER
W-2	GRADE 2 PLYWD. W/ PLAIN SAWN WHITE BIRCH VENEER	H-3	HINGE (4 PER DOOR)
W-3	PLAIN SAWN WHITE BIRCH HARDWOOD		

KEYED NOTES

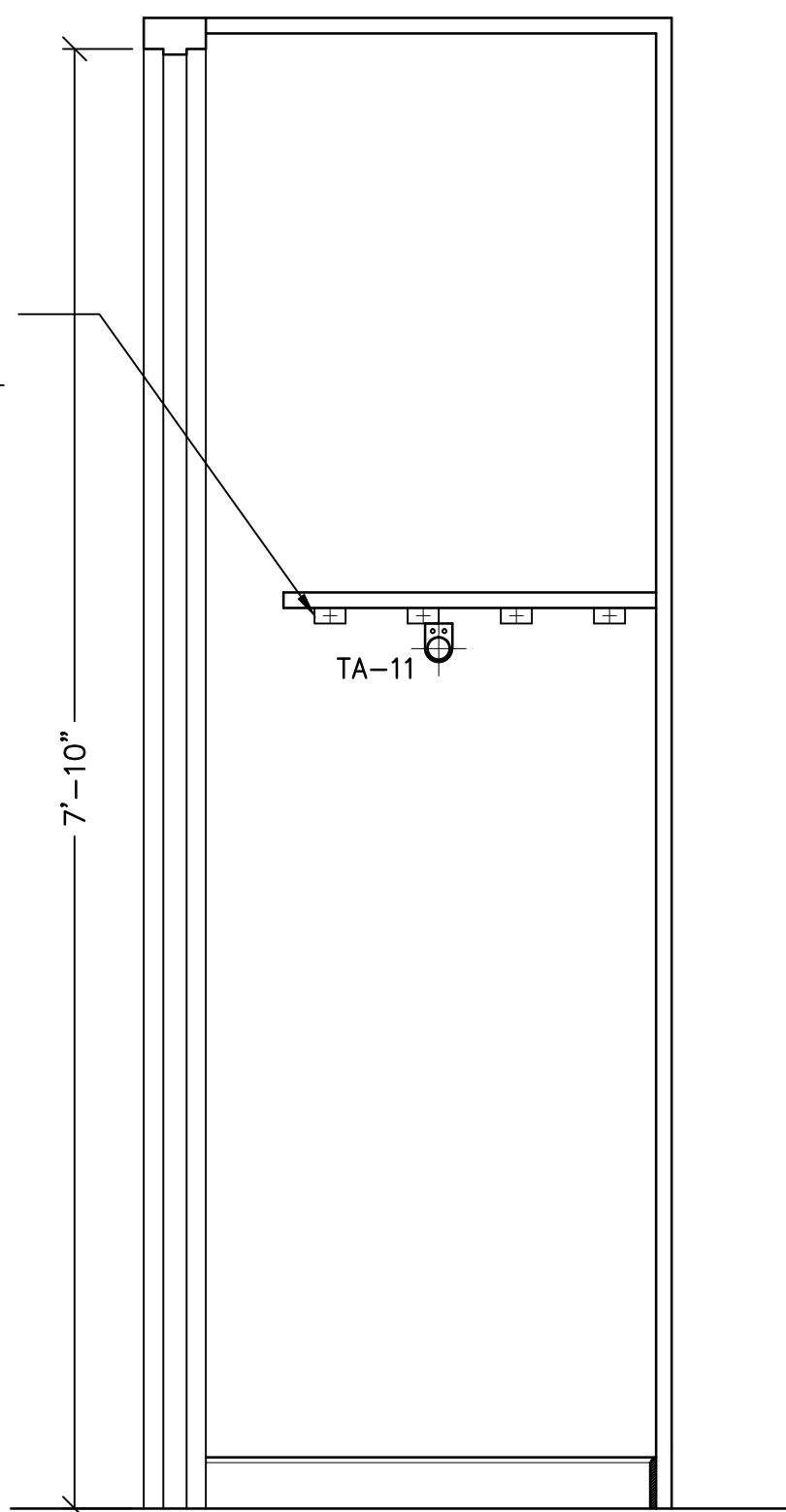
- CLOTHES HANGING ROD/FLANGES AS PER SPECS.
- UMBRELLA HOOK ROD AS PER SPECS.
- FIXED SHELF (ABOVE), WITH HARD WOOD EDGE (TYP).
- ADJUSTABLE SHELF (ABOVE), WITH HARD WOOD EDGE (TYP).



2b ELEV. CLOSET DOOR (10.3)
A210
SCALE: 1" = 1'-0"



3b ELEV. CLOSET (10.3)
A210
SCALE: 1" = 1'-0"



4b SECTION CLOSET (10.3)
A210
SCALE: 1" = 1'-0"

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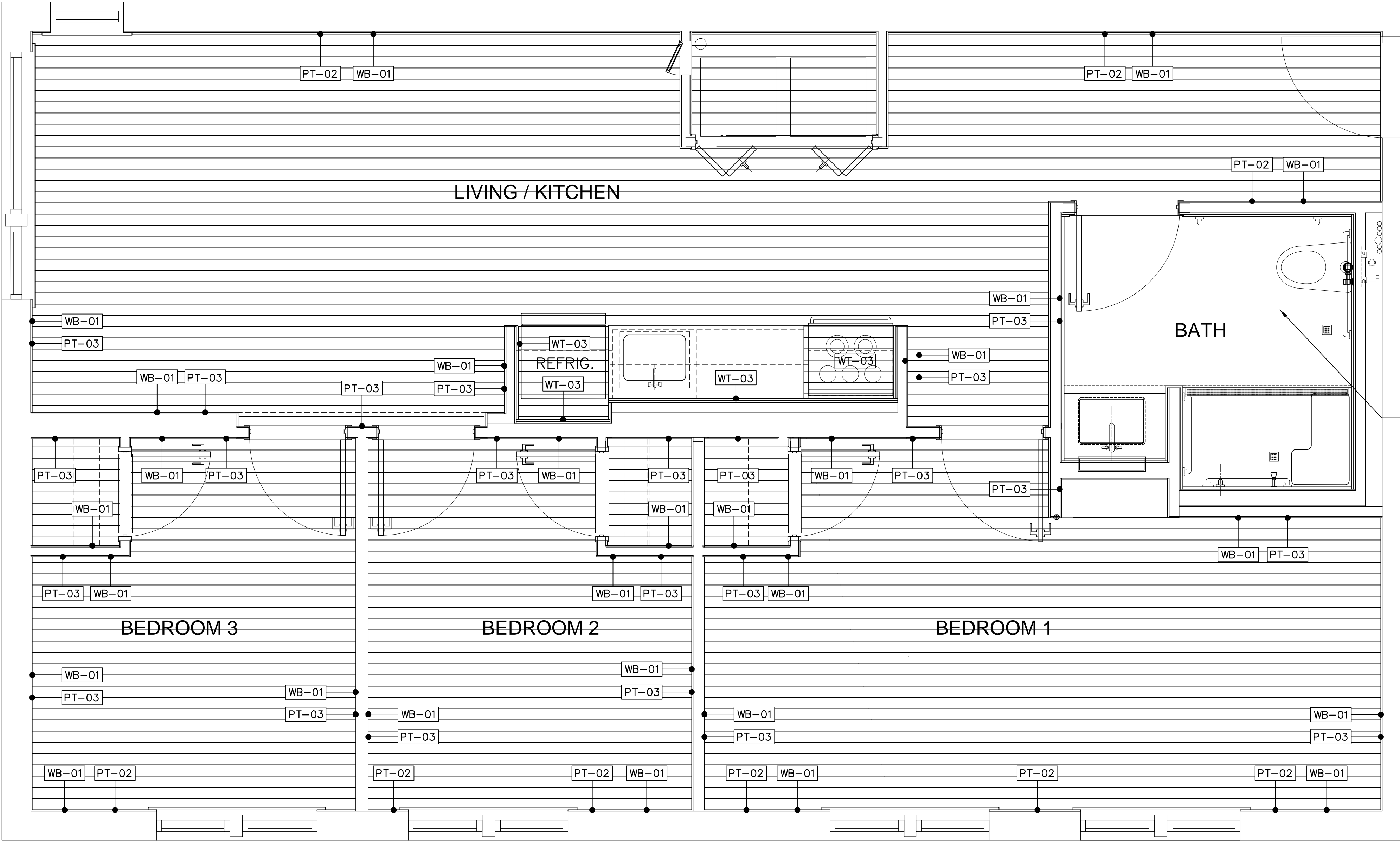
Drawing Title:
**BEDROOM CLOSET DETAILS
(TYP.)**

Drawing No.:
A210.00

Scale: AS NOTED

Date: 08/24/2020

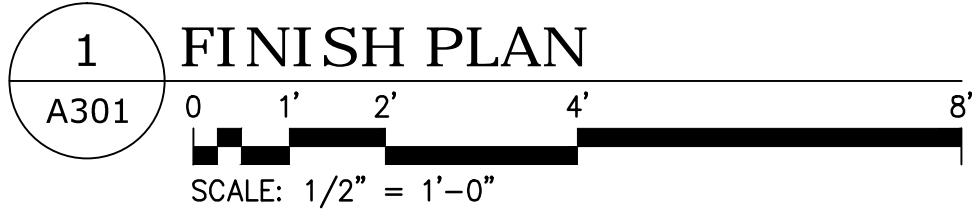
SU-040623



- LEGEND**
- VINYL FLOOR PLANK (VF-01)
 - CERAMIC TILES (KITCHEN)
 - 12"x12" CERAMIC FLOOR TILES (BATHROOM)
 - 2"x2" CERAMIC FLOOR TILES (SHOWER)
 - PLYWOOD/SUBFLOOR

- NOTES**
- LEVEL SUBFLOOR AS REQUIRED PRIOR TO INSTALLING FINISH FLOOR.
 - PROVIDE WATERPROOFING MEMBRANE UNDER NEW KITCHEN BASE CABINETS AND SINK AS PER VINYL PLANKING MANUFACTURER'S INSTRUCTIONS.
 - PROVIDE COLOR SAMPLES AND FULL SIZE TILE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION.
 - USE VINYL FLOOR MANUFACTURER'S INSTRUCTION FOR INSTALLING UNDERLAYMENT.
 - ALL DOOR STOPS TO BE INSTALLED ON BASEBOARD/TILED WALL. DO NOT INSTALL ON FINISH FLOOR.
 - ELECTRICAL RECEPTACLES NEAR WET AREA TO BE GFCI OUTLETS.

FOR BATHROOM FLOOR FINISH REFER TO DWG A202



FINISH SCHEDULE				
FIN. TAG	FIN. DESCRIPTION	MANUFACTURER	FIN. SPECS	NOTES
TILE FINISH				
FT-01	CERAMIC FLOOR TILE	DALTILE	12"x12", COLOR TBD	BATHROOM FLOOR
FT-02	CERAMIC FLOOR TILE (SHOWER AREA)	DALTILE	(2"x2" MOSAIC) CERMIC, MATT FINISH, COLOR CODE D617	SHOWER AREA
WT-03	GLAZED CERAMIC WALL TILE	DALTILE	12"x12", WHITE	KITCHEN WALLS
WT-03	GLAZED CERAMIC WALL TILE	DALTILE	4"x12", VITRUVIAN LIGHT GREY GLOSSY	BATHROOM WALLS
WT-04	GLAZED CERAMIC WALL TILE	DALTILE	4"x12", MOD WALL GLOSSY ARCTIC WHITE 0190	BATHROOM WALLS

VINYL FLOOR PLANKING				
VF-01	VINYL	LIFEPROOF	8.7" W BURNT OAK CLICK LOCK, LUXURY VINYL PLANK FLOORING	LIVING AREA/ FOYER BEDROOMS
WALL BASE				
WB-01	WOOD (PRIMED)	WOODGRAIN MILLWORK	5/8" x 4 1/4" x 96" LATEX PAINT, MATCHING TO PT-01	FOYER, LIVING AREA, BEDROOM, KITCHEN (SIDE WALLS), LAUNDRY
PAINT				
PT-01	WHITE	BENJAMIN MOORE	COLOR: SUPER WHITE, OC-152 FINISH: EGGSHELL	TRIM, DOORS, CEILING REFER TO FLOOR PLAN
PT-02	LIGHT GREY	BENJAMIN MOORE	COLOR: COVENTRY GRAY, HC-169 FINISH: SATIN	ACCENT WALL REFER TO FLOOR PLAN
PT-03	WHITE	BENJAMIN MOORE	COLOR: DECORATOR'S WHITE, OC-149 FINISH: EGGSHELL	LIVING AREA, BEDROOM

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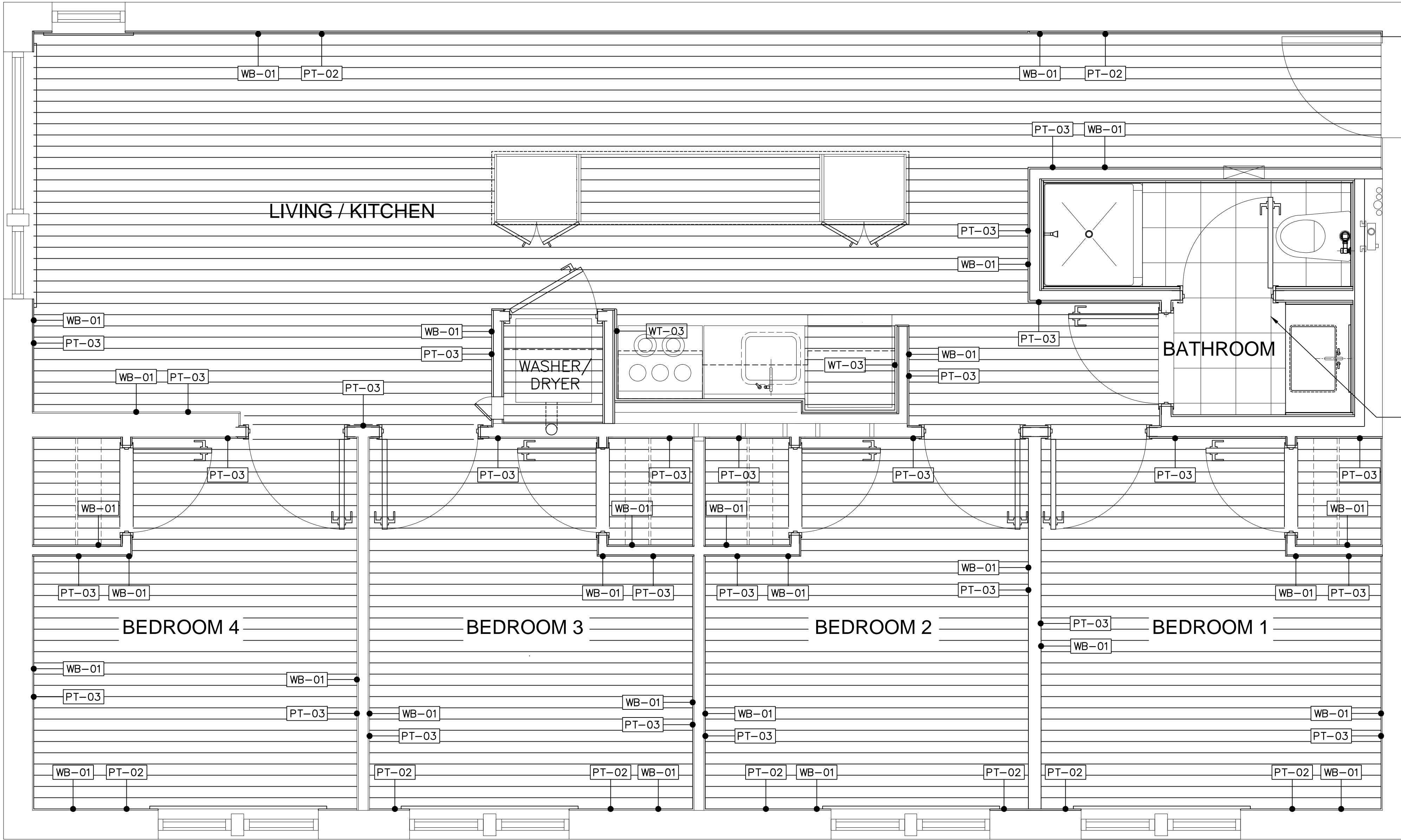
Address:
735 Anderson Hill Road
Purchase NY 10577

Drawing Title:
**FINISHES PLAN (FLOOR & WALL)
ADA APARTMENT 10.1**

Drawing No.:
A301.00

Scale: AS NOTED

Date: 08/24/2020

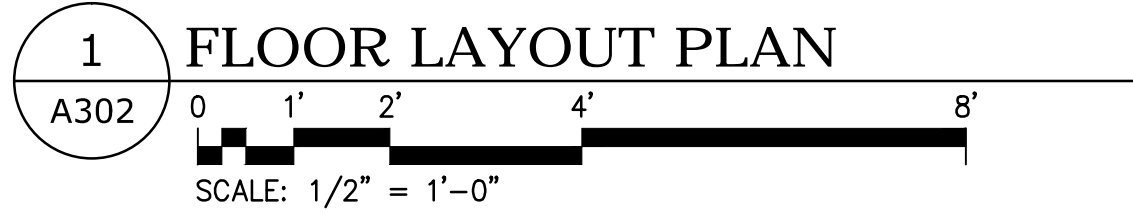


LEGEND

- VINYL FLOOR PLANK (VF-01)
- CERAMIC TILES (KITCHEN)
- 12"x12" CERAMIC FLOOR TILES (BATHROOM)
- 2"x2" CERAMIC FLOOR TILES (SHOWER)
- PLYWOOD/SUBFLOOR

NOTES

- LEVEL SUBFLOOR AS REQUIRED PRIOR TO INSTALLING FINISH FLOOR.
- PROVIDE WATERPROOFING MEMBRANE UNDER NEW KITCHEN BASE CABINETS AND SINK AS PER VINYL PLANKING MANUFACTURER'S INSTRUCTIONS.
- PROVIDE COLOR SAMPLES AND FULL SIZE TILE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION.
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FINISH SCHEDULE				
FIN. TAG	FIN. DESCRIPTION	MANUFACTURER	FIN. SPECS	NOTES
TILE FINISH				
FT-01	CERAMIC FLOOR TILE	DALTILE	12"x12", COLOR TO BE DECIDED	BATHROOM FLOOR
FT-02	—	—	—	—
WT-03	GLAZED CERAMIC WALL TILE	DALTILE	12"x12", WHITE	KITCHEN WALLS
WT-03	GLAZED CERAMIC WALL TILE	DALTILE	4"x12", VITRUVIAN LIGHT GREY GLOSSY	BATHROOM WALLS
WT-04	GLAZED CERAMIC WALL TILE	DALTILE	4"x12", MOD WALL GLOSSY ARCTIC WHITE 0190	BATHROOM WALLS

VINYL FLOOR PLANKING				
VF-01	VINYL	LIFEPROOF	8.7" W BURNT OAK CLICK LOCK, LUXURY VINYL PLANK FLOORING	LIVING AREA/ FOYER BEDROOMS
WALL BASE				
WB-01	WOOD (PRIMED)	WOODGRAIN MILLWORK	5/8" x 4 1/2" x 96" LATEX PAINT, MATCHING TO PT-01	FOYER, LIVING AREA, BEDROOM, KITCHEN (SIDE WALLS)
PAINT				
PT-01	WHITE	BENJAMIN MOORE	COLOR: SUPER WHITE, OC-152 FINISH: EGGSHELL	TRIM, DOORS, CEILING REFER TO FLOOR PLAN
PT-02	LIGHT GREY	BENJAMIN MOORE	COLOR: COVENTRY GRAY, HC-169 FINISH: SATIN	ACCENT WALL REFER TO FLOOR PLAN
PT-03	WHITE	BENJAMIN MOORE	COLOR: DECORATOR'S WHITE, OC-149 FINISH: EGGSHELL	LIVING AREA, BEDROOM

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Designer: AKBER AFRIDI, P.E.
Drawn by: AZHER MALIK
Checked by: AKBER AFRIDI, P.E.

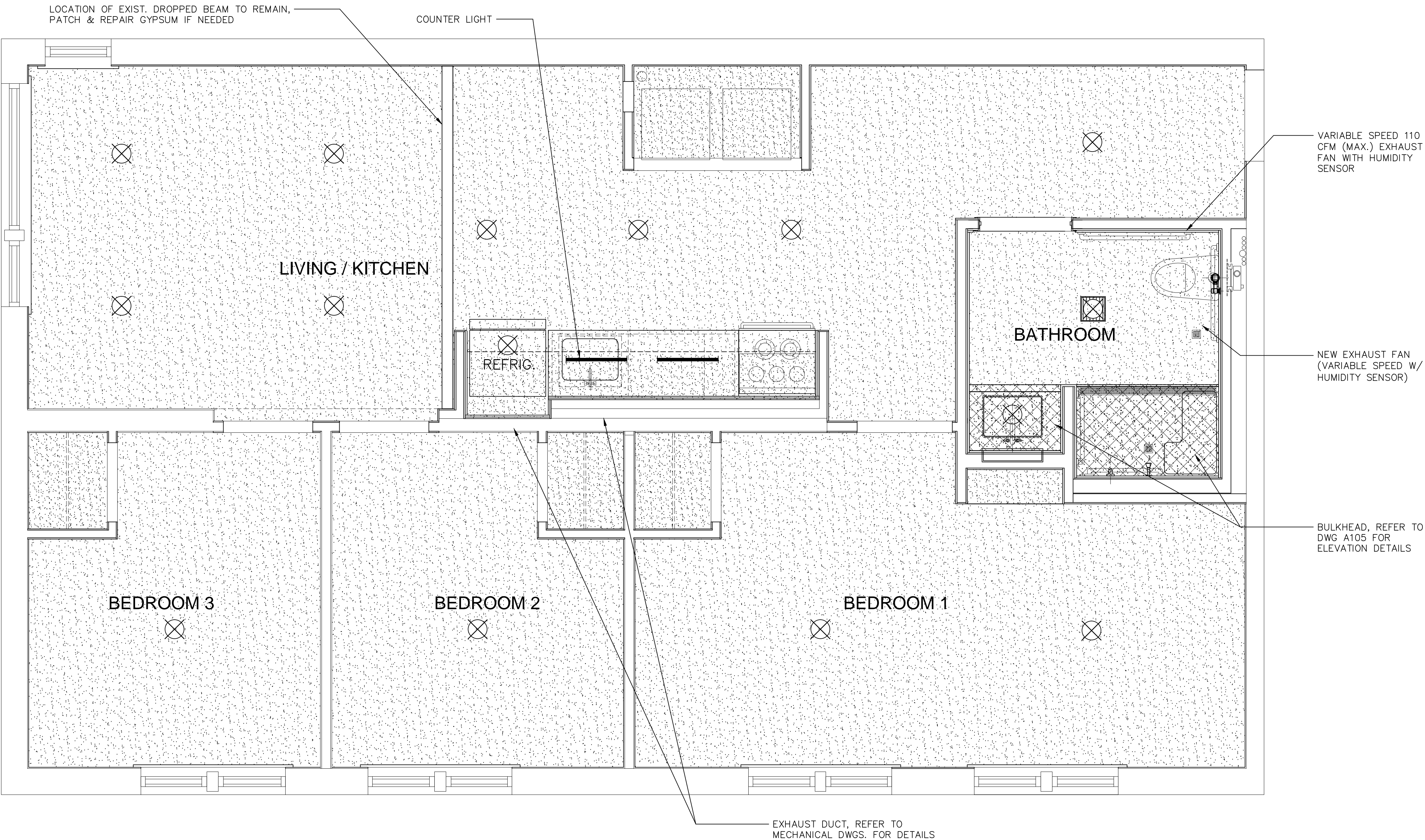
Project:
**INTERIOR RENOVATIONS OF
ALUMNI VILLAGE APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**
Address:
735 Anderson Hill Road
Purchase NY 10577

Drawing Title:
**FINISHES PLAN (FLOOR & WALL)
APARTMENT 10.3**

Drawing No.:
A302.00

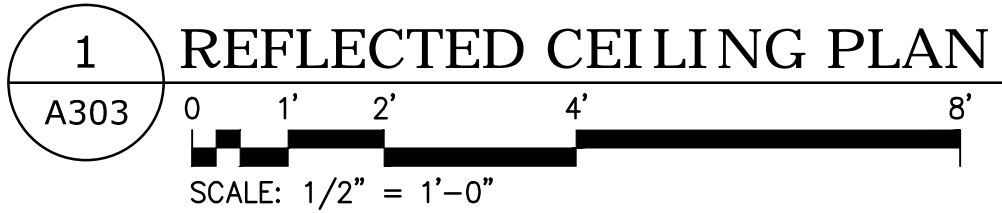
Scale: AS NOTED

Date: 08/24/2020



LEGEND

- SHEETROCK (MOISTURE RESISTANT)
- GWB-02 WET AREA
- CEILING MOUNTED LUMINAIRE
- CEILING MOUNTED EXHAUST FAN (15"x15") W/ LIGHT & HUMIDITY SENSOR



FINISH SCHEDULE				
FIN. TAG	FIN. DESCRIPTION	MANUFACTURER	FIN. SPECS	NOTES
CEILING FINISH				
GWB-01	GYPSUM WALL BOARD CEILING	USG	5/8" GYPSUM WALL BOARD WITH USG DRYWALL SUSPENSION SYSTEM OR LIGHT GAUGE FRAMING AT SOFFITS, FINISH AS NOTED	FOYER, LIVING AREA, BEDROOM REFER TO CEILING PLAN
GWB-02	WONDERBOARD LITE, BACKER BOARD OR APPROVED EQUAL.	CUSTOM BUILDING PRODUCTS	7/16" WONDERBOARD LITE OR APPROVED EQUAL, BACKER BOARD FOR BATHROOM AND KITCHEN WALLS	BATHROOM CEILING, SINK AND SHOWER AREA SOFFIT, KITCHEN SOFFIT REFER TO CEILING PLAN
GWB-03	GOLD BOND, PURPLE XP MOLD & MOISTURE RESISTANT DRYWALL	GOLD BOND BUILDING PRODUCTS	1/2" GOLD BOND, PURPLE XP MOLD & MOISTURE RESISTANT DRYWALL ON WOOD FRAMING, AS SHOWN IN DRAWING.	FOR EXISTING DRYWALL REPAIR AND NEW WALLS IN FOYER, LIVING AREA, BEDROOM

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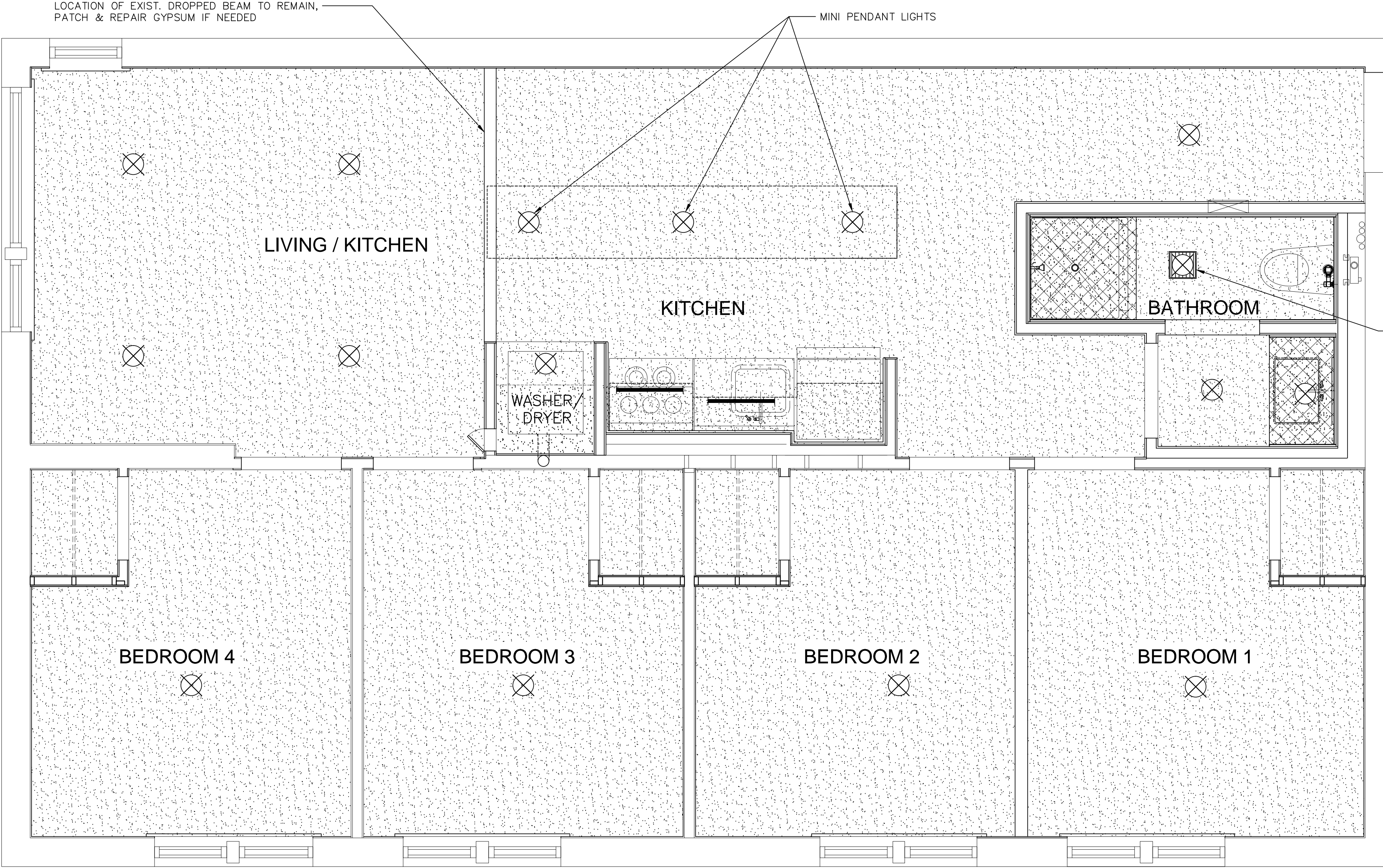
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Drawn by:	AZHER MALIK
Checked by:	AKBER AFRIDI, P.E.
Project: INTERIOR RENOVATIONS OF ALUMNI VILLAGE APARTMENTS 10.1 (ADA COMPLIANT) & 10.3	
Address: 735 Anderson Hill Road Purchase NY 10577	
Drawing Title: FINISHES (CEILING & SOFFIT) ADA APARTMENT 10.1	
	Drawing No.: A303.00
	Scale: AS NOTED
	Date: 08/24/2020



LEGEND

- SHEETROCK (MOISTURE RESISTANT)
- SHEETROCK (ABOVE CABINETS/SHELVES)
- GWB-02 WET AREA
- CEILING MOUNTED LUMINAIRE
- CEILING MOUNTED EXHAUST FAN (15"x15") W/ LIGHT & HUMIDITY SENSOR

1 REFLECTED CEILING PLAN
A304
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE				
FIN. TAG	FIN. DESCRIPTION	MANUFACTURER	FIN. SPECS	NOTES
CEILING FINISH				
GWB-01	GYPSUM WALL BOARD CEILING	USG	5/8" GYPSUM WALL BOARD WITH USG DRYWALL SUSPENSION SYSTEM OR LIGHT GAUGE FRAMING AT SOFFITS, FINISH AS NOTED	FOYER, LIVING AREA, BEDROOM REFER TO CEILING PLAN
GWB-02	WONDERBOARD LITE, BACKER BOARD OR APPROVED EQUAL.	CUSTOM BUILDING PRODUCTS	7/16" WONDERBOARD LITE OR APPROVED EQUAL, BACKER BOARD FOR BATHROOM AND KITCHEN WALLS	BATHROOM CEILING, SINK AND SHOWER AREA SOFFIT, KITCHEN SOFFIT REFER TO CEILING PLAN
GWB-03	GOLD BOND, PURPLE XP MOLD & MOISTURE RESISTANT DRYWALL	GOLD BOND BUILDING PRODUCTS	1/2" GOLD BOND, PURPLE XP MOLD & MOISTURE RESISTANT DRYWALL ON WOOD FRAMING, AS SHOWN IN DRAWING.	FOR EXISTING DRYWALL REPAIR AND NEW WALLS IN FOYER, LIVING AREA, BEDROOM

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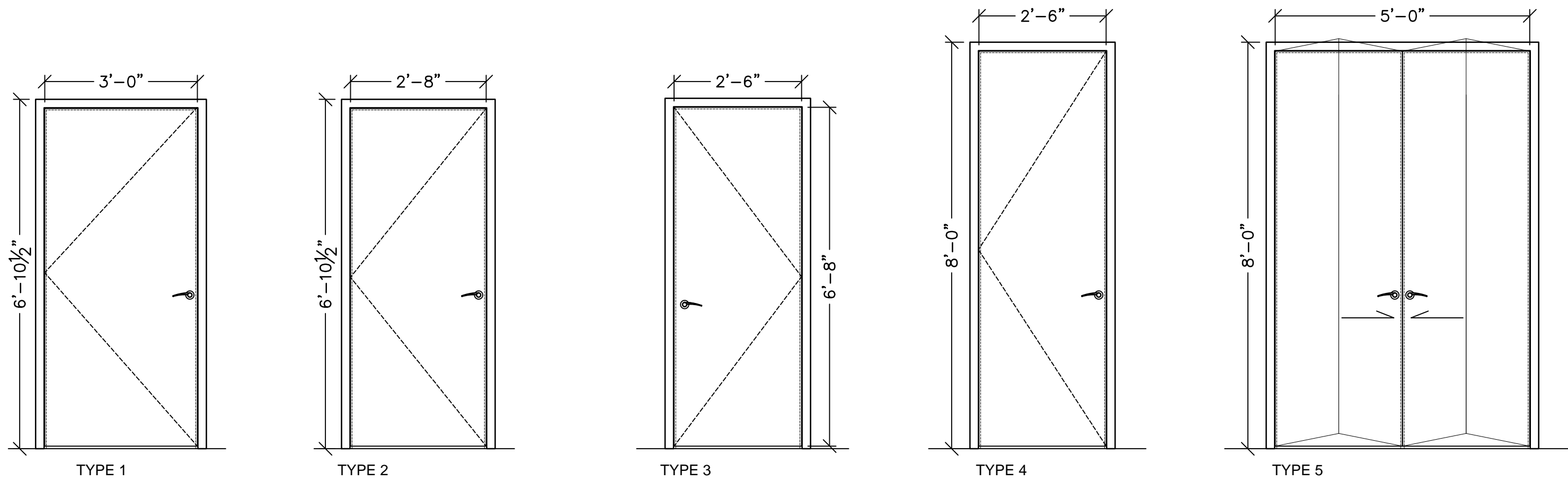
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Project: INTERIOR RENOVATIONS OF ALUMNI VILLAGE APARTMENTS 10.1 (ADA COMPLIANT) & 10.3	
Address: 735 Anderson Hill Road Purchase NY 10577	
Drawing Title: FINISHES (CEILING & SOFFIT) APARTMENT 10.3	
	Drawing No.: A304.00
	Scale: AS NOTED
	Date: 08/24/2020



1 DOOR/FRAME DETAILS
A305
SCALE: 1/2" = 1'-0"

DOOR SCHEDULE

			OPENING				DOOR					HARDWARE SET
DOOR NO.	ROOM NAME	DOOR TYPE	WIDTH	HEIGHT	FRAME TYPE	FRAME MATERIAL / PAINT	DOOR TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	
D1	MAIN (EXIST.)	—										
D2	BATHROOM (ADA APT 10.1), (NEW)	1	3'–4"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	3'–0"	6'–8"	1 3/4"	COMPOSITE MDF	1
D2a	BATHROOM (APT 10.3), (NEW)	1	2'–10"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	2'–6"	6'–8"	1 3/4"	COMPOSITE MDF	2
D2b	BATHROOM (APT 10.3), (NEW)	1	2'–10"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	2'–6"	6'–8"	1 3/4"	COMPOSITE MDF	3
D3	BEDROOM 1 ADA, (NEW)	1	3'–4"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	3'–0"	6'–8"	1 3/4"	COMPOSITE MDF	4
D4	BEDROOM 2, (NEW)	2	3'–0"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	2'–8"	6'–8"	1 3/4"	COMPOSITE MDF	5
D5	BEDROOM 3, (NEW)	2	3'–0"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	2'–8"	6'–8"	1 3/4"	COMPOSITE MDF	5
D6	BEDROOM 4, (NEW)	2	3'–0"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	2'–8"	6'–8"	1 3/4"	COMPOSITE MDF	5
D7	CLOSET (NEW)	3	2'–10"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	2'–6"	6'–8"	1 3/4"	COMPOSITE MDF	6
D8	CLOSET (NEW)	3	2'–10"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	2'–6"	6'–8"	1 3/4"	COMPOSITE MDF	6
D9	CLOSET (NEW)	3	2'–10"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	2'–6"	6'–8"	1 3/4"	COMPOSITE MDF	6
D10	CLOSET (NEW)	3	2'–10"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	2'–6"	6'–8"	1 3/4"	COMPOSITE MDF	6
D12	WASHER/DRYER (NEW), APT 10.3	4	2'–10"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	2'–6"	6'–8"	1 3/4"	COMPOSITE MDF	7
D11	WASHER/DRYER (NEW), ADA APT 10.1	5	5'–4"	6'–10 1/2"	H.M.	STEEL/WHITE	INSULATED	(2) 2'–6"	6'–8"	1 3/4"	COMPOSITE MDF	8

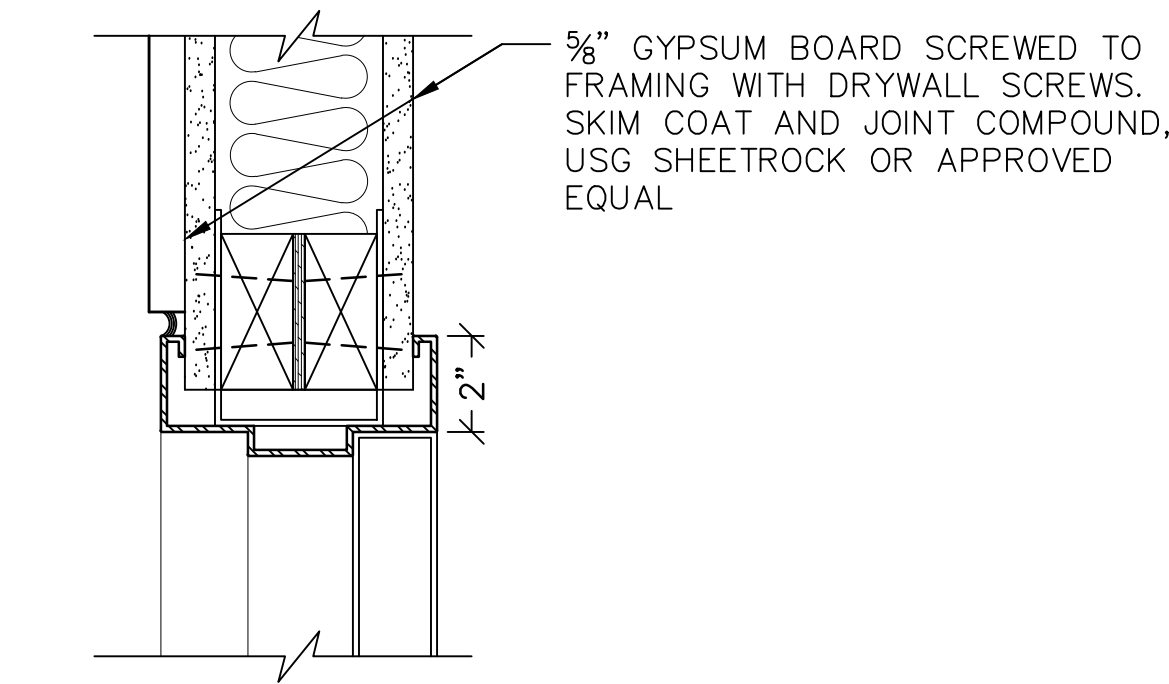
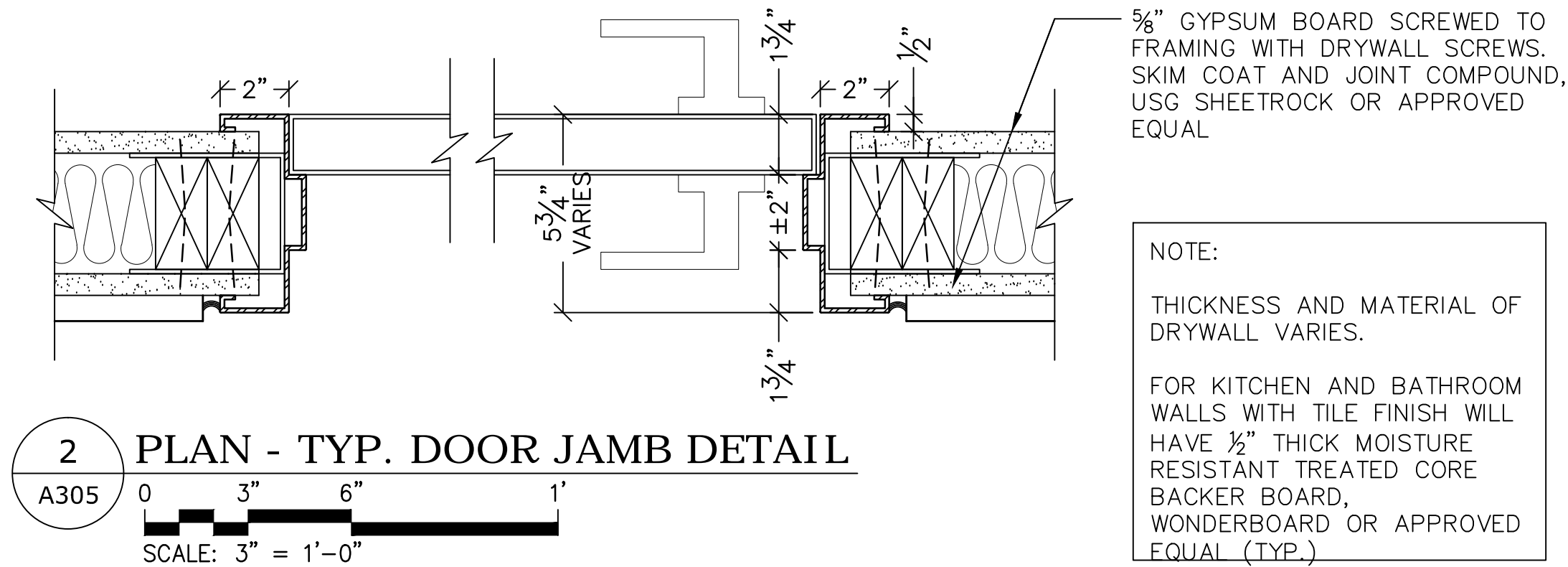
NOTE: ALL HARDWARE (IVES, ROCKWOOD OR AS BELOW) TO BE SATIN CHROME FINISH, COLOR/FINISH TO BE APPROVED BY EOR.

HARDWARE SCHEDULE		
REFER TO SPECIFICATIONS – SECTION 08 70 00 FINISH HARDWARE		
SET 1:		SET 2:
3	DOOR HARDWARE/4" ROUND HINGE 5/8"	3 DOOR HARDWARE/4" ROUND HINGE 5/8"
1	F40MER626 – MERANO PRIVACY DOOR LEVER SET	1 F40MER626 – MERANO PRIVACY DOOR LEVER SET
1	61–C619, DOOR ACCESSORIES / SOLID DOOR STOP	1 61–C619, DOOR ACCESSORIES / SOLID DOOR STOP
SET 3:		SET 4:
3	DOOR HARDWARE/4" ROUND HINGE 5/8"	3 DOOR HARDWARE/4" ROUND HINGE 5/8"
1	F40ACC619 – ACCENT PRIVACY DOOR SET	1 F51AMER626 – MERANO SINGLE CYLINDER KEYED/DOOR LEVER SET
		1 436–619, DOOR ACCESSORIES / FLOOR DOOR STOP
SET 5:		SET 6:
3	DOOR HARDWARE/4" ROUND HINGE 5/8"	4 DOOR HARDWARE/4" ROUND HINGE 5/8"
1	F51AMER626 – MERANO SINGLE CYLINDER KEYED/DOOR LEVER SET	1 F40ACC619 – ACCENT PRIVACY DOOR SET
1	436–619, DOOR ACCESSORIES / FLOOR DOOR STOP	1
SET 7:		SET 8:
4	DOOR HARDWARE/4" ROUND HINGE 5/8"	4 DOOR HARDWARE/4" ROUND HINGE 5/8"
1	F10MER626 – MERANO PASSAGE DOOR LEVER SET	2 F10MER626 – MERANO PASSAGE DOOR LEVER SET

NOTES:

- ALL DOORS SHALL HAVE HOLLOW METAL DOOR, SHOP PAINTED JAMBS, MATCHING TO DOOR FINISH, WITH APPROPRIATE DOOR HARDWARE.
- G.C. TO PROVIDE DESIGN CATALOGUE FOR EOR'S APPROVAL.
- G.C. TO SUBMIT HARDWARE SAMPLES PRIOR TO PLACING ORDER.

SEE DOOR SCHEDULE AND SPECIFICATION FOR HARDWARE REQUIREMENTS:
FINISH FLOOR TO CENTER LINE OF HARDWARE:
KNOB ON LOCK OR LATCH 38"
TOP HINGE – 5" FROM FRAME HEAD RABBET TO TOP OF HINGE.
CENTER HINGE – EQUAL DISTANCE FROM TOP AND BOTTOM HINGE.
BOTTOM HINGE – 10" FROM FINISH FLOOR TO UNDERSIDE OF HINGE.



3 SECTION - TYP. DOOR JAMB DETAIL
A305
SCALE: 3" = 1'-0"

NOTE:
THICKNESS AND MATERIAL OF DRYWALL VARIES.
FOR KITCHEN AND BATHROOM WALLS WITH TILE FINISH WILL HAVE 1/2" THICK MOISTURE RESISTANT TREATED CORE BACKER BOARD, WONDERBOARD OR APPROVED EQUAL (TYP.)

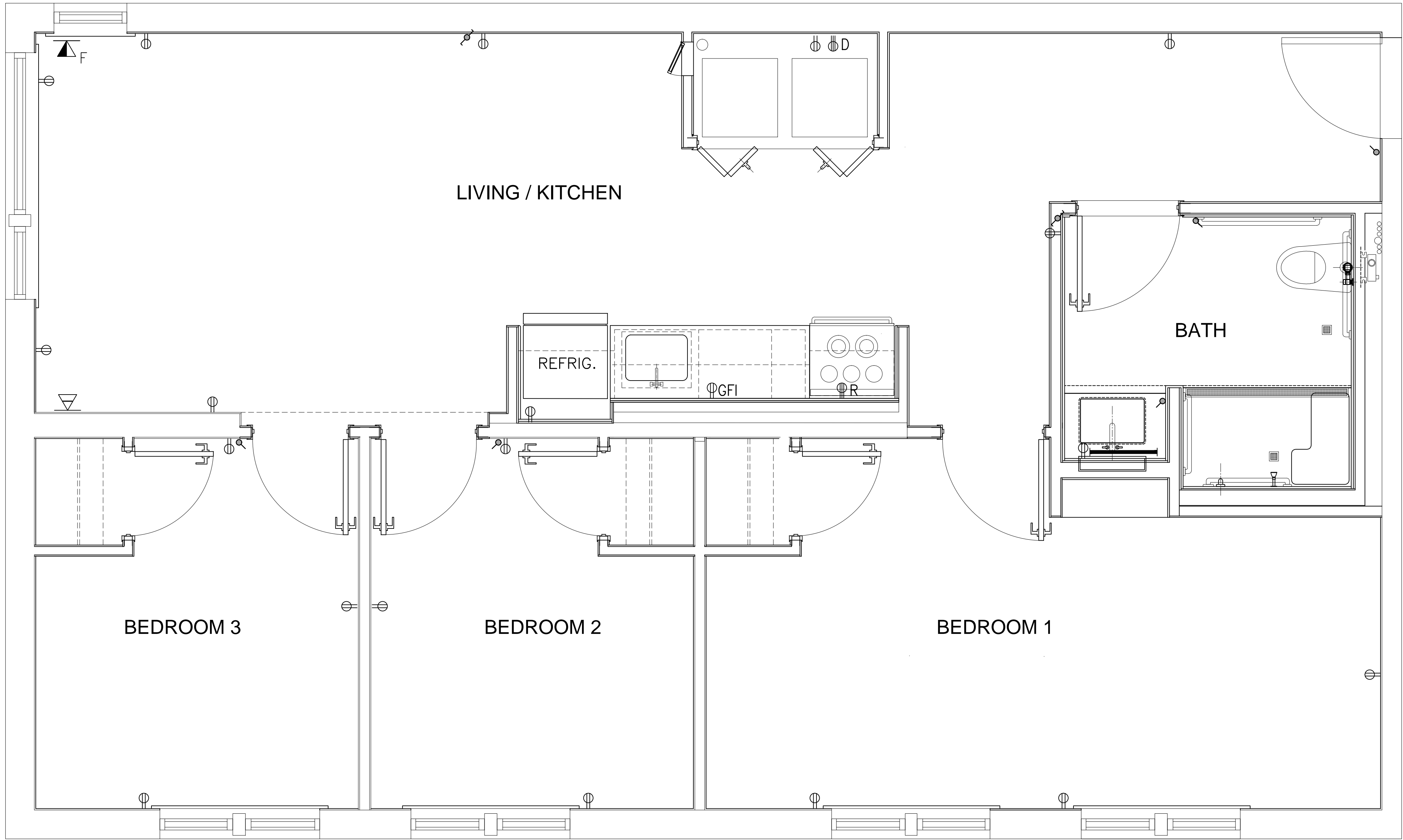
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Drawn by: AZHER MALIK
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Project:
INTERIOR RENOVATIONS OF ALUMNI VILLAGE APARTMENTS 10.1 (ADA COMPLIANT) & 10.3
Address:
735 Anderson Hill Road
Purchase NY 10577
Drawing Title:
DOOR DETAILS (TYPICAL)

Drawing No.:
A305.00
Scale: AS NOTED
Date: 08/24/2020



1 ELECTRICAL LAYOUT PLAN
A401
SCALE: 1/2" = 1'-0"

LIGHTING AND POWER

SYMBOL	DESCRIPTION
	CEILING MOUNTED LUMINAIRE
	WALL MOUNTED (MIRROR) LIGHT
	15AMP - 20 AMP RECEPTACLE (12" A.F.F)
	240v - 40 AMP RECEPTACLE (12" A.F.F)
	240v - 60 AMP RECEPTACLE (12" A.F.F)
	SWITCH
	3-WAY SWITCH
	COMBINATION DATA/TV OUTLET W/DUPLEX JACKS LABELLED "DATA" & "TV" (MOUNTED AT 18" A.F.F.)
	TV OUTLET WITH SINGLE JACK LABELLED "TV" MOUNTED AT 18" A.F.F.
	TELEPHONE OUTLET FOR STANDARD DESK INSTRUMENT, WITH DUPLEX-JACKS, LABELED 'VOICE' AND 'DATA', MOUNTED AT 18" A.F.F, 'F' INDICATES FURNITURE MOUNTED.
	CEILING MOUNTED EXHAUST FAN (15"x15") W/ LIGHT & HUMIDITY SENSOR

NOTE: REFER TO ELECTRICAL DRAWINGS

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**INTERIOR RENOVATIONS OF
ALUMNI VILLAGE APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**

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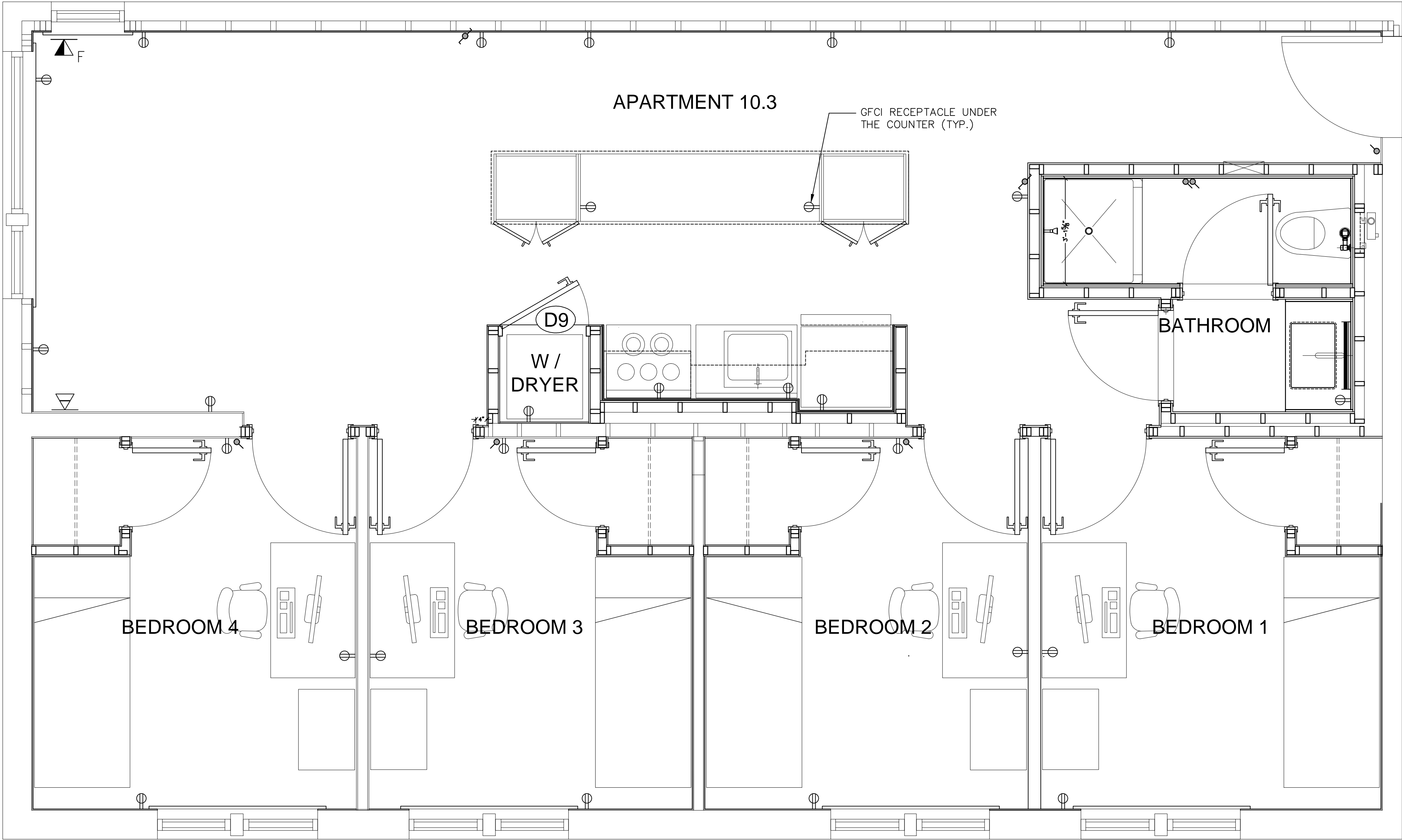
Drawing Title:
**ELECTRICAL LAYOUT PLAN
ADA APARTMENT 10.1**

Drawing No.:
A401.00

Scale: AS NOTED

Date: 08/24/2020

SU-040623



LIGHTING AND POWER

SYMBOL	DESCRIPTION
	CEILING MOUNTED LUMINAIRE
	WALL MOUNTED (MIRROR) LIGHT
	15AMP - 20 AMP RECEPTACLE (12" A.F.F.)
	SWITCH
	TWO WAY SWITCH
	COMBINATION DATA/TV OUTLET W/DUPLEX JACKS LABELLED "DATA" & "TV" (MOUNTED AT 18" A.F.F.)
	TV OUTLET WITH SINGLE JACK LABELLED "TV" MOUNTED AT 18" A.F.F.
	TELEPHONE OUTLET FOR STANDARD DESK INSTRUMENT, WITH DUPLEX-JACKS, LABELED "VOICE" AND "DATA", MOUNTED AT 18" A.F.F., "F" INDICATES FURNITURE MOUNTED.
	CEILING MOUNTED EXHAUST FAN (15"x15") W/HUMIDITY SENSOR

NOTE: REFER TO ELECTRICAL DRAWINGS

2 04/06/2023 100% SUBMISSION

1 09/24/2022 80% SUBMISSION

No. Date Revision

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Project:
**INTERIOR RENOVATIONS OF
ALUMNI VILLAGE APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**

Address:
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Purchase NY 10577

Drawing Title:
**ELECTRICAL LAYOUT PLAN
APARTMENT 10.3**

Drawing No.:
A402.00

Scale: AS NOTED

Date: 08/24/2020

SU-040623