



# Purchase College

STATE UNIVERSITY OF NEW YORK

735 Anderson Hill Road

Purchase, NY 10577-1402

www.purchase.edu

## Procurement Department

IFB: Exterior Wall Framing Repairs for Commons Dorm Apartments K4-2, K4-5

Project SU-060821

Addendum #1 \* August 19, 2021

To: Prospective Bidders

No. of Pages: 9 pages

SUNY Purchase hereby issues this Addendum, dated 8/19/2021, for the above referenced IFB, in order to provide the following clarification:

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**Item 1:**

SUNY Purchase received questions at the pre-bid meeting and via email. Answers with additional clarification and revised drawings are provided on pages 2 – 9.

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Please be sure to sign THIS ADDENDUM (as acknowledgment that your firm received it) and submit it with your bid package, which is due **Wednesday, September 1<sup>st</sup> at 2 pm.**

Respectfully,

Sheli Taylor

Associate Director of Procurement and Accounts Payable

Acknowledgement of ADDENDUM #1

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Typed printed name and title

\_\_\_\_\_  
Company name

**Think Wide Open**

Issue Date: August 19, 2021

To: Prospective Bidders

From: Sayim Malik - Project Manager, Capital Facilities Planning  
Purchase College State University of New York  
735 Anderson Hill Road  
Purchase, NY 10577-1402

State University of New York Purchase College  
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Sheli Taylor, Associate Director of Procurement & Accounts Payable

Project: SU-060821 - Exterior Wall Framing Repairs for Commons Dorm Apartments K4-2, K4-5

Re: Addendum #1 – Additional Information & Clarifications

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**This memorandum is hereby issued and hereby published on Purchase College Website on August 19, 2021. Except as modified herein, the project specifications remain unmodified.**

This Addendum forms a part of the Bidding Documents and hereby is incorporated into the Contract Documents.

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1. **Question:** Specification section 07132.3 is for bituminous waterproofing. The contract drawings call for Tyvek Homewrap. Please confirm this is an erroneous specification section.

**Answer:** Follow the specified work shown in the contract drawings, which calls for Tyvek.

2. **Question:** Specification division 8 has specifications for doors, frames, hardware, and glazing. These items are not called for in the drawings. Please confirm per the site visit the specification are for any potential change order work and not for base bid scope. Answer: follow the contract drawings

**Answer:** Follow the specified work shown in the contract drawings, which shows no doors in the subject restoration area.

3. **Question:** Specification section 09511 Calls for acoustic panel ceiling. The drawings only show gypsum ceilings. Please confirm per the site visit the specification are for any potential change order work and not for base bid scope.

**Answer:** Follow the specified work shown in the contract drawings, which shows to supply 1/2-inch fire resistant gypsum board to be used on the ceilings of the subject restoration areas.

4. **Question:** Specification section 09545 exterior soffits and cladding system. This product looks to only go under the existing exterior corridor between units. No work is currently shown in this location on the drawings. Please confirm per the site visit the specification are for any potential change order work and not for base bid scope.

**Answer:** Follow the specified work shown in the contract drawings, which does not show use

soffit cladding required in the specified Dormitory Apartment's restoration area.

5. **Question:** There are two specification sections for rough carpentry with slightly different requirements (06100 and 06105). Specifically, one specification is requiring FSC wood and LEED documentation. The other specification does not have these requirements for some of the same components. Please confirm which is correct.

**Answer:** Follow the specified work shown in the contract drawings, which does not require the use of fire- rated wood, nor the submittal of LEED documentation.

6. **Question:** Other specifications have required LEED documentation; however, this is not a LEED certified project. Are the LEED submittals required?

**Answer:** Follow the specified work shown in the contract drawings, which does not require LEED documentation submittals.

7. **Question:** There is a specification for finish woodwork which includes cabinets and notes on S1 about restoring closet shelving. This scope is not indicated anywhere else on the documents. Other than window trim at salvaged windows is there any other millwork or casework requirements?

**Answer:** Follow the specified work shown in the contract drawings, which does not have any locations of shelving in the current area to be restored.

8. **Question:** The drawings do not show any roofing work to take place. There is a specification for EPDM roofing (07532.3). First is there any roofing replacement expected as part of the base bid. If so, how far from the roof edge should be replaced? Also, the existing roof is a shingle roof not EPDM. If roofing is required to be replaced, please provide shingle, water shield, and drip edge specifications.

**Answer:** Follow the specified work shown in the contract drawings, which do not show any affected roofing. That's not to say once the gutter on the front wall is removed and the drip edge could be pulled back, that there won't be some areas of damages.

9. **Question:** Specifications reference asbestos procedures, however, there are no hazardous material reports or abatement drawings in the bid document. Is asbestos expected on this project? If not, is the owner providing a report confirming no asbestos or should the successful GC include a hazardous material survey in their proposal?

**Answer:** Follow the specified work shown in the contract drawings, there is no known asbestos in the subject restoration area.

10. **Question:** The following materials are called out to match existing: VCT floor, Carpet, Siding. Please provide a manufacturer and color to match or confirm if Facilities will be providing materials from existing attic stock for use on this project.

**Answer:** Follow the Contract Drawing, Revision 1, dated 8.19.21, which shows the removal and replacement in kind of the existing carpet in all four (4) bedrooms on the 1<sup>st</sup> and 2<sup>nd</sup> floors.

11. **Question:** Upon inspection of the site, there was at least one water pipe in the exterior wall, and one sprinkler head in each room that may be affected by shoring and demolition. Do you have any MEP as-builts to see the extent of piping that will need to be protected and or replaced?

**Answer:** There are no available as-built MEP drawings to provide Bidders.

12. **Question:** Upon inspection of the site, each room had a radiator and cover on the exterior wall. There appeared to be damage to at least the cover if not the radiator and piping. This will probably have to be replaced during the construction process. Can you provide a unit model or specification for replacement materials?

**Answer:** Follow the Contract Drawing, Revision 1, dated 8.19.21, which shows the removal and reinstallation of the existing electric baseboard heaters at four locations along the front wall. This incidental work is included in the lump-sum cost of the project. The damaged cover is an aesthetic issue, doesn't affect the radiator's operations.

13. **Question:** Specification section 06105 references Section 313116 "Termite Control". This specification section is not provided. Do the new exterior wall base plates require termite shield?

**Answer:** If there are existing termite shields, reuse them, if not, the whole building was constructed without termite shields, and proceed without replacing them. If the termite shield is damaged replace in kind. The cost of this item is to be included in the lump-sum bid for the project.

14. **Question:** Specification section 06160 – Sheathing gives a specification for pressure treated plywood were called out and fire treated plywood where called out. The drawings only call for CDX Plywood without reference to fire or pressure treated plywood. Does the ply have to be fire rated, pressure treated, or neither?

**Answer:** Follow the specified work shown in the contract drawings, which do not indicate using pressure treated plywood, and/or fire treated plywood.

15. **Question:** Drawings call for half inch fire rated sheetrock, is it type X or type C

**Answer:** Either are acceptable.

16. **Question:** Are there existing bolts in the concrete that we can utilize to install the new sill plate? If not, should the new sill plates be strapped down or anchored?

**Answer:** For replacing existing sill plate, unscrew the nuts off the existing anchor bolts, replace in kind, if unable to unscrew nuts off the existing anchor bolts, or if the existing anchor bolts are rusted, damaged, and/or /improperly installed. Cost of anchor bolt replacement shall be included in the lump-sum bid for the project. As general comment, the project is being conducted for life safety work, and the contract drawings do not show every screw, nail, fastener, nut, and other miscellaneous items of work necessary to conduct the front wall replacement. If there is any work not explicitly shown in order to execute the front wall replacement, it shall be included in

the lump sum bid for the project, unless it's clearly outside the scope of the restoration area. As such, baseboard radiators, the light fixtures, receptacles, sprinkler heads, junction boxes, replacing the existing carpet in-kind in the four (4) bedrooms, is included in the and the like miscellaneous items of work as part of the lump-sum bid for the project.

**END OF ADDENDUM NO. ONE**

GENERAL NOTES:

1.

ALL WORK SHALL CONFORM TO THE "2020 BUILDING CODE OF NEW YORK STATE" AND ALL LOCAL BUILDING CODES, LATEST EDITIONS.
2.

ALL WORK SHALL ALSO CONFORM TO THE NYS-SED REQUIREMENTS & SPECIFICATIONS.
3.

THE CONTRACTOR SHALL NOT SUBSTITUTE ANY MATERIAL SPECIFIED WITHOUT ENGINEER'S & OWNERS' PRIOR APPROVAL.
4.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, TECHNIQUES, SEQUENCES, AND METHODS OF CONSTRUCTION UNLESS SPECIFIC DIRECTIONS HAVE BEEN PROVIDED.
5.

PRIOR TO THE START OF WORK, THE CONTRACTOR VERIFY THE FOLLOWING:

– ALL DIMENSIONS AND ELEVATIONS,

– THE EXISTING CONDITIONS,

– DETERMINE ANY SITE OR BUILDING RESTRICTIONS.

– REPORT ANY DEFICIENCIES TO THE ENGINEER.
6.

THE CONTRACTOR SHALL CONTINUOUSLY PROTECT THE EXISTING STRUCTURE DURING THE COURSE OF WORK. THIS PROTECTION SHALL REMAIN IN PLACE UNTIL ALL WORK IN A GIVEN AREA IS COMPLETED. IF ANY DAMAGE TO THE EXISTING STRUCTURE OCCURS IT SHALL BE REPAIRED BY THE CONTRACTOR WITHOUT CHARGE TO THE OWNER.
7.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING, PROTECTING, AND WAREHOUSING ALL MATERIALS NEEDED FOR THE PROJECT.
8.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AT THE JOB SITE, INCLUDING THE EFFECT CONSTRUCTION PROCEDURES MAY HAVE ON PROPERTY AND PERSONS AT THE JOB SITE.
9.

THE CONTRACTOR SHALL MAINTAIN CLEAN AND SAFE WORKING CONDITIONS. HE SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS.
10.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THEY CANNOT COMPLY WITH ANY NOTES ON THIS DRAWING OR IF THERE IS A CONFLICT.
11.

THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS ON THE JOBSITE DURING ALL PHASES OF CONSTRUCTION.
12.

THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT THE OWNERS' WRITTEN AUTHORIZATION.
13.

ALL NEW WORK SHALL MATCH THE EXISTING FINISHES AS CLOSELY AS POSSIBLE.
14.

THE CONTRACTOR SHALL PARK THEIR VEHICLES AT LOCATIONS DIRECTED BY THE OWNER (SUNY-PURCHASE COLLEGE).
15.

CONTRACTOR PERSONAL SHALL HAVE PROTECTIVE GEAR IN COMPLIANCE WITH OSHA REGULATIONS INCLUDING THE FOLLOWING: SAFETY VESTS, HARD-HATS, HARD-SOLED WORK BOOTS, PROTECTIVE EYEWEAR, PROTECTIVE FACE MASKS, AND SUCH FORTH.
16.

CONTRACTOR'S WORKFORCE SHALL NOT SMOKE ON SCHOOL PREMISES, NOR CONSUME ANY ALCOHOLIC BEVERAGES.
17.

THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS TO MAINTAIN TEMPORARY ELECTRIC, LIGHTING, AND WATER DURING CONSTRUCTION.
18.

GUARANTEE: ALL WORK INCLUDED IN THE CONTRACT DOCUMENTS SHALL BE GUARANTEED AGAINST DETECTS OR MATERIALS AND WORKMANSHIP FOR THE PERIOD SPECIFIED BY THE MANUFACTURER OR ONE YEAR, WHICHEVER IS LONGER, FROM THE DATE OF OCCUPANCY.
19.

THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FIRE EXITS AT ALL TIMES.
20.

THE CONTRACTOR SHALL SUBMIT A COMPLETE LIST OF ALL SUBCONTRACTORS TO BE USED ON THIS PROJECT.
21.

THE CONTRACTOR IS REQUIRED TO HAVE A COMPETENT SUPERINTENDENT ON THE SITE WHEN WORK IS IN PROGRESS.
22.

THE CONTRACTOR SHALL BE COMPETENTLY REPRESENTED AT EVERY WEEKLY JOB MEETING. THE SCHEDULING OF THESE WEEKLY JOB MEETINGS SHALL BE JOINTLY AGREED UPON AT THE BEGINNING OF CONSTRUCTION.
23.

THE FINISHED JOB SHALL BE DELIVERED IN A FINISHED AND CLEAN MANNER, INCLUDING POLISHING COUNTERTOPS, AND CLEANING WINDOWS AND FLOORS.
24.

OWNER SHALL PAY FOR ALL SURVEYOR AND BUILDING PERMIT FEES.
25.

DO NOT SCALE DRAWINGS.
26.

PROTECT ALL EXISTING CONDITIONS DURING CONSTRUCTION. IF DAMAGED, RESTORE & REPLACE AT NO EXPENSE TO "STATE UNIVERSITY OF NEW YORK – PURCHASE COLLEGE" HEREIN KNOWN AS THE OWNER.
27.

THE CONTRACTOR SHALL PROVIDE EVIDENCE OF WORKMAN'S COMPENSATION, GENERAL LIABILITY AND DISABILITY INSURANCE IN FORCE PRIOR TO COMMENCING WORK, AND NAMING OF THE OWNER AS ADDITIONALLY INSURED..
28.

THOSE ITEMS NOT SPECIFIED ON THE DRAWINGS, BUT IMPLIED AS NECESSARY AS PART OF THE WORK SHALL BE CONSIDERED A PART THEREOF.
29.

ALL WORK IS TO BE PERFORMED BY MECHANICS SKILLED IN THEIR TRADE.
30.

THESE DRAWINGS ARE ISSUED FOR CONSTRUCTION BIDDING & PRICING. UPON AWARD, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL BE ISSUED A FINAL, STAMPED SET OF APPROVED CONSTRUCTION DOCUMENTS.
31.

THE CONTRACTOR SHALL ERECT A 10'-0" LONG SIDEWALK BRIDGE. THE CONTRACTOR SHALL ALSO ERECT A 6' HIGH CHAIN LINK CONSTRUCTION FENCE AROUND THE WORK AREA AS SHOWN AND LOCATE ALL EQUIPMENT NEEDED TO CONDUCT THE PROJECT WITHIN THIS WORK AREA INCLUDING – THE DECON UNIT (ASBESTOS ABATEMENT), DUMPSTERS, LADDERS, NEW MATERIALS.
32.

SHOULD INTERFERENCES OCCUR DUE TO UNFORESEEN CONDITIONS, CALL ENGINEER TO PREPARE ALTERNATE DETAILS.
33.

IMPLEMENTING JOB SAFETY AND CONSTRUCTION PROCEDURES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
34.

THE CONTRACTOR SHALL CONTACT THE STRUCTURAL ENGINEER UPON DISCOVERY OF ANY DISCREPANCY BETWEEN THE CONTRACT DRAWINGS AND ACTUAL EXISTING CONDITIONS.
35.

THE CONTRACTOR IS TO MATCH EXISTING CONDITIONS, WHICH SHALL NOT BE KNOWN FULLY UNTIL THE REAR WALL IS STRIPPED AND EXPOSED. FURTHER, THE EXTENT OF DETERIORATION OF THE REAR WALL WARRANTING REPLACEMENT SHALL NOT BE KNOWN UNTIL THE FINISHES ARE REMOVED. THE FINISHES CANNOT BE SAFELY REMOVED PRIOR TO INSTALLING ROOF TRUSS SHORING SYSTEM AND THE 2ND FLOOR TRUSS SHORING SYSTEM.

ENGINEER'S REQUIRED INSPECTIONS

1.

WORK AREA ENCLOSURE AND SIDEWALK BRIDGE.
2.

TEMPORARY BUILDING SHORING.
3.

NEW WALL FRAMING PRIOR TO 5/8" PLYWOOD SHEATHING INSTALLATION.
4.

INSULATION.
5.

FINAL INSPECTION.

PROVIDE MINIMUM OF 24 HOUR ADVANCE NOTICE.

DESIGN LOADS:

FIRST FLOOR (Existing):  
DEAD LOAD, WOOD/TILE FINISH: 15.0 psf/21.0 psf  
LIVE LOAD: 40.0 psf

SECOND FLOOR (Existing):  
DEAD LOAD, WOOD/TILE FINISH: 15.0 psf/21.0 psf  
LIVE LOAD: 40.0 psf

ROOF  
DEAD LOAD: 15.0 psf  
SNOW LOAD: 30 psf + DRIFT PER ASCE 7-16

MAX. DEFLECTION FOR STRUCTURAL MEMBERS

ROOF RAFTERS	L/180
INTERIOR WALLS & PARTITIONS	H/180
FLOORS FRAMING	L/360
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS	H/360

DEMOLITION NOTES:

1.

DEMOLITION: ALL DEBRIS REMOVAL AND ABATEMENT TO BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL & OSHA GUIDELINES & LAWS. THE CONTRACTOR SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AT ALL TIMES. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR ANY UNFORESEEN PROBLEMS. THE CONTRACTOR THAT PROTECT THE BUILDING DURING DEMOLITION. DEBRIS CHUTES SHALL BE INSTALLED AS PER CODES.
2.

REMOVE ALL CONSTRUCTION AS NECESSARY IN ORDER THAT THE NEW WORK CAN BE PERFORMED.
3.

ALL MECHANICAL AND ELECTRICAL REMOVALS, ABOVE AND UNDERGROUND, SHALL BE HANDLED IN AN APPROVED MANNER AND ALL LINES SHALL BE TERMINATED IN AN APPROVED MANNER.
4.

DEMOLISH ITEMS AS INDICATED ON DRAWINGS.
5.

STANDARDS: EXCEPT AS MODIFIED BY GOVERNING CODES, COMPLY WITH THE APPLICABLE PROVISIONS AND RECOMMENDATIONS OF THE "AMERICAN STANDARD SAFETY CODE FOR BUILDING CONSTRUCTION" (ANSI A10.2) AND "SAFETY REQUIREMENTS FOR DEMOLITION" (ANSI A10.6).
6.

PRIOR TO COMMENCING DEMOLITION, CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASCERTAIN REQUIRED PROTECTION MEASURES AND DEMOLITION SEQUENCING.
7.

CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF THE EXISTING STRUCTURE DESIGNATED TO REMAIN WHERE DEMOLITION AND REMOVAL WORK IS BEING DONE, CONNECTIONS MADE, MATERIALS HANDLED, OR EQUIPMENT MOVED.
8.

REMOVE ALL MATERIALS, EQUIPMENT AND APPURTENANCES NOT REQUIRED IN THE FINISHED PROJECT.
9.

ALL MATERIALS ARE TO BE REMOVED FROM THE SITE PROMPTLY AND DISPOSED OF LEGALLY.
10.

DISCONNECT, PLUG OR CAP ALL UTILITIES AND SERVICES TO BE DISCONTINUED BEFORE COMMENCING DEMOLITION.
11.

REPLACE OR REPAIR ANY DAMAGED OR BROKEN DOORS AND GLAZING WHICH ARE TO REMAIN.
12.

SCOPE OF WORK SHALL BE LIMITED TO WITHIN WORK AREA AND SHALL NOT INTERFERE WITH THE OCCUPANTS OF THE BUILDING.
13.

KEEP DUST AND DEBRIS TO A MINIMUM. PROVIDE AND MAINTAIN DUST-PROOF BARRIER THROUGHOUT THE PROJECT.
14.

THE CONTRACTOR SHALL PROTECT THE BUILDING PREMISES AND ALL OCCUPANTS FROM THE PROJECT SITE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY COVERINGS, BOARDS, TEMPORARY PARTITIONS AND DOORS AS REQUIRED TO PROTECT EXISTING WORK AND FINISHES TO REMAIN AT THE JOBSITE AND ALL AREAS OF THE BUILDING EFFECTED BY THE CONSTRUCTION.
15.

CONTRACTOR SHALL MAINTAIN CONSTRUCTION PREMISES IN A BROOM CLEAN CONDITION AT THE END OF EACH WORK DAY.
16.

MAKE SUCH EXPLORATIONS, AND PROBES AS REQUIRED TO ASCERTAIN ANY NECESSARY PROTECTIVE MEASURES BEFORE PROCEEDING WITH THE DEMOLITION AND REMOVALS. GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS SO AS TO PREVENT ANY DAMAGE TO OCCUPANTS, WORKERS AND TO THE EXISTING PREMISES.
17.

PROVIDE AND MAINTAIN WEATHER PROTECTION AT EXTERIOR OPENINGS SO AS TO FULLY PROTECT THE INTERIOR PREMISES AGAINST DAMAGE FROM THE ELEMENTS UNTIL SUCH OPENINGS ARE CLOSED BY NEW CONSTRUCTION.
18.

BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR CONTENTS BY REASON OF THE INSUFFICIENCY OF PROTECTION PROVIDED. RESTORE FINISHED WORK DISTURBED BY THIS SCOPE OF WORK.
19.

COVER OPENINGS TO OTHER AREAS WITH PLYWOOD AND TAPE, OR SIMILAR, TO PREVENT DIRT AND DUST FROM SPREADING BEYOND THE WORK AREA. THE COVERED OPENINGS ARE TO REMAIN SEALED THROUGHOUT DEMOLITION AND IF POSSIBLE, ALL CONSTRUCTION.
20.

PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH LOCAL & STATE FIRE DEPARTMENT & BUILDING CODE REGULATIONS & HOMEOWNER INSURANCE REQUIREMENTS.
21.

PROVIDE NEW OPENINGS AS REQ'D IN BUILDING EXTERIOR FOR ACCESS WINDOWS AND MECHANICAL SYSTEMS.
22.

PROVIDE SECURE COVERINGS AT EXTERIOR OPENINGS TO PREVENT ACCESS INTO HOUSE.
23.

CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURE, FIXTURES AND FITTINGS, APPURTENANCES, OR CONTENTS IF DEEMED RESULTANT OF CONTRACTOR'S OPERATIONS.
24.

NECESSARY PRECAUTIONS WILL BE TAKEN TO PREVENT DUST AND DIRT FROM RISING BY WETTING DEMOLISHED MASONRY, CONCRETE, PLASTER AND SIMILAR DEBRIS; DUST WILL BE CONTROLLED WITH GREEN SWEEPING COMPOUND.
25.

DUST-PROOF PARTITIONS OR BARRIERS WILL BE ERECTED TO PREVENT THE SPREAD OF DUST TO UNALTERED OR COMPLETED PORTIONS OF THE PROJECT AREA.
26.

WHERE EXISTING WALLS AND CEILINGS ARE TO REMAIN, EDGES OF EXISTING MATERIALS WILL BE LEFT NEAT, SHARP, AND FIRMLY IN PLACE SO THAT NEW MATERIALS CAN BE PROPERLY AND NEATLY ADJOINED TO OLD.
27.

ALL PARTITIONS, CEILINGS, FLOORS, DOORS, FRAMES, HARDWARE, LIGHTING FIXTURES NOT INDICATED ON DRAWINGS AS EITHER NEW OR EXISTING TO REMAIN SHALL BE DEMOLISHED.
28.

CONTRACTOR SHALL PERFORM ALL CUTTING, INCLUDING CHASES, AS REQUIRED FOR PLUMBING, ELECTRICAL, MECHANICAL AND STRUCTURAL WORK.9. ALL ITEMS SPECIFICALLY DESIGNATED FOR REUSE, BUT DAMAGED IN THE COURSE OF WORK PERFORMED BY THE CONTRACTOR SHALL BE REPLACED BY ITEMS OF EQUAL QUALITY AND APPEARANCE AT NO EXPENSE TO THE OWNER.
29.

CLEAN UP: PREMISES SHALL BE LEFT CLEAN OF DEBRIS AND IN BROOM CLEAN CONDITION. ADJACENT PLACES SHALL BE THOROUGHLY CLEANED. ALL ITEMS DESIGNATED TO BE SAVED WILL BE STORED AND COVERED IN DESIGNATED AREA TO BE DETERMINED.
30.

ASBESTOS REMOVAL: DISPOSAL AND CONTAINMENT OF ANY MATERIALS FOUND SHALL BE IN ACCORDANCE WITH NEW YORK STATE AND LOCAL REGULATIONS.

GYPSUM WALL & CEILING FINISHES:

1.

NEW GYPSUM BOARD SYSTEM SHALL BE USG OR EQUAL – USE 1/2" THICK FIRE RESISTANT SHEET ROCK.
2.

GYPSUM BOARD TO BE TAPED AND SPACKLED (3 COATS) SMOOTH & SANDED.
3.

THE SHEET ROCK IS TO BE PAINTED WITH BENJAMIN MOORE OR SHERMAN WILLIAMS OR EQUAL, TO MATCH EXISTING.

PAINTING:

1.

CONTRACTOR SHALL PAINT ALL INTERIOR & EXTERIOR FINISHES TO BE PRIMED AND PAINTED WITH 2 COATS OF BENJAMIN MOORE OR SHERMIN WILLIAMS (OR EQUAL) LATEX PAINT OVER 1 COAT LATEX-BASED PRIMER, COLOR TO BE SPECIFIED BY OWNER.
2.

ALL PAINT COLORS TO BE SELECTED AND APPROVED BY OWNER.
3.

ALL CEILINGS TO BE FLAT, TRIM TO BE SEMI-GLOSS, AND WALLS EGGSHELL.
4.

ALL PRIMER TO BE TINTED WITH SELECTED COLOR.

CARPENTRY:

1.

THE CONTRACTOR SHALL NOT PROVIDE WORK WHICH DEVIATES FROM THE CONTRACT DOCUMENTS UNLESS THE ALTERNATE CONSTRUCTION HAS BEEN APPROVED BY THE ENGINEER. FOR APPROVAL OF ALTERNATE CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT DRAWINGS AND CALCULATIONS, SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER, WHICH SHOW THAT THE ALTERNATE CONSTRUCTION SATISFIES ALL APPLICABLE CODES.
2.

FRAMING LUMBER SHALL BE #2 OR BETTER GRADE, DOUGLAS FIR OR SOUTHERN YELLOW PINE.
3.

FRAMING LUMBER AND SHEATHING SHALL BE CLEARLY MARKED WITH A GRADE STAMP.
4.

LVL MEMBERS SHALL BE 2.0E MICRO-LAM LVL AS MANUFACTURED BY TRUS JOIST MACMILLAN IN SIZES INDICATED ON DRAWINGS.
5.

MOISTURE CONTENT OF FRAMING LUMBER SHALL BE 19% OR LESS ON DELIVERY. PROTECT FROM THE WEATHER UNTIL INSTALLED.
6.

ALL INTERIOR WALL PARTITIONS ARE TO BE 2 X 4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
7.

ALL EXTERIOR WALLS/BEARING WALLS ARE TO BE 2 X 6 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
8.

EXTERIOR WALL SHEATHING TO BE 5/8" CDX PLYWOOD.
9.

ROOF SHEATHING IF REQUIRED TO BE 3/4" CDX PLYWOOD.
10.

FLOOR SHEATHING SHALL BE 3/4" PLYWOOD, TONGUE & GROOVE. SCREW & GLUES TO JOISTS.
11.

ALL HEADERS OVER OPENINGS IN INTERIOR AND EXTERIOR BEARING WALLS TO BE (2) 2 X10'S IN 2 X 4 WALLS & (3) 2 X10'S IN 2 X6 WALLS UNLESS NOTED OTHERWISE ON DRAWINGS.
12.

PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FLOOR JOIST.
13.

PROVIDE FIRE BLOCKING AS REQUIRED BY BUILDING CODE.
14.

BLOCK SOLID TO BEARING UNDER ALL HEADERS, BEAMS AND GIRDERS.
15.

USE TECO OR SIMPSON JOIST HANGERS AT ALL FLUSH FRAMING CONDITIONS.
16.

PROVIDE BRIDGING AT MID SPAN (MAX 8' – 0") BETWEEN ALL JOISTS.
17.

MANUFACTURED LUMBER TO BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
18.

DOUBLE FRAME AROUND ALL ROOF & FLOOR OPENINGS, UNLESS NOTED OTHERWISE ON DRAWINGS.
19.

PROVIDE DOUBLE JACK STUDS FOR OPENINGS OVER 6'0".
20.

PROVIDE TYVEK HOUSE WRAP BY DUPONT AS EXTERIOR VAPOR BARRIER OR EQUAL..
21.

CAULK TO PAINTABLE SILICONE WHITE.
22.

EXTERIOR WINDOW FRAMES, CASINGS AND MISCELLANEOUS WOODWORK TO BE CLEAR, PRE-PRIMED CEDAR.
23.

EXTERIOR SIDING TO MATCH EXISTING.
24.

FOR BALANCE OF SPECIFICATIONS, SEE "WOOD FRAMING".

FINISH CARPENTRY:

1.

DOOR AND WINDOW CASING, JAMBS AND STOOLS, BASE AND CROWN SHALL BE CLEAR PINE OR POPLAR & MATCH EXISTING.
2.

RESTORE T.M.E. EACH CLOSET USING SHELVING CONSISTING OF ONE 1 X 12 POPLAR OR EDGED BIRCH PLYWOOD SHELF. PANTRY CLOSET SHALL BE PROVIDED WITH 5 SHELVES.
3.

RESTORE T.M.E. EACH CLOSET WITH ONE CLOSET POLE PER CLOSET.
4.

POLE SHALL BE CHROME PLATED HEAVY DUTY WITH CHROME ESCUTCHEONS.
5.

ALL WOOD TRIM SHALL BE DRY AND CONDITIONED TO SPACE PRIOR TO INSTALLATION.
6.

BUTT JOINTS BETWEEN TRIM PIECES SHALL BE TIGHT AND WITHOUT GAPS.
7.

C.O. DEFINES A CASED OPENING TO HAVE JAMB AND FRAME.

THERMAL & MOISTURE PROTECTION:

1.

2 X 6 EXT. STUD WALLS: R19 BATT INSULATION:
2.

CONTRACTOR SHALL INSTALL ALL FLASHING, CAULKING AND SEALANTS REQUIRED TO PROVIDE WEATHERTIGHT CONSTRUCTION, REGARDLESS OF WHETHER OR NOT THIS INFORMATION IS SHOWN ON THE CONTRACT DRAWINGS.

ELECTRICAL NOTES:

1.

THE ELECTRICIAN SHALL EXAMINE DRAWINGS AND BECOME FULLY INFORMED WITH THE SCOPE OF WORK, NOTIFYING THE ENGINEER OF ANY DISCREPANCIES. THIS SCOPE OF WORK SHALL INCLUDE THE MATERIALS AND LABOR NECESSARY TO PERFORM THE ELECTRICAL WORK SHOWN ON CONTRACT DRAWINGS. THE ELECTRICIAN'S SCOPE OF WORK SHALL ALSO INCLUDE OBTAINING ELECTRICAL PERMITS, ARRANGING FOR ELECTRICAL INSPECTIONS, , AND PAYING FOR PERMIT FEES. UPON COMPLETING THEIR DUTIES, THE ELECTRICIAN SHALL SUPPLY THE ENGINEER WITH THE FINAL ELECTRICAL CERTIFICATE.
1.

ALL ELECTRICAL WORK SHALL CONFORM TO THE NYS ELECTRICAL CODE REQUIREMENTS.
2.

ALL MATERIALS & EQUIPMENT SHALL BE NEW, UL APPROVED, BEARING THE UL STAMP, AND BE COMMERCIAL GRADE UNLESS OTHERWISE NOTED.
3.

PROVIDE TEMPORARY ELECTRICAL POWER FOR THE WORK OF OTHER TRADES AS REQUIRED BY THE GENERAL CONTRACTOR.
4.

PROVIDE TYPED CIRCUIT DIRECTORIES FOR PANELBOARDS.
5.

PROVIDE A ONE-YEAR CERTIFICATE OF WORKMANSHIP AND MATERIAL MATERIAL GUARANTEE OFFER.
6.

COST FOR THE ELECTRICAL WORK SHALL BE INCLUDED IN LUMP-SUM BID FOR THE PROJECT.

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URL: www.gdengineers.net  
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Project Name:  
EXTERIOR WALL FRAMING  
REPAIRS FOR COMMONS  
DORM APARTMENTS  
K4-2 & K4-5

Project Number: SU-060821

Scale: 1/4" = 1'-0"

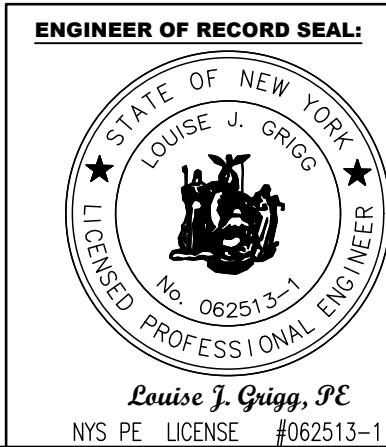
Date: 06.30.2021

DRAWING TITLE:

GENERAL NOTES  
&  
SPECIFICATIONS

DRAWING NUMBER:

S-1 of 4



DRAWING LIST:  
S1 – GENERAL NOTES & SPECIFICATIONS  
S2 – TEMPORARY BUILDING SHORING AND DEMOLITION PLANS  
S3 – EXTERIOR WALL REPAIRS & MISC. RELATED ITEMS  
S4 – SECTIONS & DETAILS



DEMOLITIONS & TEMPORARY SHORING SCOPE OF WORK

1. INSTALL TEMPORARY BRIDGE OVER WALKWAY AND 6" HIGH TEMPORARY CHAIN LINK FENCING, AS SHOWN IN PLAN.
2. DISCONNECT THE AFFECTED GAS, WATER, POWER, TELE, CABLE, CEILING AND WALL MOUNTED SPRINKLER HEADS, JUNCTION BOXES, ELECTRIC BASE BOARDS, LIGHT FIXTURES, RECEPTACLES, AND REMOVE EXISTING FIXTURES AND STORE FOR REUSE WHERE SALVAGEABLE.
3. STRIP FINISHES NEEDED FOR THE INSTALLATION OF TEMPORARY SHORING.
4. REMOVE & DISPOSE OF THE EXISTING CARPETS AND RESILIENT FLOORING AFFECTED BY THIS WORK.
5. INSTALL TEMPORARY SHORING FROM THE 1ST FLOOR SLAB ON GRADE THRU THE UNDERSIDE OF THE ROOF FRAMING AT LOCATIONS SHOWN IN PLANS, AND CALL FOR AN ENGINEER'S INSPECTION OF THE SHORING. NO PARTITION DEMOLITION MAY PROCEED PRIOR TO SHORING INSPECTION AND APPROVAL BY ENGINEER OF RECORD.
6. CALL FOR INSPECTIONS. UPON COMPLETION OF THE INSTALLATION OF ALL THE TEMPORARY BUILDING SHORING NOTIFY GRIGG & DAVIS ENGINEERS, P.C., 914-725-5095, TO PERFORM THE TEMPORARY BUILDING SHORING INSPECTION. UPON APPROVAL OF THE TEMPORARY BUILDING SHORING BY GRIGG & DAVIS ENGINEERS, P.C. BEGIN DEMOLITION OF THE EXTERIOR WALL. PROVIDE MINIMUM OF 24 HOUR ADVANCE NOTICE FOR THE TEMPORARY BUILDING SHORING INSPECTION.
7. SET UP TEMPORARY WATER PROTECTIONS; PROVIDE TARP FOR WEATHER PROTECTION ONCE DEMOLITION BEGINS UNTIL TYBEK HOMEWRAP IS INSTALLED AND WINDOWS ARE RE-INSTALLED. TARP SHALL BE SECURELY TIED DOWN AT THE END OF EACH WORK DAY.
8. DEMOLITION CAN PROCEED UPON TEMPORARY SHORING INSTALLATION AND GRIGG & DAVIS ENGINEERS' APPROVALS AT BOTH THE 1ST AND 2ND FLOORS. DEMOLITION REMOVAL SHALL INCLUDE THE REMOVAL OF EXISTING DOUBLE 4" VINYL SIDING; EXISTING AIR INFILTRATION BARRIER; EXISTING 5/8" T1-11 PLYWOOD SHEATHING; EXISTING R19 BATT INSULATION; EXISTING 1/2" GYPSUM WALL AND CEILING BOARDS; EXISTING WALL STUDS, AND REMOVAL AND STORAGE OF THE EXISTING WINDOWS (FOR THEIR RE-USE).
  - A. REMOVE EXISTING 1/2" GYPSUM BOARD CEILING AND 1/2" RESILIENT CLIPS AT LOCATIONS SHOWN IN PLAN.
  - B. AT THE FRONT WALL, STRIP EXISTING WALL INTERIOR WALL FINISHES DOWN TO THE STUDS AT LOCATIONS SHOWN IN PLAN.
  - C. REMOVE THE EXISTING BASEBOARD HEATERS AND STORE FOR REUSE
  - D. CAREFULLY REMOVE THE WINDOWS AND STORE FOR REINSTALLATION.
  - E. REMOVE EXISTING 1/2" GYPSUM BOARD CEILING AND EXISTING R30 BATT INSULATION. TO LOCATED 1st INTERIOR BOTTOM CHORD PANEL POINT ON WOOD ROOF TRUSSES.
  - F. REMOVE ALL EXISTING CEILING CONDUITS & FIXTURES AND STORE FOR RE-INSTALLATION.
  - G. REMOVE EXISTING 1/2" GYPSUM WALL BOARDS AND 2 x 4 WALL STUDS IF NECESSARY TO INSTALL ADJUSTABLE LENGTH STEEL POST SHORE UNDER WOOD ROOF TRUSS.
  - H. REMOVE EXISTING VINYL SIDING WHERE SHOWN IN PLANS.
  - I. REMOVE FLOOR FINISHES AND REMEDIATE THE ROTTED 3/4" PLYWOOD FLOOR SHEATHING.
  - J. CONDUCT MISCELLANEOUS OTHER RELATED WORK.
9. DO NOT REMOVE TEMPORARY BUILDING SHORING UNTIL ALL NEW 5/8" PLYWOOD SHEATHING HAS BEEN INSTALLED.

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08.19.21	1	ADDENDUM NO. 1

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DORM APARTMENTS  
K4-2 & K4-5

**Project Number:** SU-060821

**Scale:** 1/4" = 1'-0"

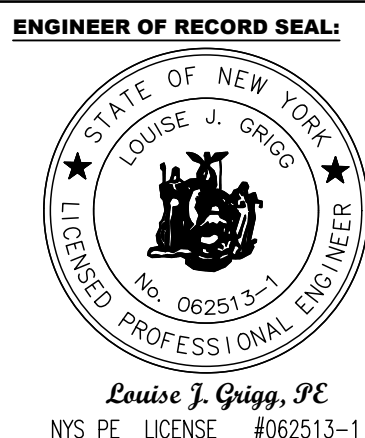
**Date:** 06.30.2021

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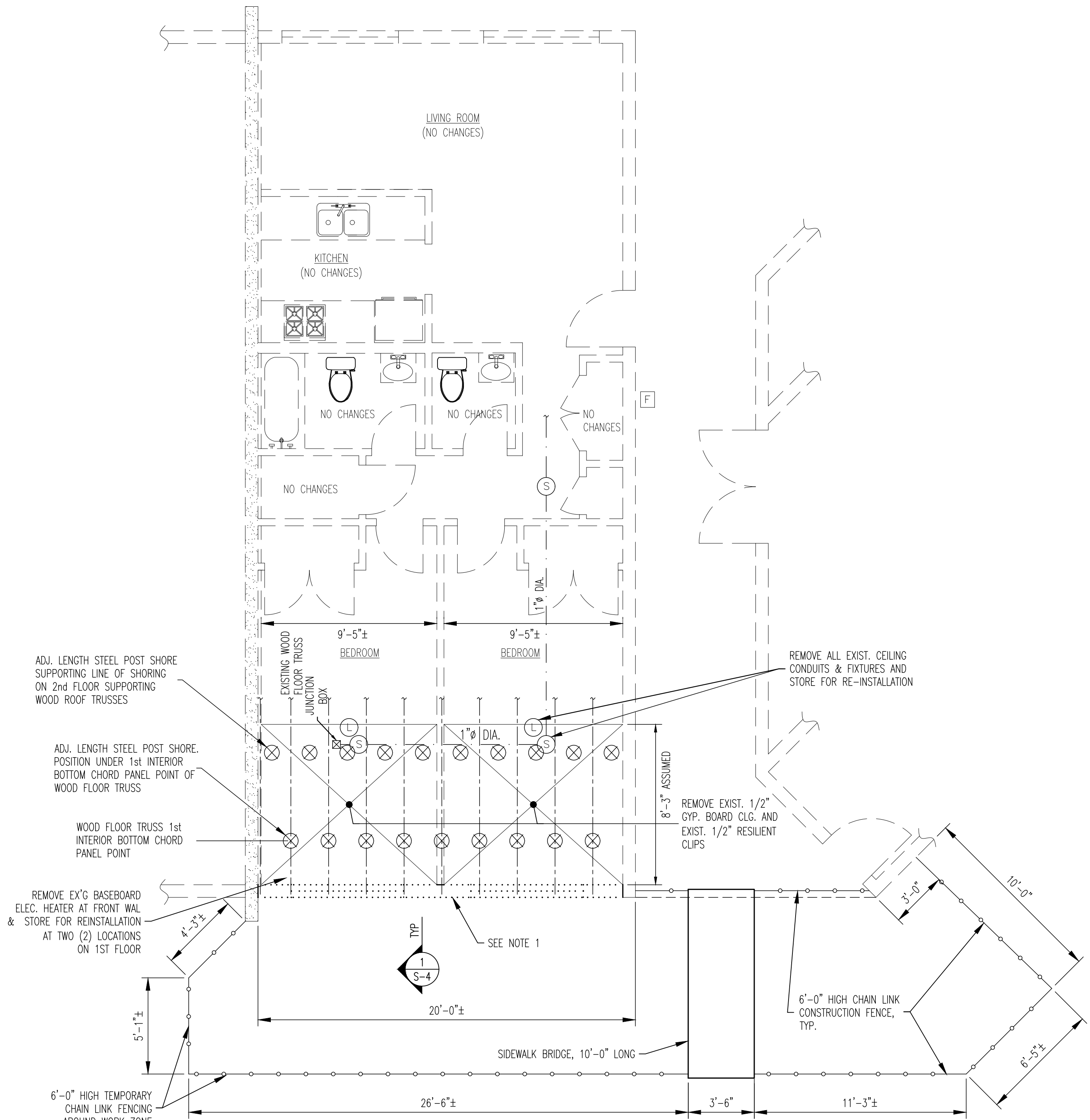
TEMPORARY BUILDING  
SHORING AND DEMOLITION  
PLANS

**Drawing Number:**

**S-2 of 4**



- DRAWING LIST:**  
S1 - GENERAL NOTES & SPECIFICATIONS  
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S4 - SECTIONS & DETAILS



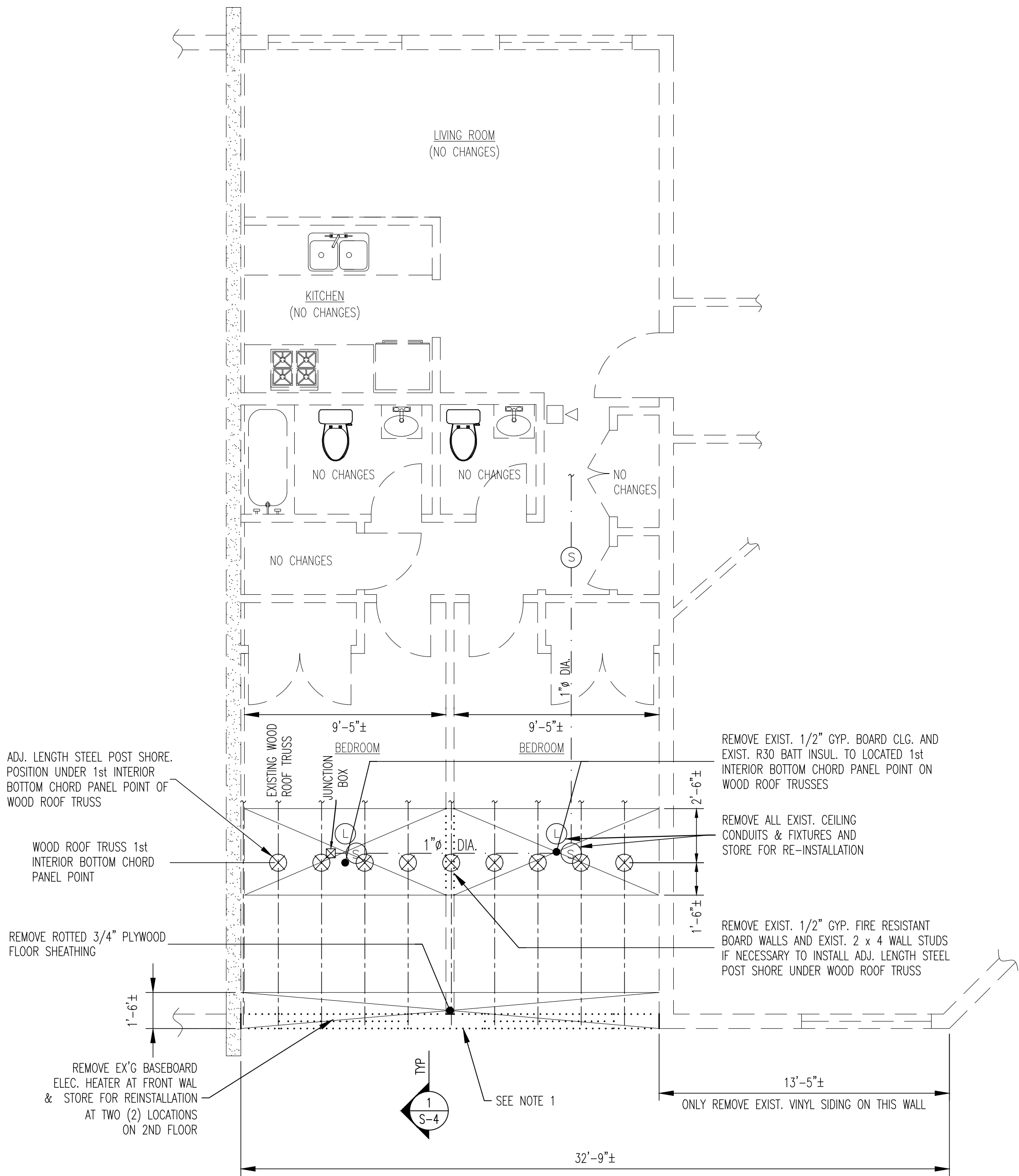
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**1ST FLOOR TEMPORARY BUILDING  
SHORING AND DEMOLITION PART PLAN**  
SCALE: 1/4" = 1'-0" APARTMENT K4-2



**LEGEND**

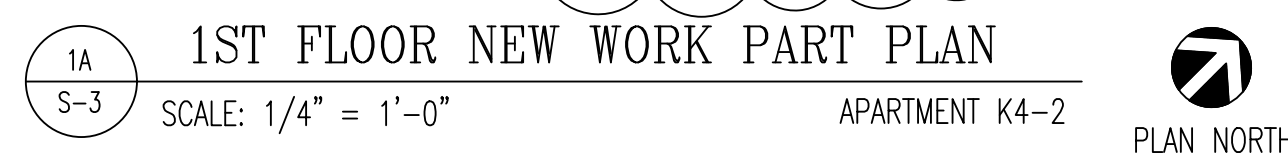
- ..... - DEMOLITION
- ..... - EXIST. WALL TO BE REMOVED
- - EXISTING TO REMAIN
- ===== - EXIST. WALL TO REMAIN
- ===== - NEW INSTALLATION
- ===== - NEW WALL TO BE INSTALLED
- ⊗ - ADJ. LENGTH STEEL POST SHORE  
P<sub>MAX</sub> = 4,000.0 LBS WORKING LOAD  
L<sub>MAX</sub> = 9'-6"
- - 6'-0" HIGH TEMPORARY CHAIN LINK FENCING  
AROUND THE WORK ZONE, AS SHOWN IN PLAN.
- Ⓢ - SMOKE DETECTORS



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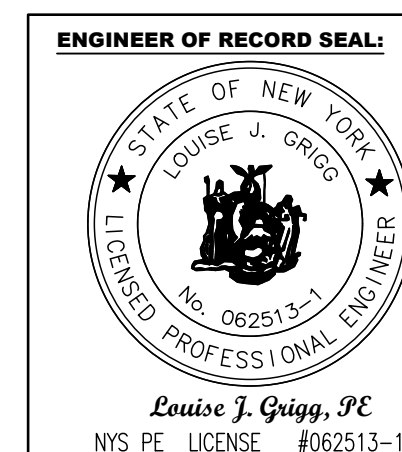
**2ND FLOOR TEMPORARY BUILDING  
SHORING AND DEMOLITION PART PLAN**  
SCALE: 1/4" = 1'-0" APARTMENT K4-5



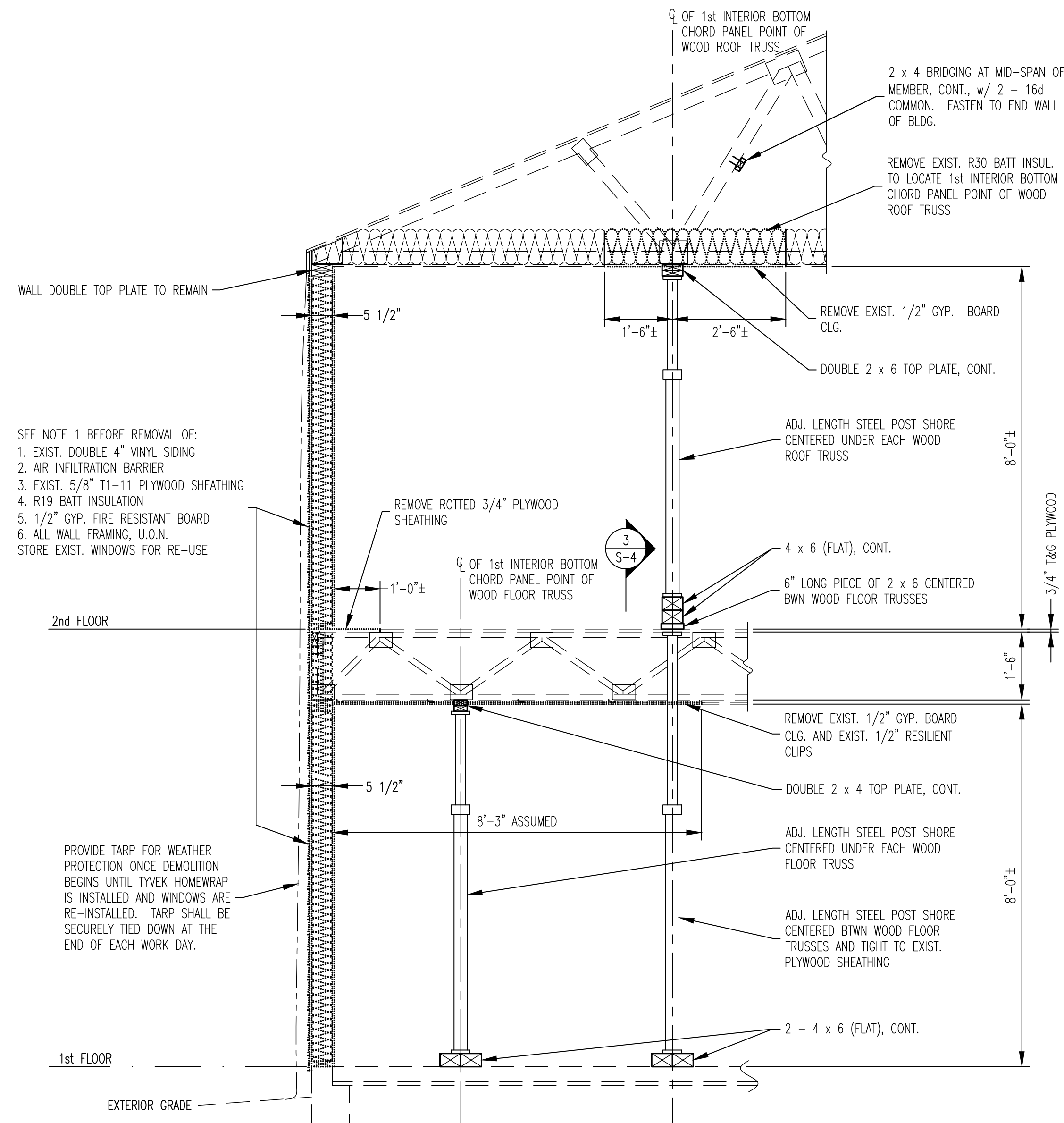


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| DRAWING LIST:  |
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| S4 - SECTIONS & DETAILS                              |

**S-3 of 4**

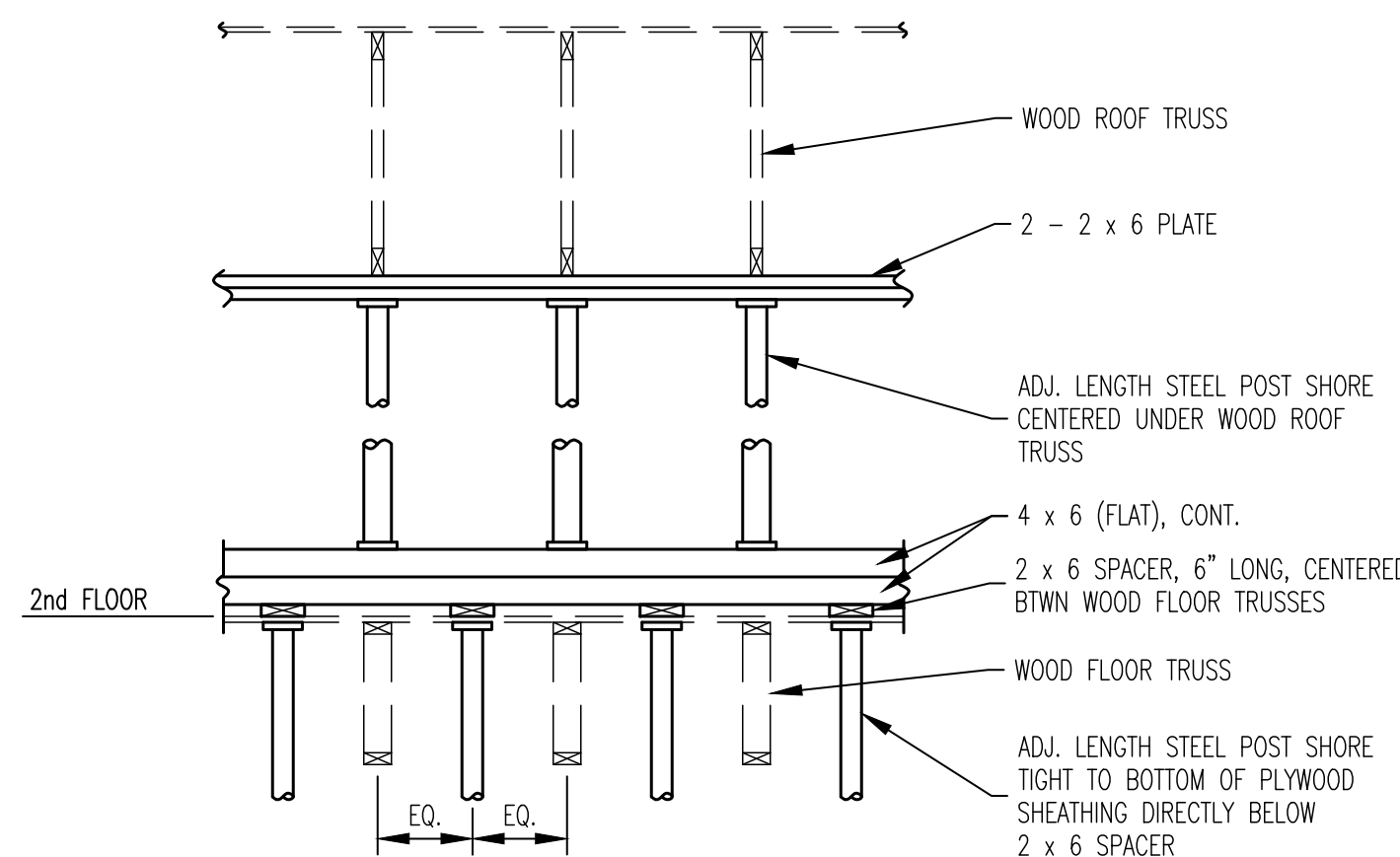






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1 SECTION FOR TEMPORARY BUILDING SHORING AND DEMOLITION  
S-4

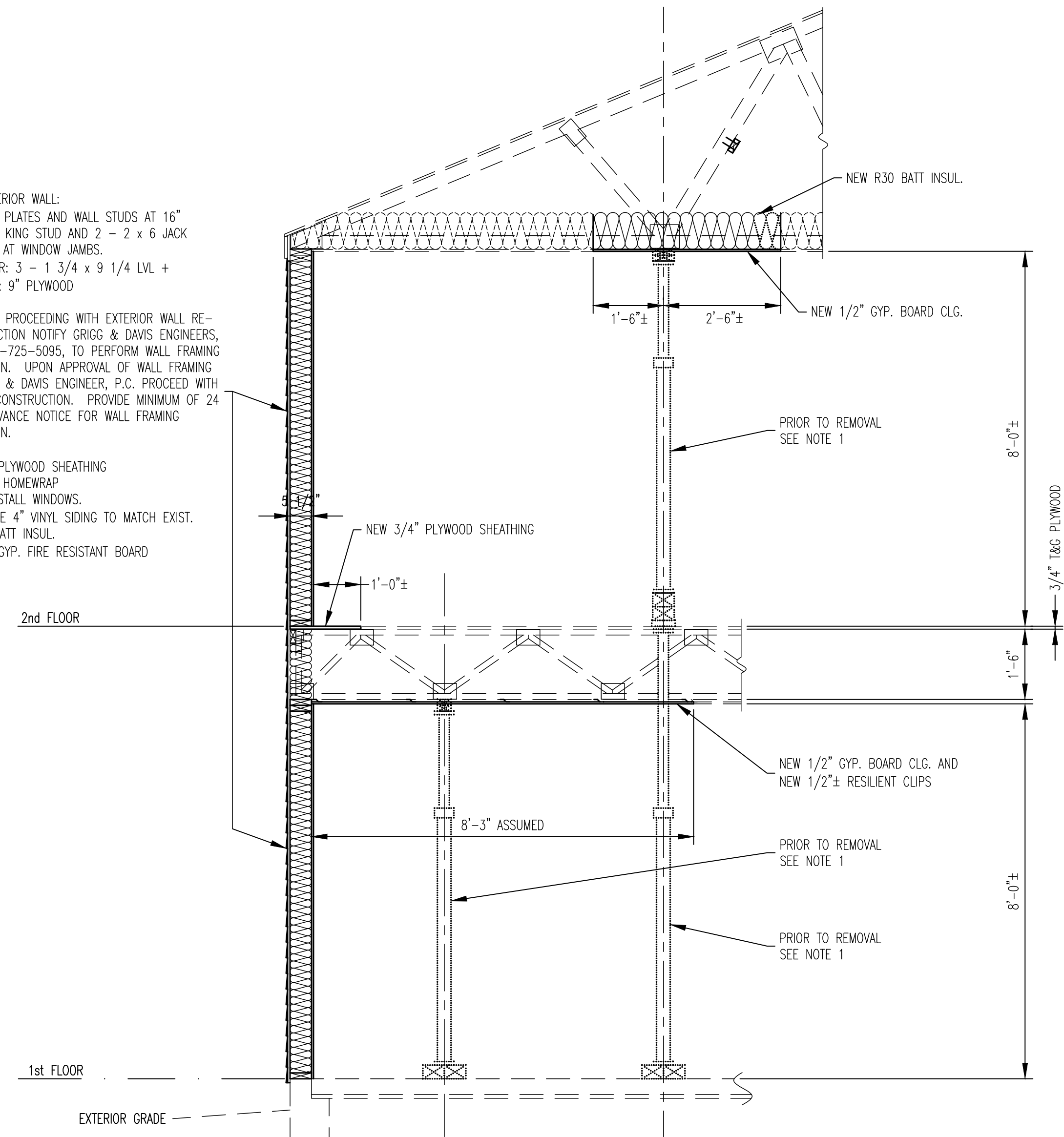


3 SECTION FOR TEMPORARY BUILDING SHORING FOR ROOF TRUSSES AT 2ND FLOOR  
S-4

NEW EXTERIOR WALL:  
1. 2 x 6 PLATES AND WALL STUDS AT 16"  
2. 2 x 6 KING STUD AND 2 - 2 x 6 JACK STUDS AT WINDOW JAMBS.  
3. HEADER: 3 - 1 3/4 x 9 1/4 LVL + 1/4" x 9" PLYWOOD

PRIOR TO PROCEEDING WITH EXTERIOR WALL RE-CONSTRUCTION NOTIFY GRIGG & DAVIS ENGINEERS, P.C., 914-725-5095, TO PERFORM WALL FRAMING INSPECTION. UPON APPROVAL OF WALL FRAMING BY GRIGG & DAVIS ENGINEER, P.C. PROCEED WITH WALL RECONSTRUCTION. PROVIDE MINIMUM OF 24 HOUR ADVANCE NOTICE FOR WALL FRAMING INSPECTION.

4. 5/8" PLYWOOD SHEATHING  
5. TYVEK HOMEWRAP  
6. RE-INSTALL WINDOWS.  
7. DOUBLE 4" VINYL SIDING TO MATCH EXIST.  
8. R19 BATT INSUL.  
9. 1/2" GYP. FIRE RESISTANT BOARD



NOTE 1: DO NOT REMOVE TEMPORARY BUILDING SHORING UNTIL ALL NEW 5/8" PLYWOOD SHEATHING HAS BEEN INSTALLED

2 SECTION FOR NEW EXTERIOR WALL  
S-4

DRAWING LIST:  
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DRAWING TITLE:

SECTIONS & DETAILS

DRAWING NUMBER:

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