



Purchase College

STATE UNIVERSITY OF NEW YORK
735 Anderson Hill Road
Purchase, NY 10577-1402
www.purchase.edu

Procurement Department
IFB: Neuberger Museum South West Courtyard
Project SU-111320
Addendum #2 * February 3, 2021

To: Prospective Bidders

No. of Pages: 3 pages

SUNY Purchase hereby issues this Addendum, dated 2/3/2021, for the above referenced IFB, in order to provide the following clarification:

Item 1:

Revised drawing C202.01 supersedes the original drawing C202.00.

Item 2:

The Bid Due Date is hereby moved to **Thursday, February 11, 2021 at 2 pm.**

Item 3:

The College wishes to offer additional Q & A clarifications.

Please be sure to sign THIS ADDENDUM (as acknowledgment that your firm received it) and submit it with your bid package, which is due **Thursday, February 11th at 2 pm.**

Respectfully,

Elizabeth Pleva

Director of Procurement and Accounts Payable

Acknowledgement of ADDENDUM #2

Signature

Date

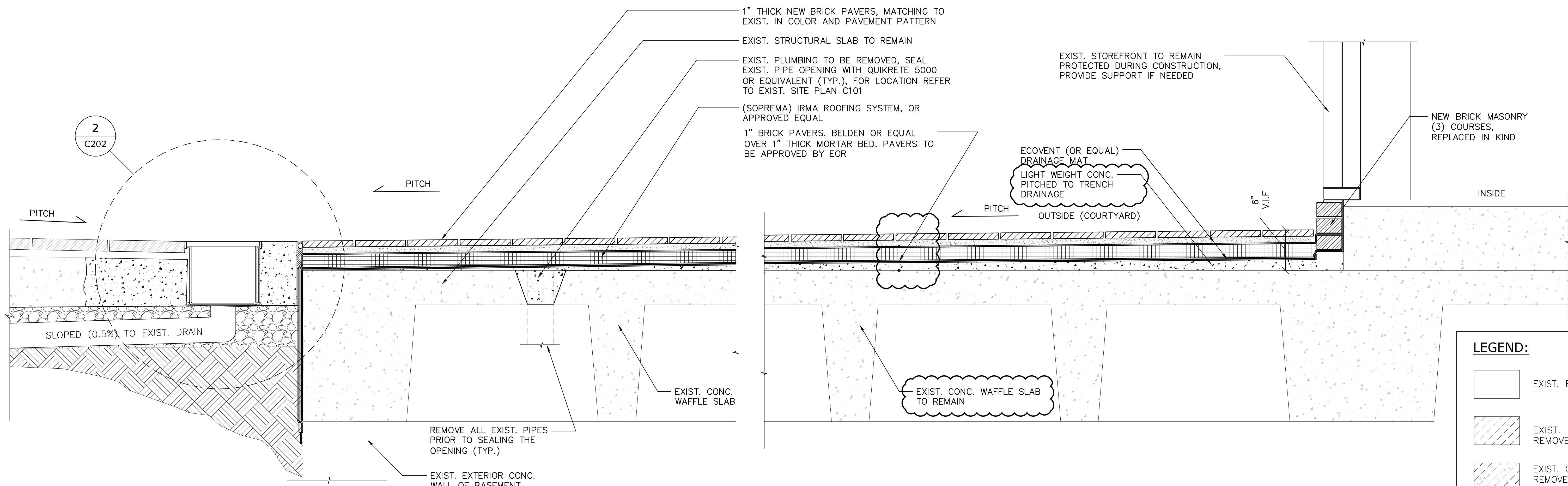
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Company name

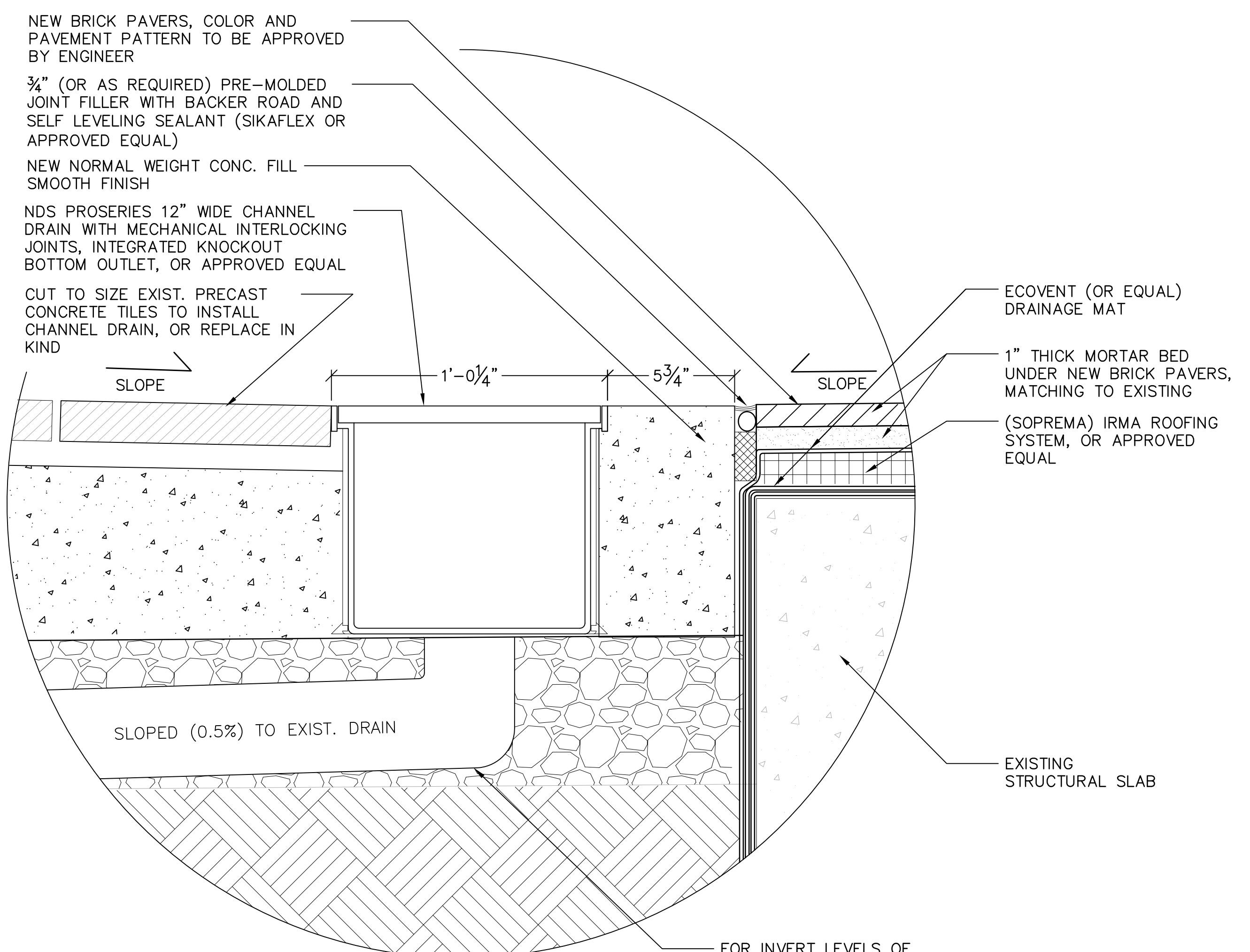
Purchase College Project #SU-111320 Neuberger Museum South West
Courtyard.

Addendum #02 - Bidder's Questions & Answers

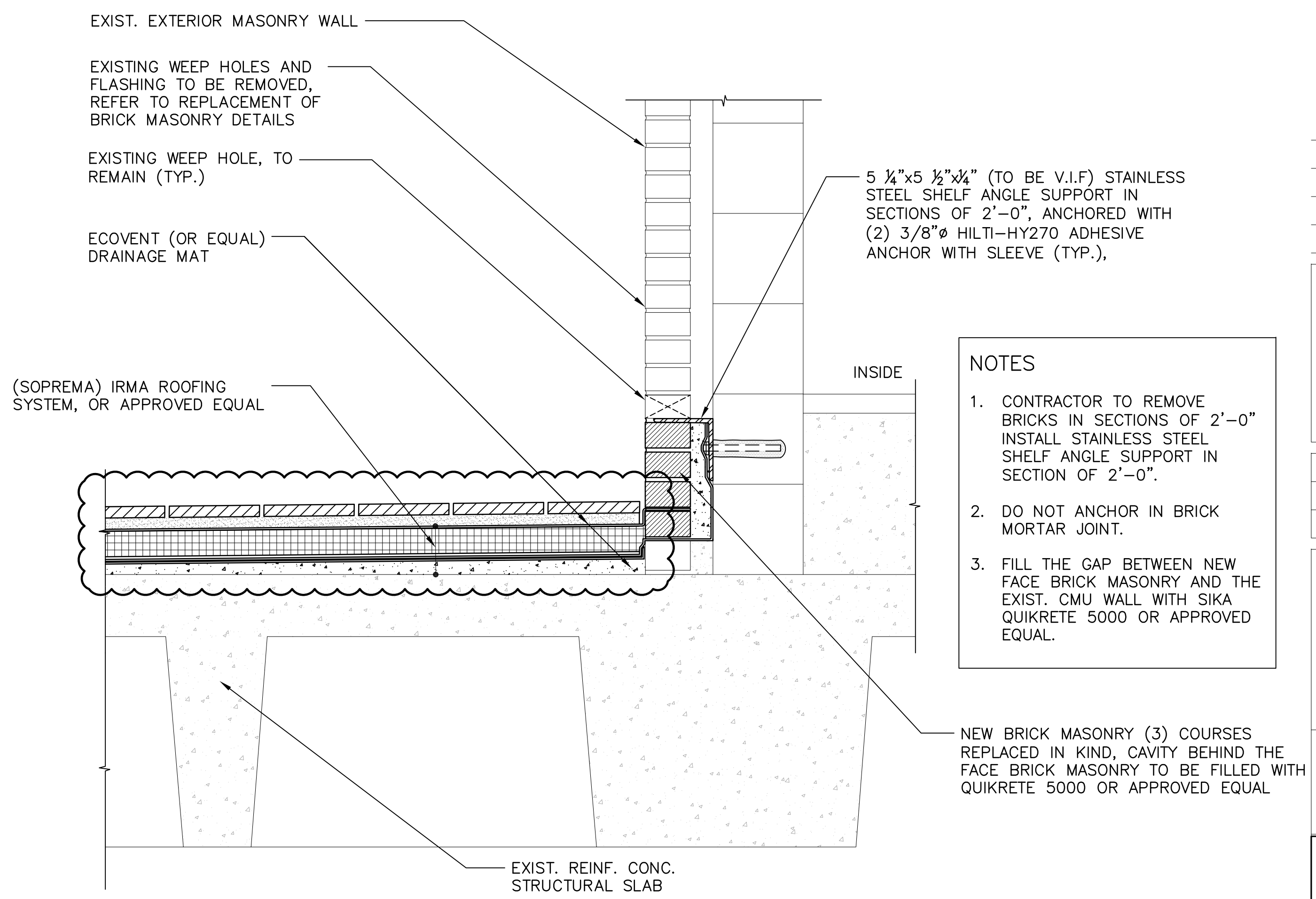
- Q1. Are we installing at torch-down, or cold-applied IRAM roof system? Specification 07553 lists both options. The torch-down option would be the most cost effective.
- A1 Refer to revised drawing C202.01. IRMA Roofing system is SOPREMA or approved equivalent.**
- Q2 Specification 07553 lists R30 min, 60 PSI XPS insulation but does not provide a pitch for the tapered system shown on C202. What pitch are we installing for the tapered XPS (1/4" or 1/8")? If we're to match the existing slope looking at C103 taking the measurement of 343.75 to 343.5 over 34.33' is only a 0.2/12 slope. That slope does not exist in tapered insulation. Insulation at ¼" pitch would start at 6" and grow to 8.4" over the 37'10" length per C103. 1/8" would grow from 6" to 7.18". It might be better to pour a pitched LWC topping slab over the existing at the required pitch. This way we can install the IRMA system with flat XPS insulation.
- A2 We concur with pouring a light weight concrete screed to pitch for proper drainage and using flat insulation panels. Refer to revised drawing C202.01. Prior to pouring LWC topping coordinate with roofing vendor/contractor.**
- Q3 Specification 07553 calls for a continuous R30 insulation system and for the new courtyard assembly slope to match existing site levels. The system includes 2-ply Soprema system, ½" drainage mat, 6" start of XPS tapered insulation (R30), filter fabric, min ¾" to 2" max setting bed & 2" thick pavers. Minimum thickness of the system would be 9"-10" +/- . Will this new assembly depth match up to the existing?
- A3 First of all the mortar bed should be one inch with one inch pavers. This reduces the total height from 7" to 8". The existing height has to be field determined and reported to EOR.**
- Q4 Specification 07553.1.12.D lists a 25 year contractor warranty. Is this an error? Are we providing a 2 or 5 year warranty?
- A4 Contractors one year guaranty starts after substantial completion and manufacturer warranty should be 20 years labor and material.**



1 TYPICAL SECTION - THROUGH STOREFRONT AND NEW CANNEL DRAIN
 SCALE: 1 1/2" = 1'-0"



2 SECTION DETAIL - TRENCH DRAIN
 SCALE: 3" = 1'-0"



3 PROPOSED TYP. SECTION @ EXTERIOR NORTH WALL
 SCALE: 1 1/2" = 1'-0"

LEGEND:

	EXIST. BRICK, TO REMAIN
	EXIST. BRICK, TO BE REMOVED
	EXIST. CONC. TO BE REMOVED
	REPLACE EXIST. BRICK / TILES IN KIND
	NEW LIGHT WEIGHT CONCRETE

- NOTES**
- CONTRACTOR TO REMOVE BRICKS IN SECTIONS OF 2'-0" INSTALL STAINLESS STEEL SHELF ANGLE SUPPORT IN SECTION OF 2'-0".
 - DO NOT ANCHOR IN BRICK MORTAR JOINT.
 - FILL THE GAP BETWEEN NEW FACE BRICK MASONRY AND THE EXIST. CMU WALL WITH SIKA QUIKRETE 5000 OR APPROVED EQUAL.

08/24/2020 ISSUED FOR CONSTRUCTION

No.	Date	Revision

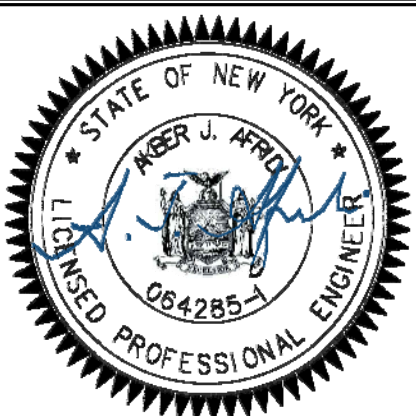
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Drawn by:	AZHER MALIK
Checked by:	AKBER AFRIDI, P.E.

Project:
SUNY PURCHASE NEUBERGER MUSEUM SOUTH COURTYARD WATERPROOFING
 Address:
 735 Anderson Hill Road
 Purchase NY 10577

Drawing Title:
PROPOSED SECTION DETAILS



Drawing No.:
C202.01
 Scale: AS NOTED
 Date: 08/24/2020