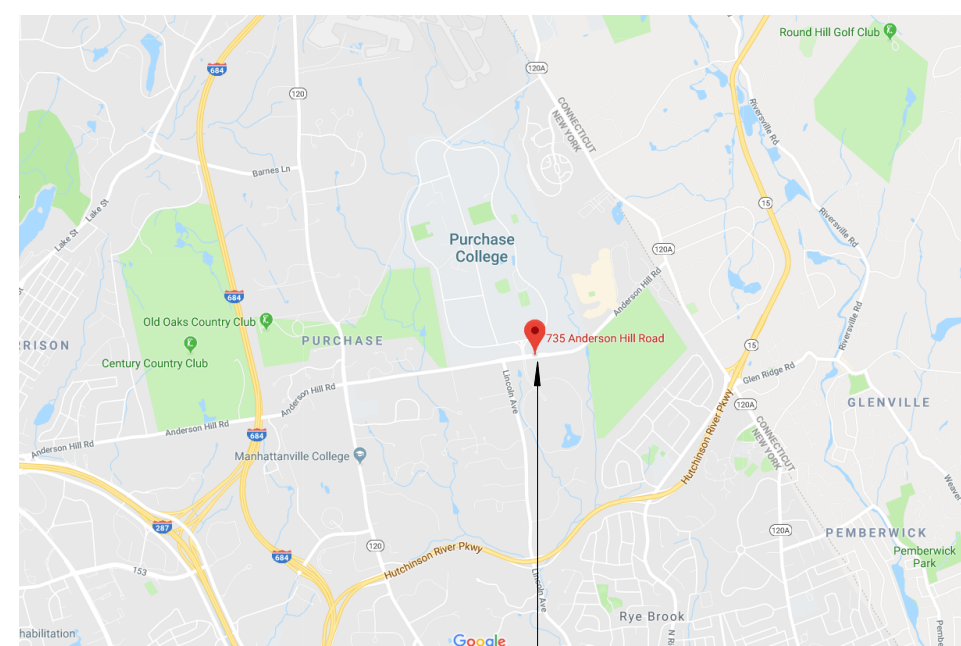
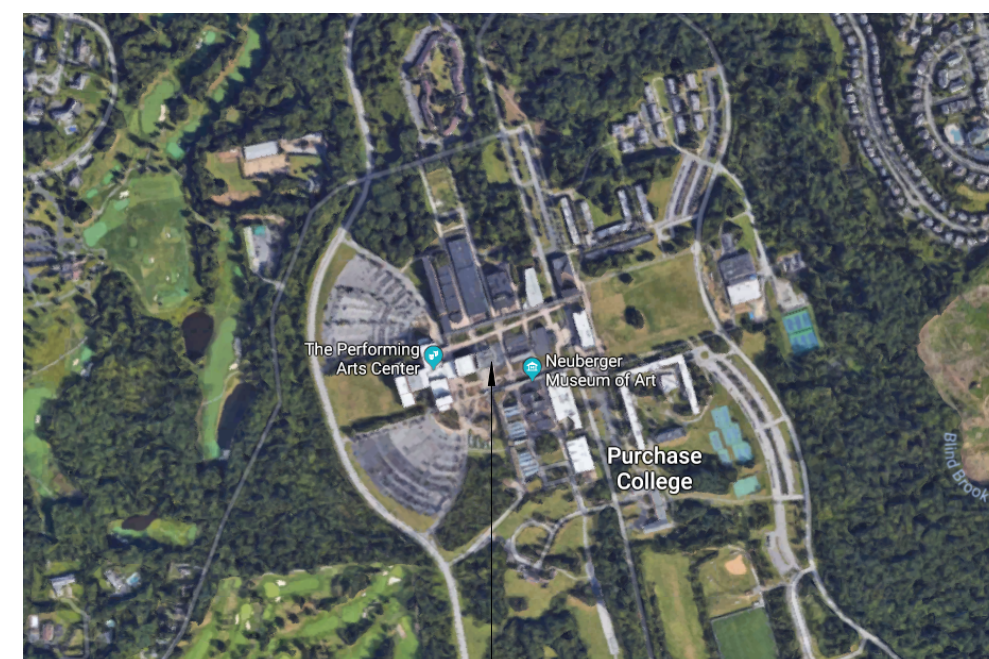




ISSUED FOR: PERMIT, 10.26.2018



— SUNY PURCHASE COLLEGE  
735 ANDERSON HILL ROAD  
PURCHASE, NY 10577



— LOCATION OF BATHROOM RENOVATIONS.

THIS PROJECT CONSISTS OF THE BUILD OUT OF (2) NEW ACCESSIBLE RESTROOMS WHICH WILL BE LOCATED ADJACENT TO THE OLD POST OFFICE & BOOKSTORE AND WILL SERVICE THE FORTH COMING EINSTEIN BROS BAGELS BUILD OUT.

- \* LIMITED LOCAL DEMOLITION ONLY AS NEEDED FOR NEW CONSTRUCTION.
- \* EXISTING TENANT SPACE (BUILDING ENVELOPE AND TENANT DEMISING WALLS)
- \* EXISTING HVAC MAIN TRUNK TO REMAIN (REFER TO EBB DOCUMENTS)
- \* MODIFIED ELECTRICAL DISTRIBUTION (HOUSE PANEL)
- \* NEW INTERIOR PARTITIONS (RESTROOM ONLY)
- \* NEW CEILINGS AND LIGHTING (RESTROOM ONLY)
- \* NEW FIRE PROTECTION/ DETECTION (RESTROOM ONLY)
- \* NEW HOT WATER HEATER (REMOTELY LOCATED)
- \* NEW FINISHES AS SCHEDULED (RESTROOM ONLY)
- \* NEW PLUMBING EQUIPMENT, CONNECTIONS, AND DRAINS (RESTROOM ONLY)
- \* NEW EXHAUST DUCT (RESTROOM ONLY)
- \* NEW 1.5" WATER SERVICE SUBBURIED TO SPACE
- \* NEW 4" SEWER MAIN SUBBURIED TO SPACE

SUNY PURCHASE COLLEGE  
735 ANDERSON HILL ROAD  
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T: 914.251.5999  
CONTACT: DAVID CRUMP  
E-MAIL: david.crump@compass-usa.com

PHASE ZERO DESIGN  
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SIMSBURY, CT 06070  
T: 860.264.1624  
PROJECT MANAGER: MIKE GODIN  
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ACORN CONSULTING ENGINEERS, INC  
P.O. BOX 311  
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T: 860.830.1012  
CONTACT: MARK GENDRON  
E-MAIL: [wmgendron@acornengineers.com](mailto:wmgendron@acornengineers.com)

## SHEET INDEX

GENERAL					
G000	TITLE SHEET	•			
G001	GENERAL NOTES	•			
G002	GENERAL NOTES	•			
G004	ADA STANDARDS, SYMBOLS & ABBREVIATIONS	•			
ARCHITECTURAL					
AD100	DEMO FLOOR PLAN & RCP	•			
A101	CONSTRUCTION FLOOR PLAN	•			
A111	REFLECTED CEILING PLAN	•			
A131	FINISH PLANS/SCHEDULE & BATHROOM DRAWINGS	•			
A501	DOOR SCHEDULE AND DETAILS	•			
MECHANICAL					
M100	FLOOR PLAN - HVAC	•			
M200	SPECIFICATION - HVAC	•			
ELECTRICAL					
E100	FLOOR PLAN - ELECTRICAL	•			
FIRE PROTECTION & PLUMBING					
FP100	FLOOR PLAN - FIRE PROTECTION & PLUMBING	•			
FP200	SPECIFICATION & DETAILS - FIRE PROTECTION & PLUMBING	•			

ARCHITECT:

 **PHASE ZERO  
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architects | interior designers

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CLIENT:  **Purchase College**  
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CONSULTANT:

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**SUNY PURCHASE COLLEGE**

WHITE BOX FITOUT FOR EBB  
735 ANDERSON HILL ROAD  
PURCHASE, NY 10577

[illegible]

REAL:

ISSUED FOR: PERMIT  
ISSUED DATE: 10.26.2018

DRAWN BY: MJW  
CHECKED BY: MG  
PROJECT NUMBER: 1518356

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DRAWING NAME:

# TITLE SHEET

DRAWING NO.

# G000









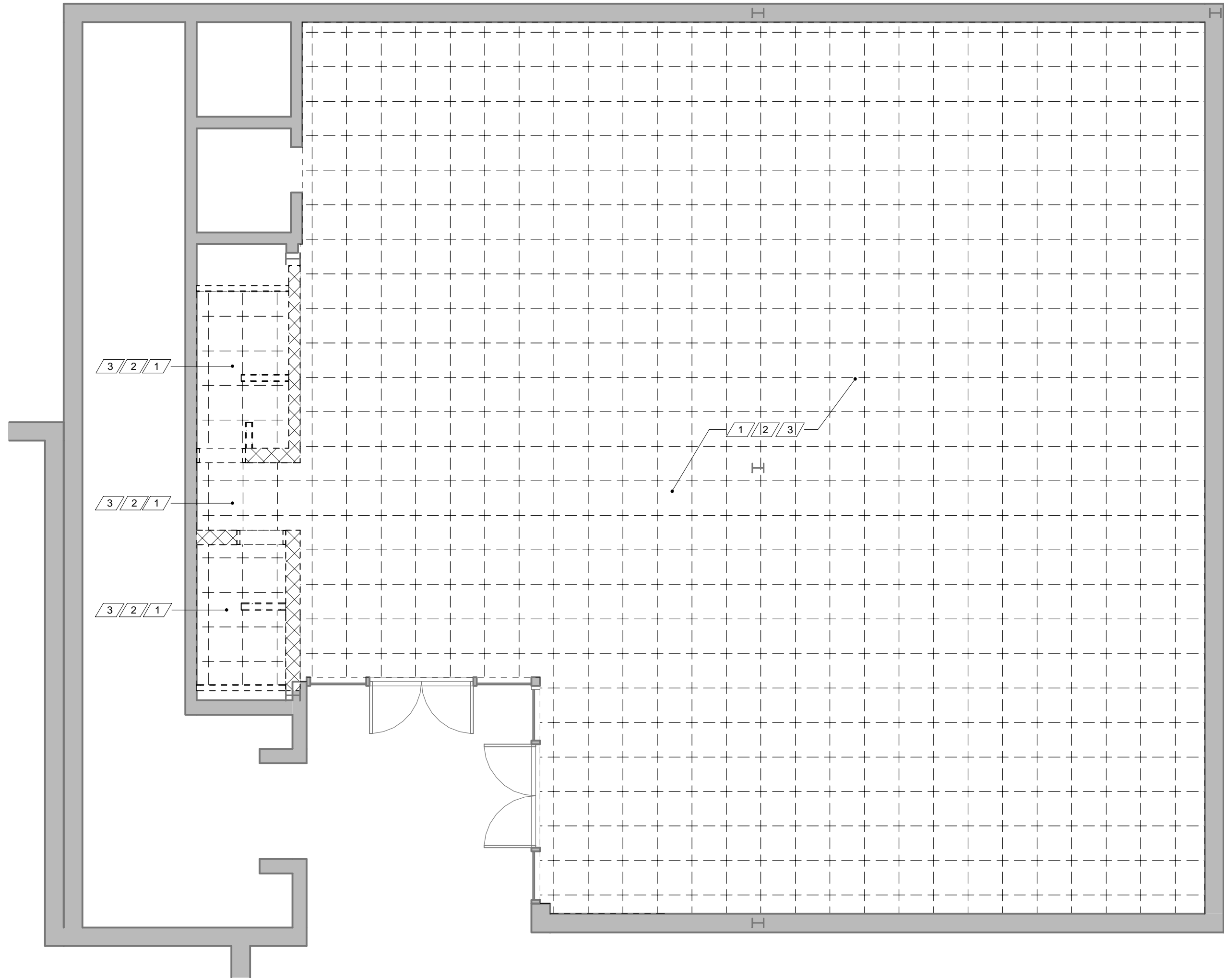


<p>PAPERTOWEL DISPENSER</p>		<p>LIGHTSWITCH/THERMOSTAT</p>		<p>RECEPTACLE/TEL-DATA</p>		<p>FIRE ALARM PULL STATION</p>		<p>FIRE ALARM HORN &amp; STROBE</p>		<p>EMERGENCY BATTERY LIGHT</p>		<p>DOOR &amp; SIGNAGE</p>		<p><b>KEYNOTE LEGEND</b></p> <table><tr><td>1</td><td>36" GRAB BAR</td></tr><tr><td>2</td><td>42" GRAB BAR</td></tr><tr><td>3</td><td>18" VERTICAL GRAB BAR</td></tr><tr><td>4</td><td>30" SWING-UP GRAB BAR</td></tr><tr><td>5</td><td>TOILET PAPER DISPENSER</td></tr><tr><td>6</td><td>CALL FOR AID</td></tr></table> <p><b>NOTES</b></p> <ol style="list-style-type: none"><li>ALL DIMENSIONS TO SURFACE OF FINISHED FLOOR</li><li>ADULT MOUNTING HEIGHT FOR ALL MISCELLANEOUS ACCESSORIES SHALL BE 15" AFF MIN AND 48" AFF MAX, TO THE CENTERLINE OF CONTROL, U.O.N.</li><li>THE SYMBOL DENOTES A FIXTURE OR ACCESSORY WHICH SHALL MEET ACCESSIBILITY REQUIREMENTS</li></ol>	1	36" GRAB BAR	2	42" GRAB BAR	3	18" VERTICAL GRAB BAR	4	30" SWING-UP GRAB BAR	5	TOILET PAPER DISPENSER	6	CALL FOR AID																		
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<p>URINAL</p>		<p>WATER FOUNTAIN</p>		<p>LAVATORY</p>		<p>WATER CLOSET (FRONT VIEW)</p>		<p>WATER CLOSET (SIDE VIEW)</p>																																				
<p><b>TYPICAL MOUNTING HEIGHTS</b></p>																																												
<p>(a.) Forward Approach</p>		<p>(b.) Parallel Approach</p>		<p>(a.) Circular</p>		<p>(b.) T-Shaped</p>		<p>CLEAR FLOOR SPACE AT WATER CLOSET (WALL MOUNTED)</p>		<p>CLEAR FLOOR SPACE AT WATER CLOSET (FLOOR MOUNTED)</p>		<table><tr><td></td><td></td><td></td></tr><tr><td>CONCRETE</td><td>STEEL</td><td>MIRROR</td></tr><tr><td></td><td></td><td></td></tr><tr><td>ROOF SHINGLE</td><td>ROUGH LUMBER</td><td>GLAZING</td></tr><tr><td></td><td></td><td></td></tr><tr><td>BRICK</td><td>PLYWOOD</td><td>GYPSUM BOARD</td></tr><tr><td></td><td></td><td></td></tr><tr><td>BATT INSULATION</td><td>EARTH</td><td>PLANK WOOD</td></tr><tr><td></td><td></td><td></td></tr><tr><td>FINISHED WOOD</td><td>GRAVEL</td><td>RIGID INSULATION</td></tr></table>					CONCRETE	STEEL	MIRROR				ROOF SHINGLE	ROUGH LUMBER	GLAZING				BRICK	PLYWOOD	GYPSUM BOARD				BATT INSULATION	EARTH	PLANK WOOD				FINISHED WOOD	GRAVEL	RIGID INSULATION	<p>(TYPICAL UNLESS OTHERWISE NOTED) ALL DIMENSIONS SHOWN AS FOLLOWS:</p> <ul style="list-style-type: none"><li>FRAMED CONSTRUCTION<ul style="list-style-type: none"><li>WALLS: FACE OF FINISHED WALL TO FACE OF FINISHED WALL</li><li>DOORS/WINDOWS: CENTERLINE OF UNIT</li></ul></li><li>MASONRY/CONCRETE CONSTRUCTION<ul style="list-style-type: none"><li>WALLS: FACE OF MASONRY TO FACE OF MASONRY</li><li>DOORS/WINDOWS: MASONRY OPENING</li></ul></li><li>FINISHED DIMENSIONS SHALL BE NOTED AS EITHER FINISHED OR CLEAR ON DIMENSION STRING</li><li>ALL ANGLES ARE 45 DEGREES OR 90 DEGREES, U.O.N.</li></ul>
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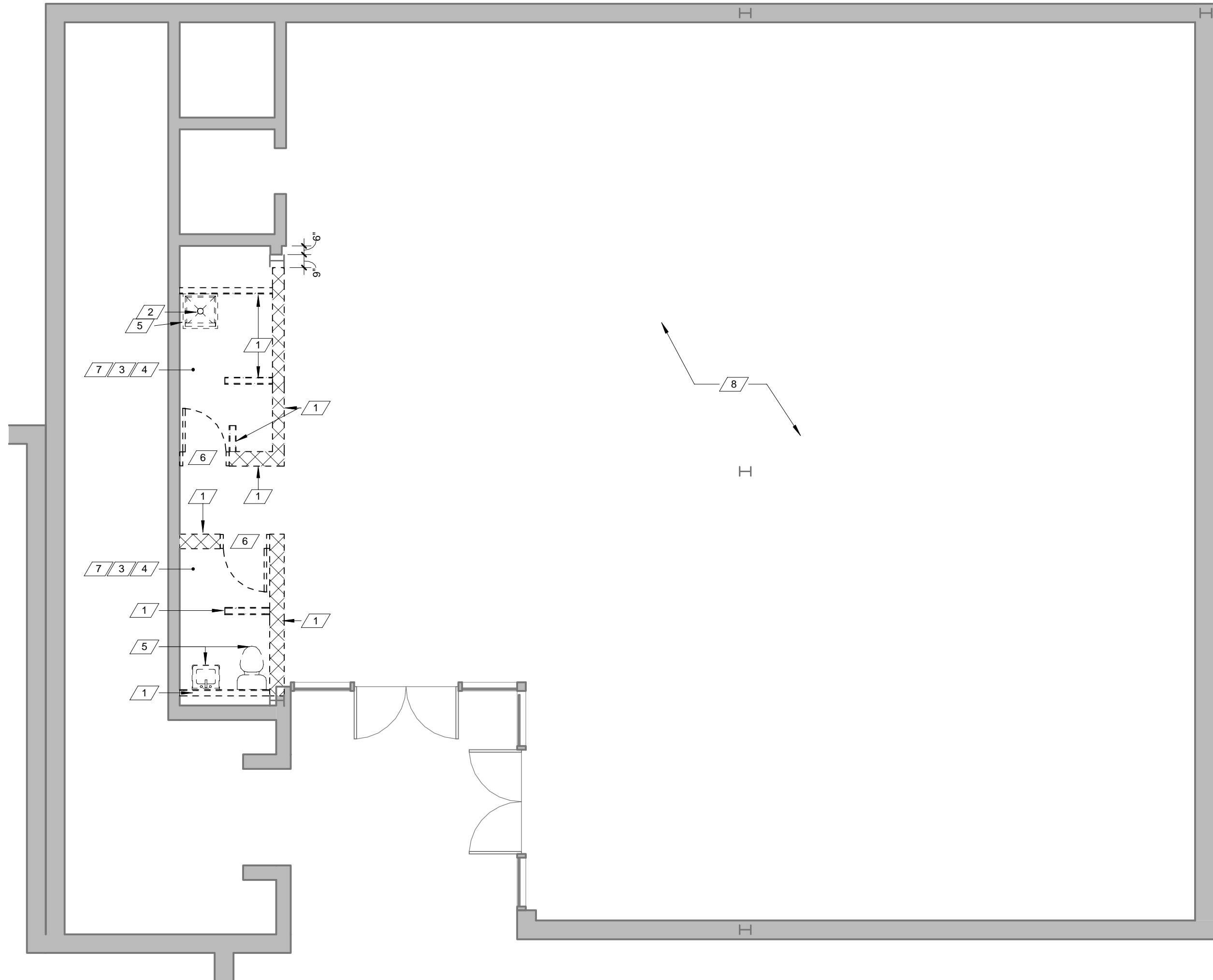


DEMO RCP NOTES	
1	REMOVE EXISTING CEILING AS INDICATED INCLUDING GRID, TILES AND ASSOCIATED HARDWARE.
2	REMOVE ANY AND ALL LIGHT FIXTURES. COORDINATE PROPER DISPOSAL WITH OWNER
3	REFER TO MEP DRAWINGS FOR ANY AND ALL REMOVAL OF MECHANICAL EQUIPMENT.



1 REFLECTED CEILING DEMO PLAN  
3/16" = 1'-0"

DEMO PLAN NOTES	
1	REMOVE ALL PARTITIONS IN THEIR ENTIRETY, WHERE INDICATED, INCLUDING GYM BLOCK, GROUT, GYPSUM WALL BOARD, ALL ASSOCIATED STUDS, TRACKS, FINISHES, ETC.
2	REFER TO PLUMBING DRAWINGS FOR EXISTING FLOOR DRAINS AND PLUMBING TO BE REMOVED. CAP UTILITIES BELOW SLAB, BEHIND WALLS OR BACK TO SERVICE ORIGIN AS REQUIRED BY MEP. IN AREAS WHERE UTILITIES ARE TO BE REUSED, REROUTE AS NECESSARY FOR INSTALLATION OF NEW SERVICE.
3	REMOVE ALL WALL FINISHES INCLUDING WALL COVERING, WALL TILE, CORNER GUARDS, MIRRORS AND WALL BASE.
4	REMOVE EXISTING FLOORING. PREP FOR INSTALLATION OF NEW FLOOR FINISHES. PROTECT SUBFLOOR DURING CONSTRUCTION.
5	EXISTING PLUMBING FIXTURES (SINKS, MOP SINK, TOILET, ETC.) TO BE REMOVED. CAP ALL PLUMBING LINES.
6	EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE TO BE REMOVED AS INDICATED.
7	CONTRACTOR TO FILL ANY EXISTING PENETRATIONS IN EXISTING FIRE RATED WALLS, WITH REQUIRED RATINGS/ASSEMBLY CONSTRUCTION.
8	G.C. TO PREP EXISTING FLOOR SLAB TO RECEIVE NEW FLOOR FINISHES.



② DEMO PLAN  
 $3/16" = 1'-0"$

**DEMO LEGEND**

The diagram is divided into four sections, each with a label on the left and a corresponding symbol or set of symbols on the right.

- WALL:** Represented by two parallel horizontal lines.
- DOOR:** Represented by two parallel horizontal lines with a gap in the middle. A dashed curved line connects the bottom of the gap to the bottom of the right-hand line, indicating an opening.
- CEILING AND GRID:** Represented by a grid of squares. Each square is defined by four L-shaped corner brackets (top-left, top-right, bottom-left, bottom-right) placed at the corners of the square.
- ALTERNATE SCOPE:** Represented by a solid black oval.

**SUNY PURCHASE COLLEGE**

WHITE BOX FITOUT FOR EBB  
735 ANDERSON HILL ROAD  
PURCHASE, NY 10577

[illegible]

SEAL:

ISSUED FOR: PERMIT  
ISSUED DATE: 10.26.2018

DRAWN BY: MJW  
CHECKED BY: MG  
PROJECT NUMBER: 1518356

DRAWING NAME

## DEMO FLOOR PLAN & RCP

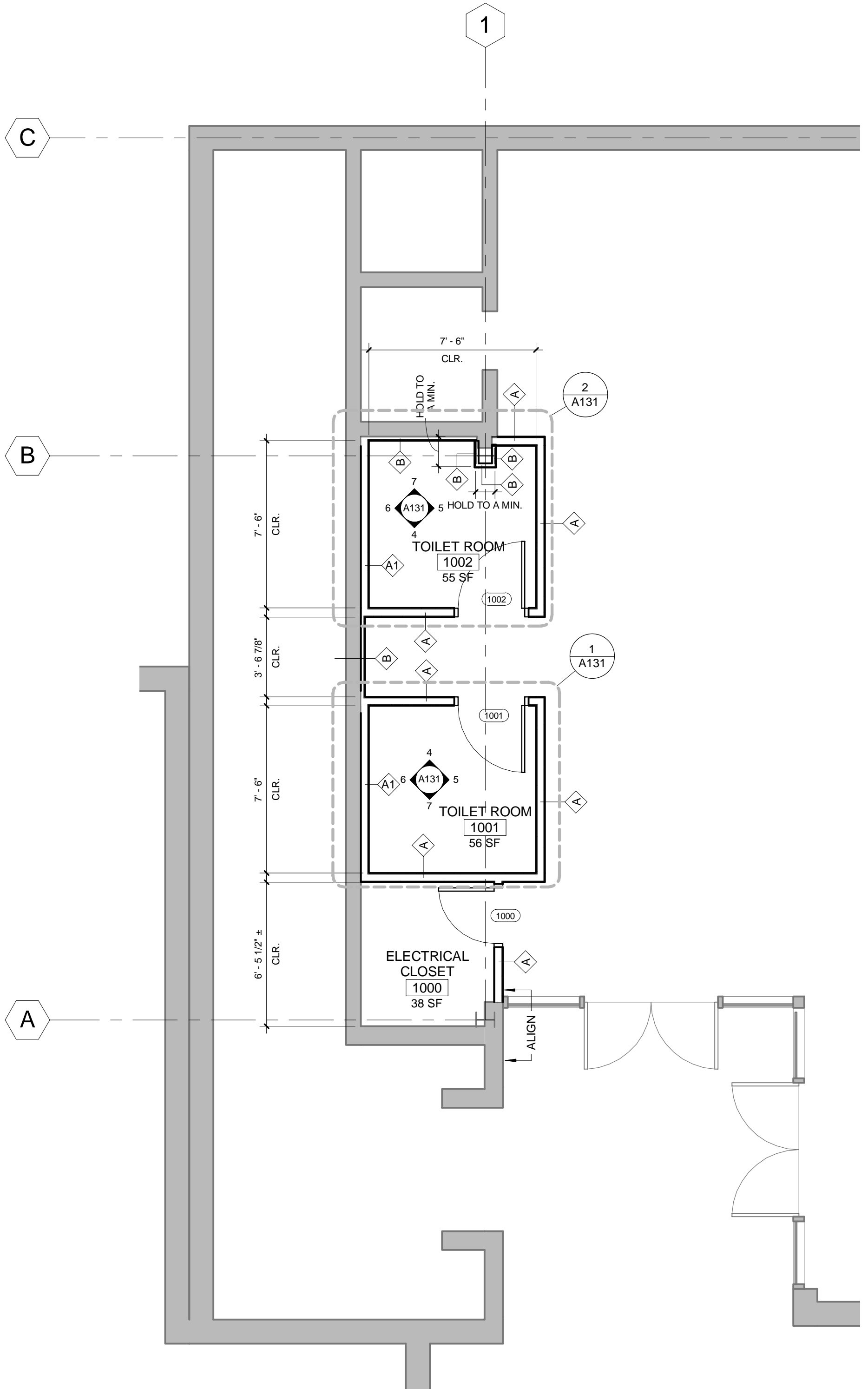
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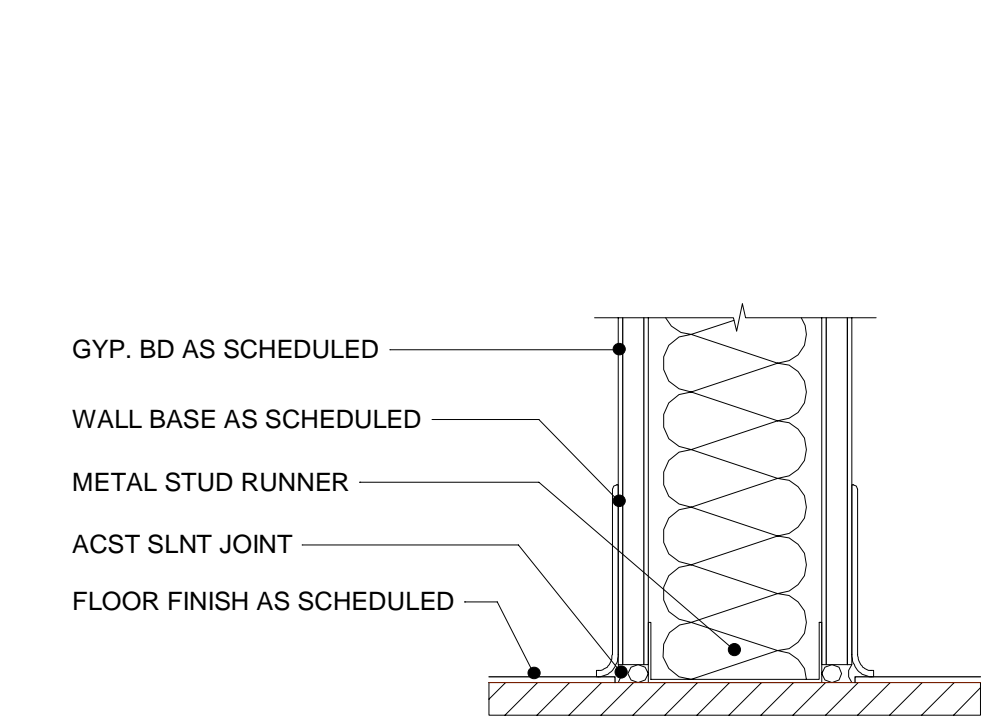


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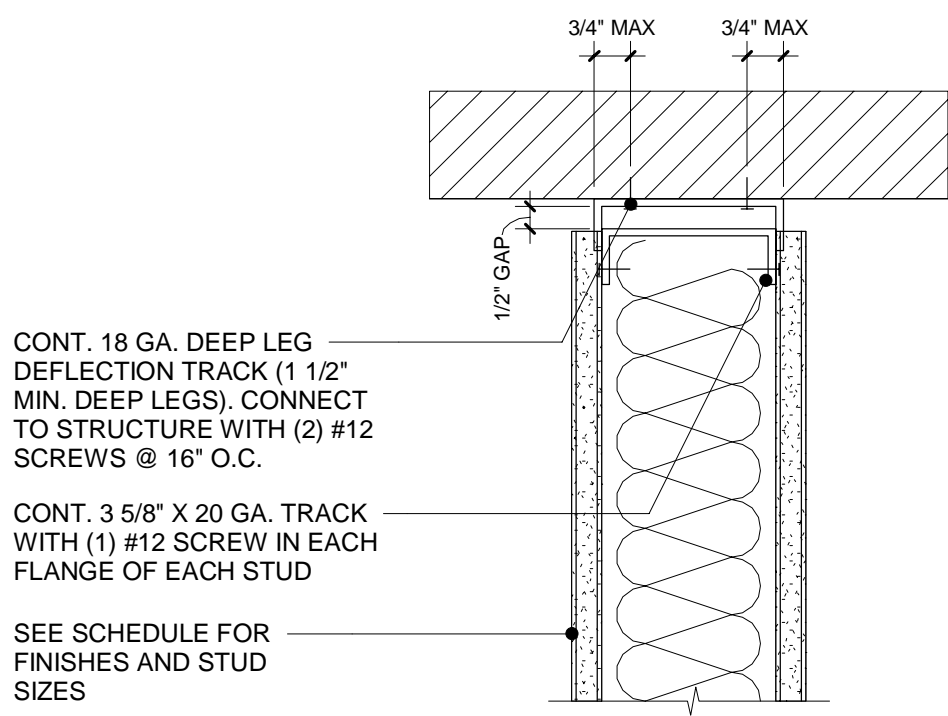
APPLICABLE CODE	
CODE	CODE SECTION(S)
BUILDING CODE	2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE 2017 UNIFORM CODE SUPPLEMENT
PLUMBING CODE	2015 INTERNATIONAL PLUMBING CODE
MECHANICAL CODE	2015 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE	2014 NATIONAL ELECTRICAL CODE (NFPA 70)
FUEL & GAS	FUEL & GAS 2015 INTERNATIONAL FUEL & GAS CODE
ACCESSIBILITY	ACCESSIBILITY
ENERGY CODE COMPLIANCE	2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2016 SUPPLEMENT



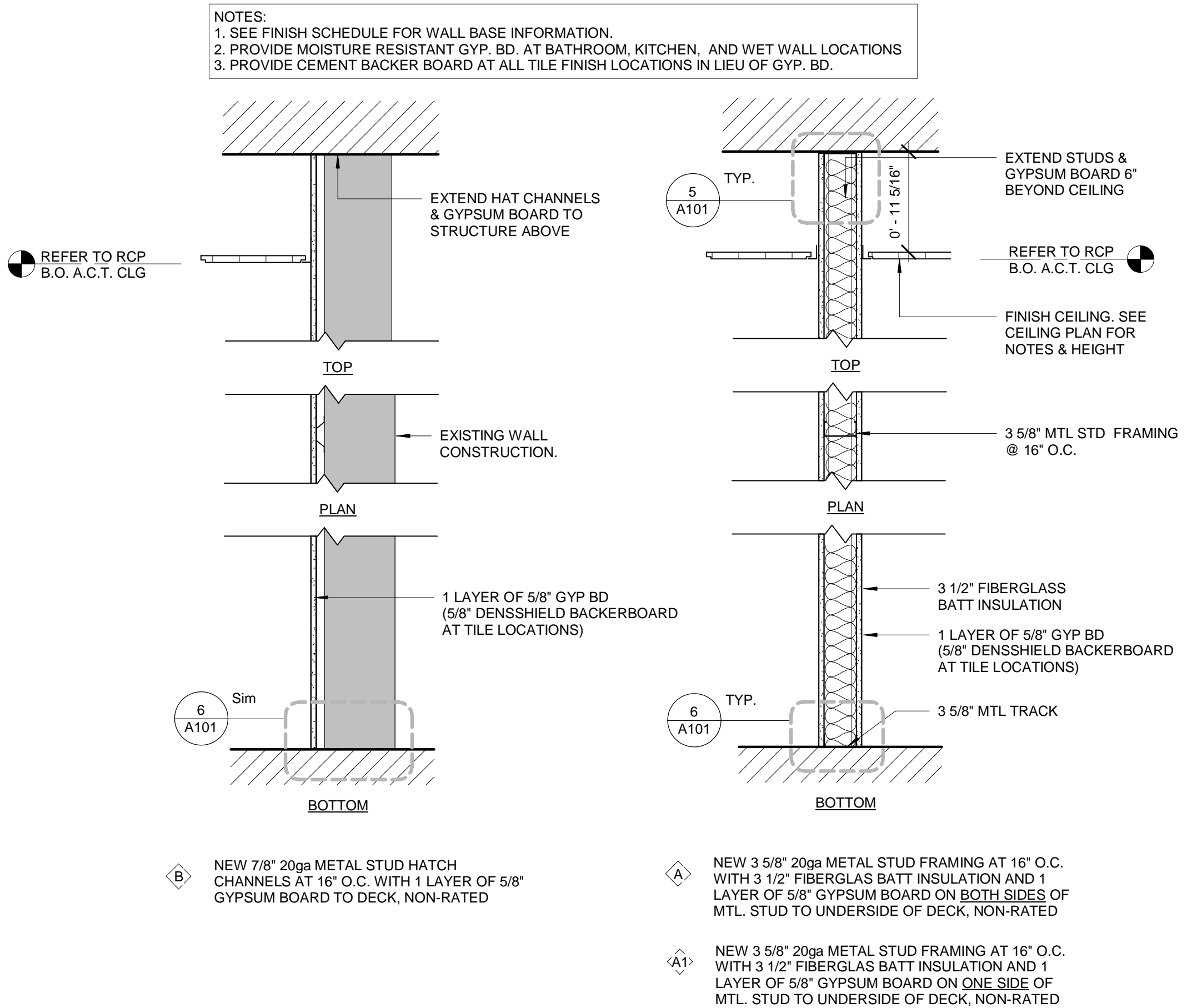
1 CONSTRUCTION PLAN  
1/4" = 1'-0"



6 TYPICAL BASE DETAIL  
3" = 1'-0"

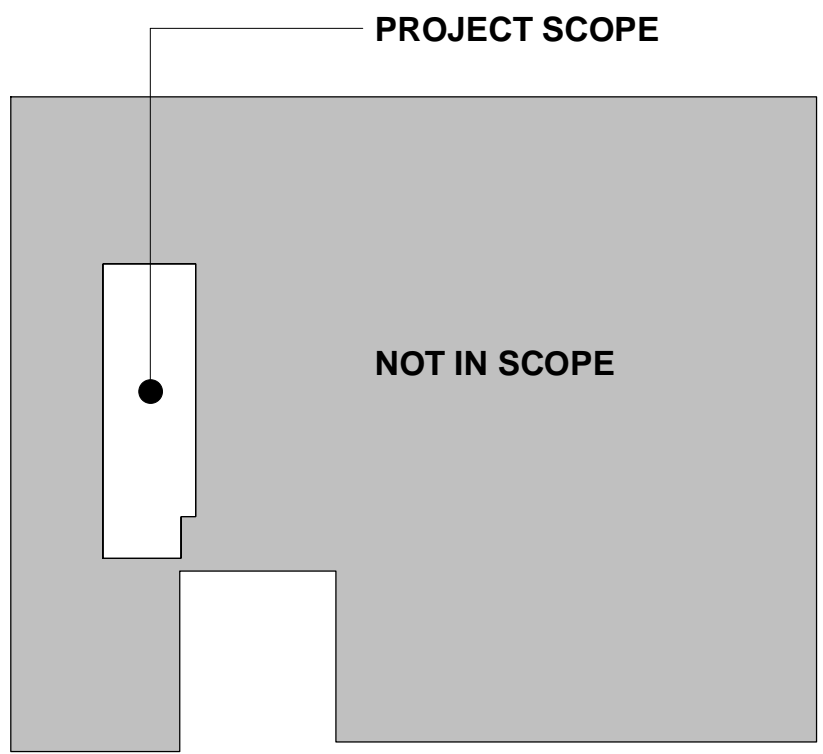


5 NON-RATED DEFLECTION TRACK  
3" = 1'-0"




4 WALL TYPE B  
1" = 1'-0"


3 WALL TYPE A  
1" = 1'-0"



KEY PLAN

ARCHITECT:  
  
8 WILCOX STREET  
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CONSULTANT:  
  
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SUNY PURCHASE COLLEGE

WHITE BOX FITOUT FOR EBB  
735 ANDERSON HILL ROAD  
PURCHASE, NY 10577

PROJECT:  

REVISIONS	
NO.	DESCRIPTION

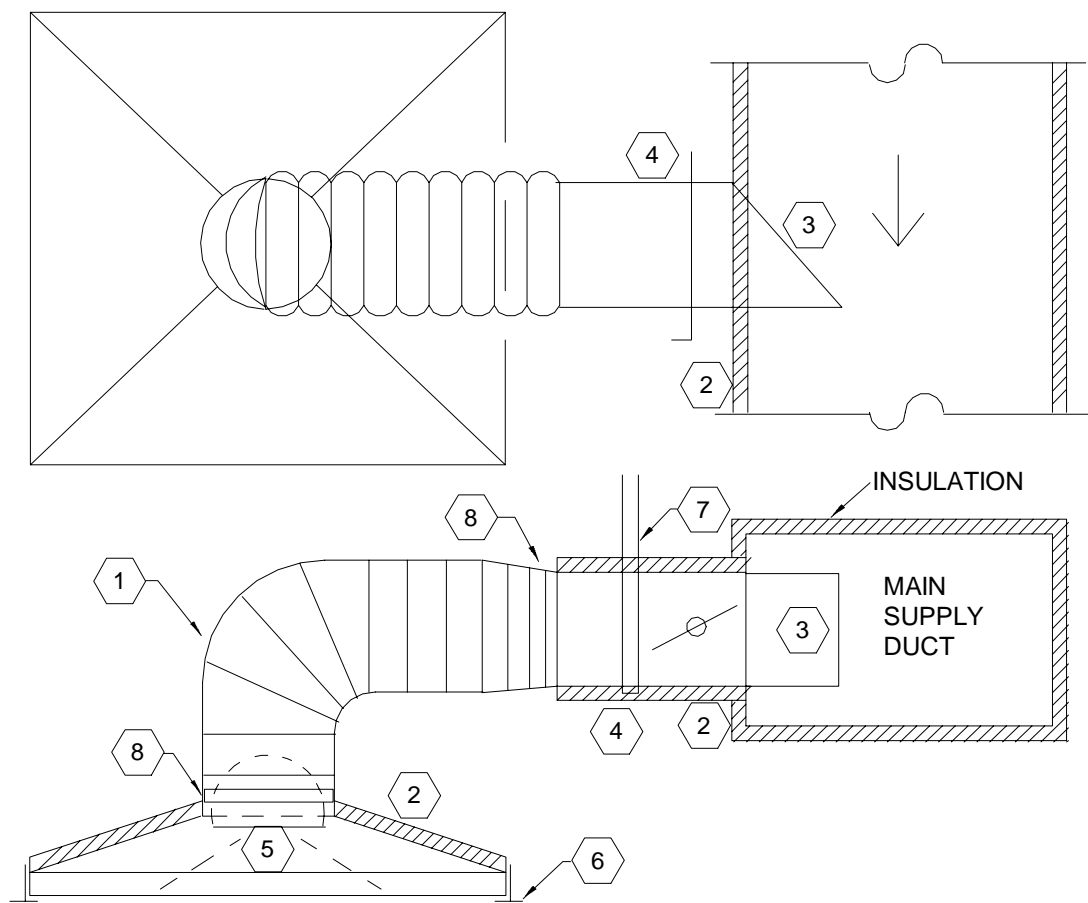
  
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ISSUED DATE: 10.26.2018  
DRAWN BY: MJW  
CHECKED BY: MG  
PROJECT NUMBER: 1518356  
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DRAWING NAME:  
CONSTRUCTION  
FLOOR PLAN  
DRAWING NO.

A101



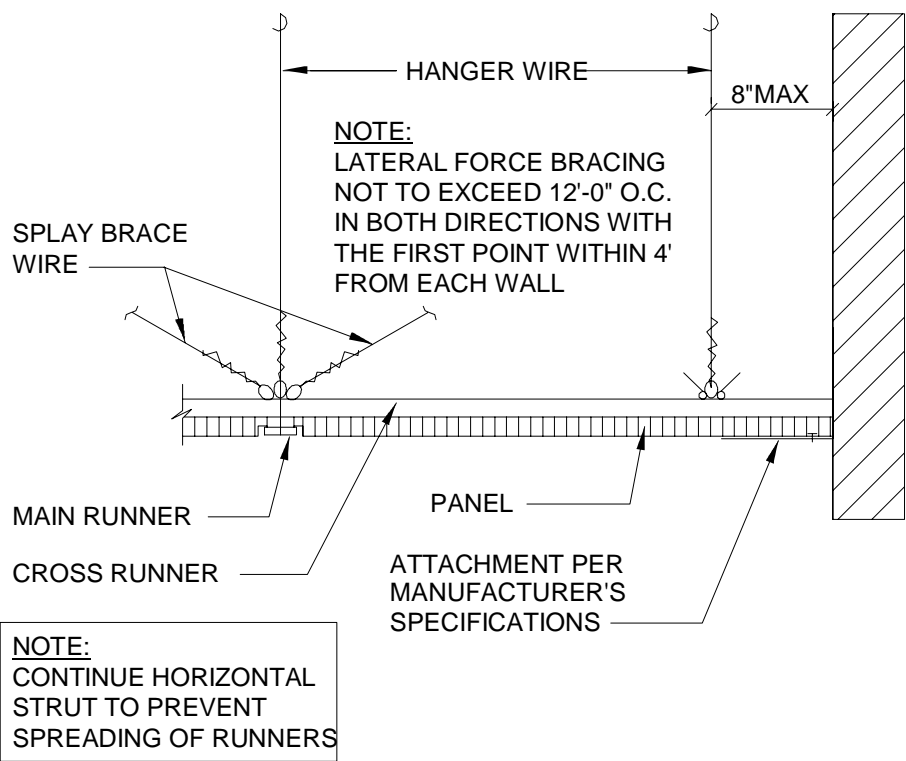
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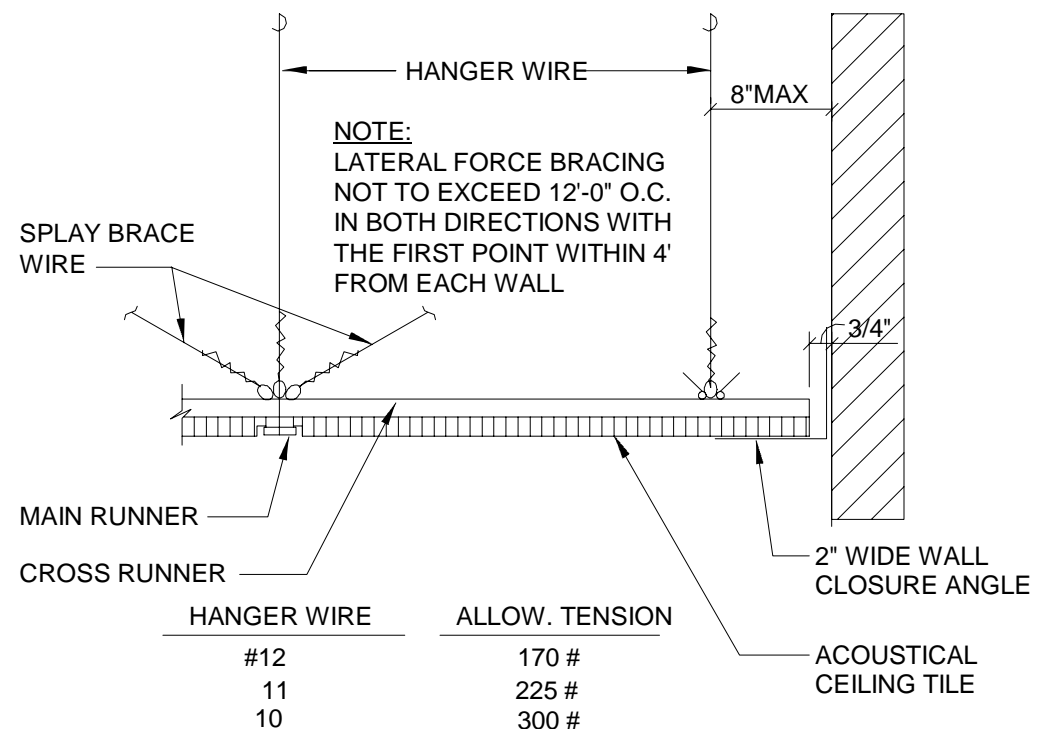
CEILING MOUNTED SUPPLY AIR  
DIFFUSER DETAIL1  
1/8" = 1'-0"

KEYED NOTES:

1. MAXIMUM LENGTH OF INSUL. FLEX DUCT EQUALS 5 FEET. FLEX NOT PERMITTED IN INACCESSIBLE CEILINGS
2. INSULATED DUCT, COLLAR AND DIFFUSER BY HVAC CONTRACTOR
3. SCOOP
4. SPIN IN FITTING WITH MANUAL VOLUME DAMPER
5. INTERNAL BUTTERFLY DAMPER FOR DRYWALL APPLICATIONS ONLY. (PROVIDE KEY FOR ADJUSTMENT)
6. SECURE TO CEILING PER MANUFACTURER'S RECOMMENDATIONS AND PER CEILING FINISH. PROVIDE GRID CLIPS PER MFG'R REQUIREMENTS. PROVIDE FRAMING FOR DRYWALL INSTALLATION.
7. HANGER, SECURE TO STRUCTURE AND DUCTWORK
8. CLAMP

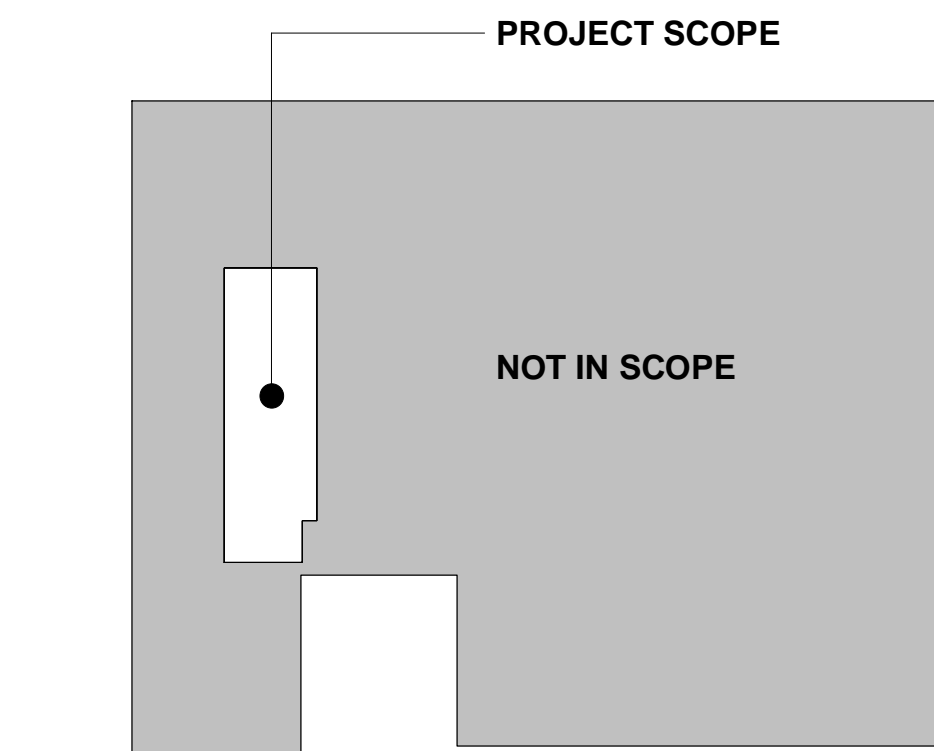


TYPICAL SUSPENDED CEILING DETAILS  
@ WALL1  
1/4" = 1'-0"



B. UNATTACHED

1 REFLECTED CEILING PLAN  
1/4" = 1'-0"



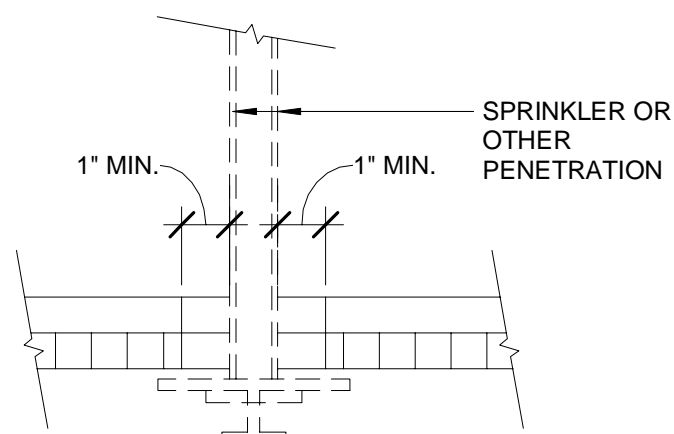
KEY PLAN

RCP NOTES					
1	NEW FIRE PREVENTION/DETECTION EQUIPMENT IN THIS AREA. REFER TO FIRE PROTECTION DRAWINGS FOR MORE INFORMATION				
2	INSTALL EMERGENCY EXIT SIGN ACCORDING TO LOCAL CODES. REFERENCE MEP DRAWINGS FOR ALL LOCATIONS OF EMERGENCY LIGHTS.				
3	NEW SOFFIT/HEADER. REFER TO CEILING DETAILS FOR MORE INFORMATION.				

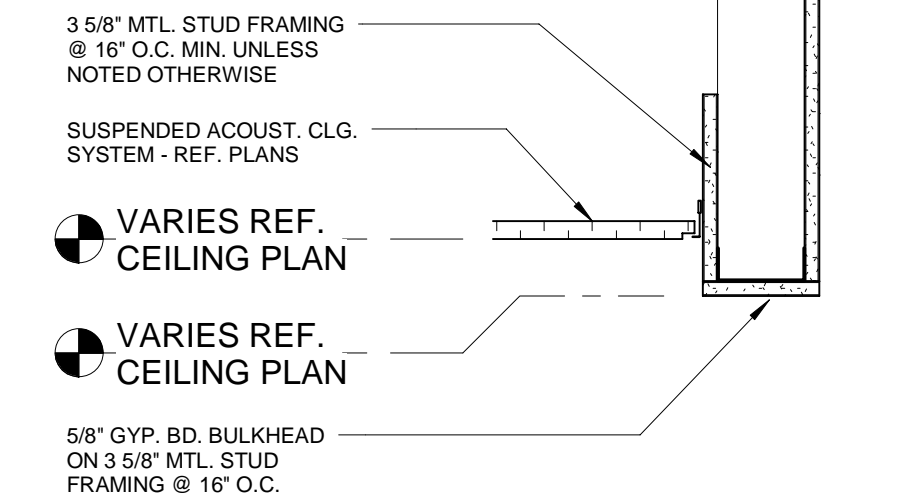
LIGHT FIXTURE SCHEDULE					
Type Mark	Description	Count	Manufacturer	Model	Comments
L1	RECESSED CAN AT BATHROOM & HALLWAY	6	PHILIPS LIGHTOLIER	P8071-LED-TRIAC	FINISH: BLACK
L2	4' LINEAR LED	1	TBD	TBD	CHAIN HUNG, LOCALLY SOURCED

CEILING SCHEDULE	
TYPE	DESCRIPTION
CLG-01	NEW CEILING GRID SYSTEM TO BE ARMSTRONG PRELUDE XL 15/16" EXPOSED TEE (BLACK) WITH SUSPENDED ACOUSTICAL TILE ARMSTRONG FINE FISSURED 24X24 X 5/8". COLOR: BLACK
CLG-02	OPEN TO DECK

NOTE:  
SPRINKLER HEADS AND OTHER PENETRATIONS SHALL HAVE A 2" OVERSIZE RING, SLEEVE OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS. ALTERNATIVELY, A SWING JOINT THAT CAN ACCOMMODATE CEILING MOVEMENT IN ALL HORIZONTAL DIRECTIONS IS PERMITTED TO BE PROVIDED AT THE TOP OF THE SPRINKLER HEAD EXTENSION.  
  
SPRINKLER WORK BY OTHERS (GC) UNDER SEPARATE CONTRACT. CONTRACTOR TO COORDINATE SPRINKLER WORK W/ SPRINKLER CONTRACTOR.



TYPICAL CEILING PENETRATION (BY OTHERS)  
1/4" = 1'-0"



3 DETAIL  
1 1/2" = 1'-0"

ARCHITECT:  
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PROJECT		REVISIONS	
NO.	DATE	DESCRIPTION	

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DRAWN BY: MJW  
CHECKED BY: MG  
PROJECT NUMBER: 1518356  
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DRAWING NAME:  
**REFLECTED CEILING PLAN**

DRAWING NO.  
**A111**

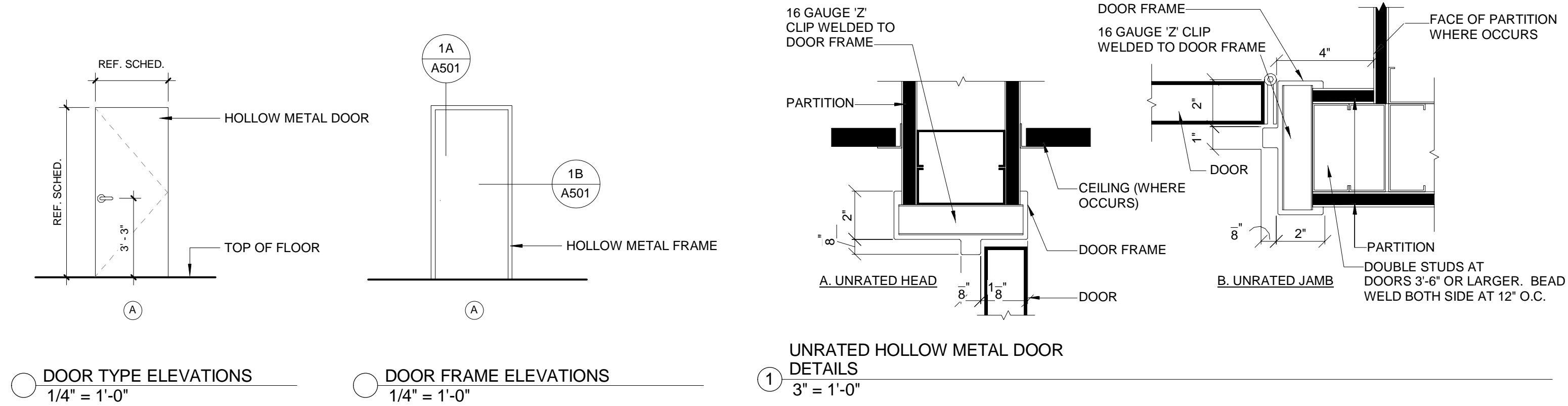






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ROOM NAME	DOOR NO.	DOOR			FRAME		FRAME DETAILS			FIRE CODE REQ.		ADA REQ.		LOCKSET			MISC. HARDWARE										REMARKS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
		SIZE	TYPE	MAT'L	GLASS	TYPE	MAT'L	GLASS	HEAD	JAMB	THRESHOLD	FIRE RATING (HOURS)	AUTOMATIC CLOSER	PANIC RELEASE OPERATOR	POSITIVE LATCHING	ADA LEVER HANDLES	ADA PUSH BUTTON OP.	ADA TACTILE WARN.	PASSAGE	ENTRY	CLASSROOM	PRIVACY	STORE ROOM	BUTTS (PAIRS)	ELECTRIC EXIT DEVISE / LOCKSET	MAGNETIC HOLD OPEN		KICK PLATES	PULL HANDLES	PUSH BAR	SILENCERS	STRIKE	FLOOR STOP	WALL STOP	ADA ACCESSIBLE THRESHOLD	LATCH SECURITY PLATE	TOP & BOTTOM BOLTS	PIN PAD / & ELECTRIC HINGE ACCESS CONTROL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
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NOTE: GC TO REFER TO UNIVERSITY STANDARDS FOR SPECIFIC MANUFACTURER REQUIREMENT FOR ALL DOOR HARDWARE AS WELL AS KEYING REQUIREMENTS.



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STATE UNIVERSITY OF NEW YORK  
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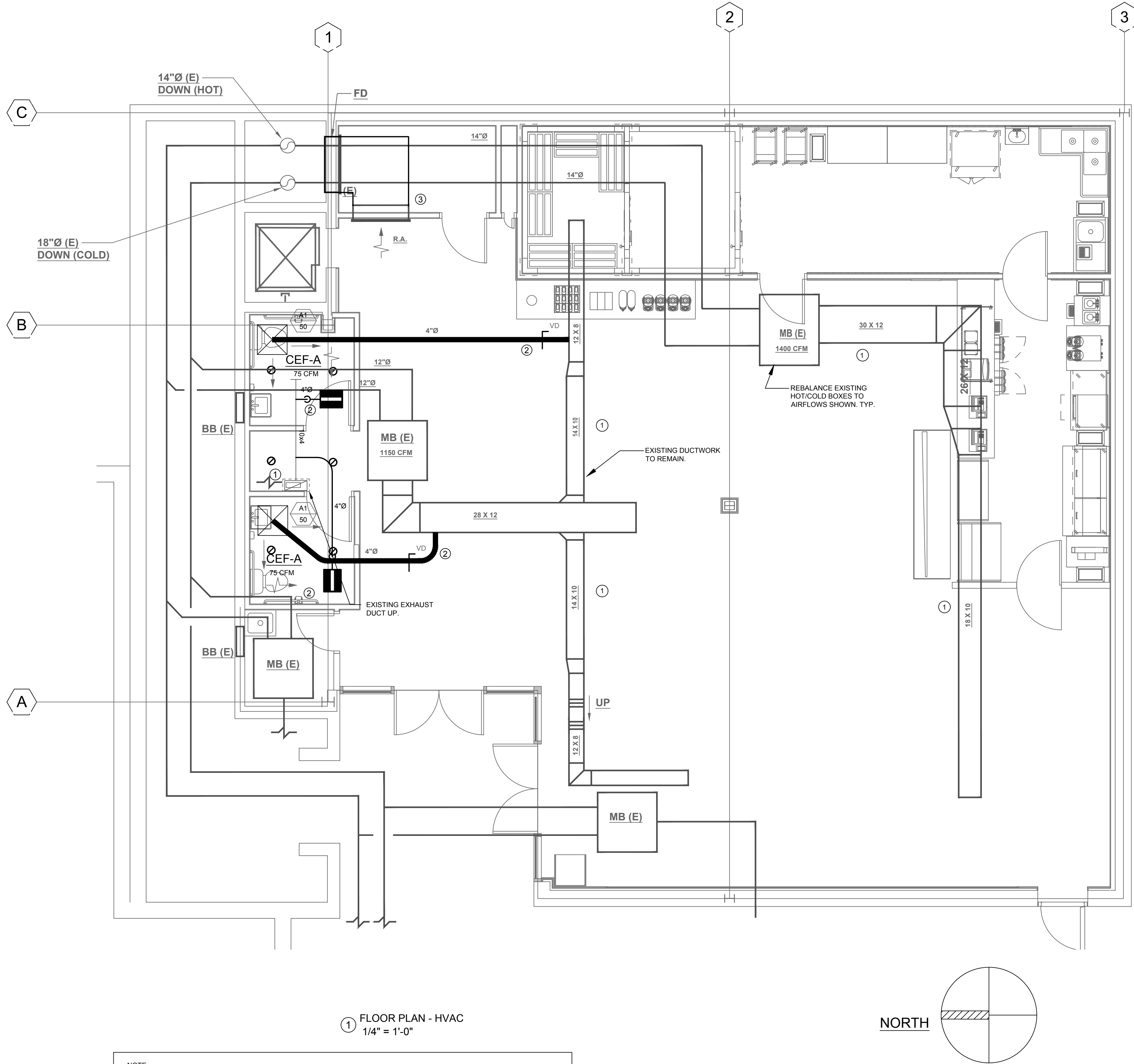
CONSULTANT:  
**acorn Consulting Engineers Inc.**  
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**SUNY PURCHASE COLLEGE**  
WHITE BOX FITOUT FOR EBB  
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PROJECT:  
SEAL:  
ISSUED FOR: PERMIT  
ISSUED DATE: 10.26.2018  
DRAWN BY: MJW  
CHECKED BY: MG  
PROJECT NUMBER: 1518356  
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DRAWING NAME:  
DOOR SCHEDULE AND DETAILS  
DRAWING NO.  
**A501**



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NOTE:  
RUN ALL REFRIGERANT PIPING FROM IDU'S TO ODU. PROVIDE ALL REFRIGERANT PIPING & SPECIALTIES. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL REFRIGERANT LINES AND ACCESSORIES SHALL BE FACTORY SIZED.

GENERAL DEMOLITION NOTES:

1. GENERAL DEMOLITION NOTES SHALL APPLY TO ALL MECHANICAL DRAWINGS.
2. PORTIONS OF EXISTING SYSTEMS ARE OMITTED FROM AREAS THAT HAVE NO TRADE ASSOCIATED SCOPE TO MAINTAIN GRAPHICAL CLARITY.
3. VISIT THE SITE AND EXAMINE CAREFULLY THE EXISTING CONDITIONS TO BECOME FAMILIAR WITH THEM AND DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF WORK PRIOR TO THE SUBMISSION OF A PROPOSAL.
4. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN SUCH AN EXAMINATION HAS BEEN MADE.
5. NOTES AND GRAPHIC REPRESENTATIONS SHALL NOT LIMIT THE EXTENT OF DEMOLITION REQUIRED.
6. EXTENT OF DEMOLITION WORK SHALL INCLUDE, BUT NOT LIMITED TO, MECHANICAL WORK ASSOCIATED WITH THE REMOVAL OF INLETS/OUTLETS, MECHANICAL DEVICES AND ALL ASSOCIATED DISTRIBUTION AND SUPPORTS.
7. ALL WORK REQUIRED TO REMAIN IN SERVICE BUT INTERFERING WITH THE ALTERATIONS SHALL BE RELOCATED AND RECONNECTED USING MATERIALS AND STANDARDS OF THIS CONTRACT.
8. EQUIPMENT AND DEVICES TO BE REMOVED SHALL BE DISCONNECTED PRIOR TO ANY DEMOLITION WORK. EQUIPMENT INDICATED TO BE REMOVED SHALL BE TAKEN FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND ENVIRONMENTAL REGULATIONS, UNLESS OTHERWISE INDICATED.
9. EQUIPMENT REQUIRED TO BE TURNED OVER TO THE OWNER SHALL BE PLACED IN A MUTUALLY ACCEPTABLE LOCATION.
10. FIELD VERIFY EXISTING DUCTWORK CONFIGURATION LOCATION PRIOR TO REMOVAL.
11. COORDINATE WORK IN ADJACENT TENANT AREAS WITH TENANTS AND UCONN FACILITIES MANAGEMENT DEPARTMENT. COORDINATION SHALL INCLUDE TIME TABLES FOR WORK IN ADJACENT TENANT AREAS.
12. PATCH, REPAIR AND PAINT ALL WALLS, CEILINGS AND MASONRY EFFECTED BY NEW WORK, DEMOLITION, RELOCATED EQUIPMENT, DUCTWORK & PIPING. PATCHING SHALL MATCH EXISTING SURFACES.
13. KEEP CARPETS CLEAN OF DEBRIS. ANY DAMAGE ASSOCIATED WITH DEMOLITION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL HVAC NOTES:

1. GENERAL DRAWING NOTES SHALL APPLY TO ALL MECHANICAL DRAWINGS.
2. FIELD VERIFY LOCATIONS OF MECHANICAL EQUIPMENT BEFORE FABRICATION OF PIPING & DUCTWORK.
3. DUCTWORK DIMENSIONS INDICATED ON PLANS ARE CLEAR INSIDE DIMENSIONS. PROVIDE TURNING VANES IN MITERED FITTINGS.
4. VERIFY EQUIPMENT CONNECTIONS WITH MANUFACTURER'S INSTALLATION DRAWINGS. PROVIDE PIPE & DUCT TRANSITIONS TO FURNISHED EQUIPMENT. FIELD VERIFY AND COORDINATE DIMENSIONS BEFORE FABRICATION.
5. COORDINATE DUCTWORK & PIPE ROUTING WITH ALL TRADES. PROVIDE OFFSETS AND FITTINGS AS REQUIRED FOR INSTALLATION. CONTRACTOR SHALL BEAR COSTS ASSOCIATED WITH ROUTING MODIFICATIONS.
6. PROVIDE VOLUME DAMPER ON ALL BRANCH DUCTWORK TAKE-OFFS.
7. PROVIDE CONTROL WIRING FROM SENSORS/THERMOSTATS TO MECHANICAL EQUIPMENT.
8. PROVIDE FLEXIBLE DUCTWORK CONNECTORS ON INLET AND OUTLET OF AIR HANDLING EQUIPMENT.
9. PROVIDE ALL SERVICE/ACCESS CLEARANCES FOR MECHANICAL EQUIPMENT PER MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS. COORDINATE PRIOR TO INSTALLATION OF EQUIPMENT, PIPING, AND DUCTWORK.
10. FIRECAULK ALL FIRE RATED PENETRATIONS.
11. PROVIDE TAMPER PROOF THERMOSTATS/SENSORS OR LOCKING COVERS FOR ALL THERMOSTATS/SENSORS LOCATED IN CORRIDORS AND ALL OTHER LOCATIONS THAT HAVE PUBLIC ACCESS.
12. PROVIDE INTERNAL DUCT SUPPORTS PER SMACNA FOR ALL DUCTS EXCEEDING 3:1 ASPECT RATIO.
13. MAINTAIN AT LEAST 10' DISTANCE BETWEEN ALL AIR INTAKE AND EXHAUST TERMINATIONS.
14. VERIFY ALL THERMOSTAT TYPES & LOCATIONS WITH OWNER PRIOR TO ORDERING.

PLAN KEY NOTES

- ① EXISTING BRANCH DUCTS TO BE REMOVED AND CAPPED AT DUCT MAIN.
- ② NEW SUPPLY DUCT TO NEW DIFFUSER.
- ③ NEW DUCTED CENTRAL RETURN

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		NO.	DESCRIPTION
SEAL:			



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ISSUED DATE: 10.26.2018  
DRAWN BY: MP  
CHECKED BY: WMG  
PROJECT NUMBER: 1318549  
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DRAWING NAME:

FLOOR PLAN - HVAC

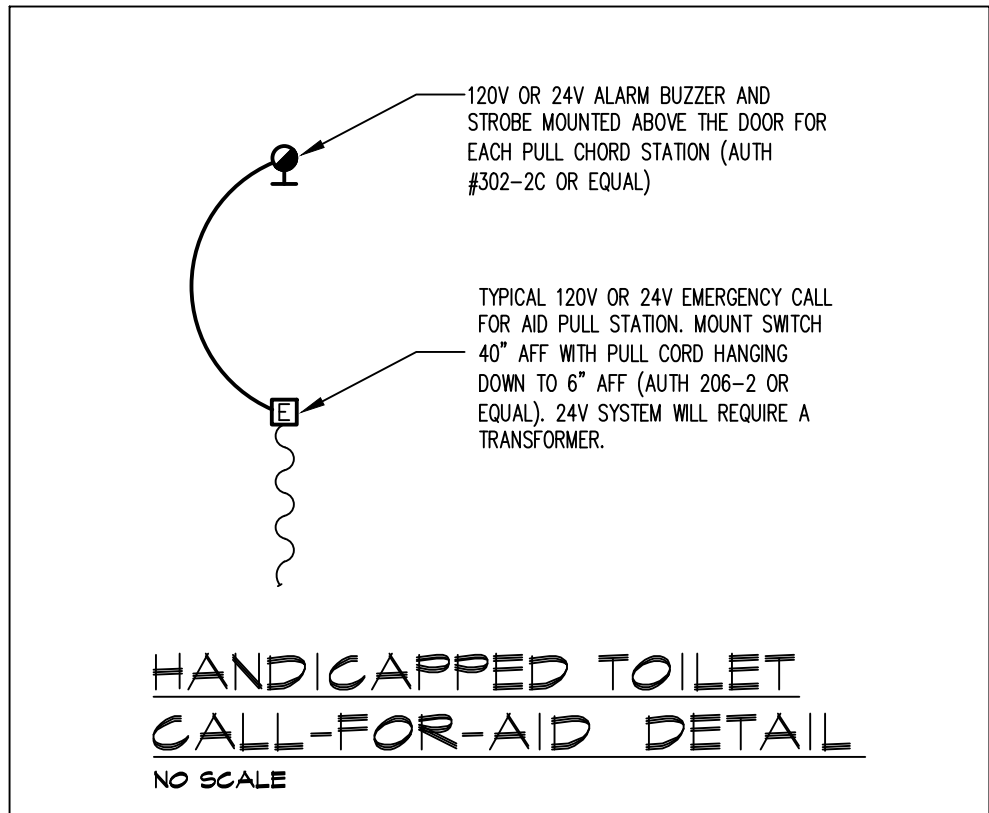
DRAWING NO.  
**M100**







LIGHTING FIXTURE SCHEDULE					
TYPE	MFG.	CATALOG #	DESCRIPTION	LAMPS	VOLTAGE
A	PHILIPS	CAT# L6RA1VA; L6R1583SVA; L6RBW	6" RECESSED DOWN LIGHT	INC	120
E	PHILIPS	CAT# CM--22400	EMERGENCY LIGHT WITH SELF TEST	INC	120

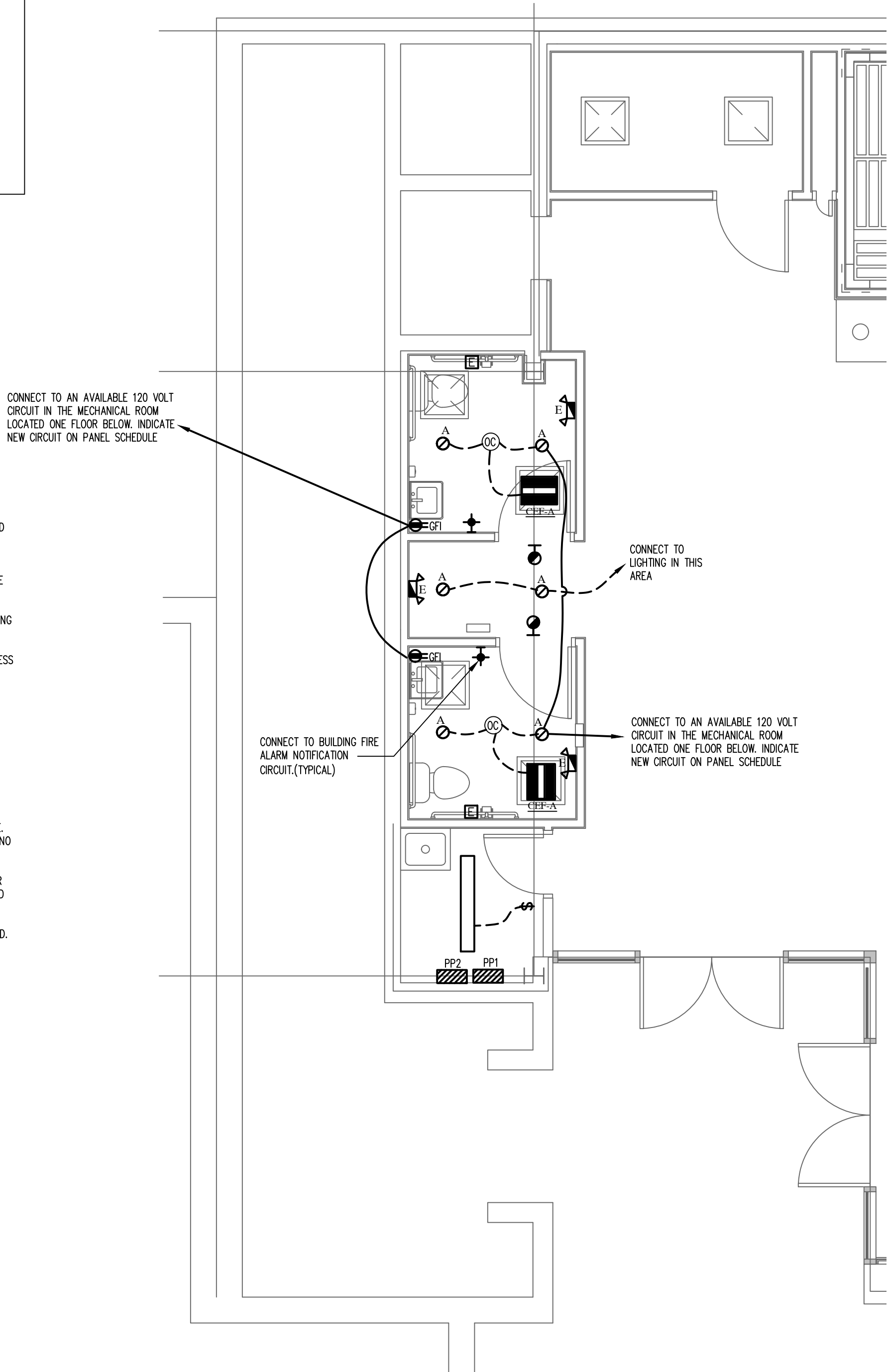


ELECTRICAL LIGHTING NOTES:

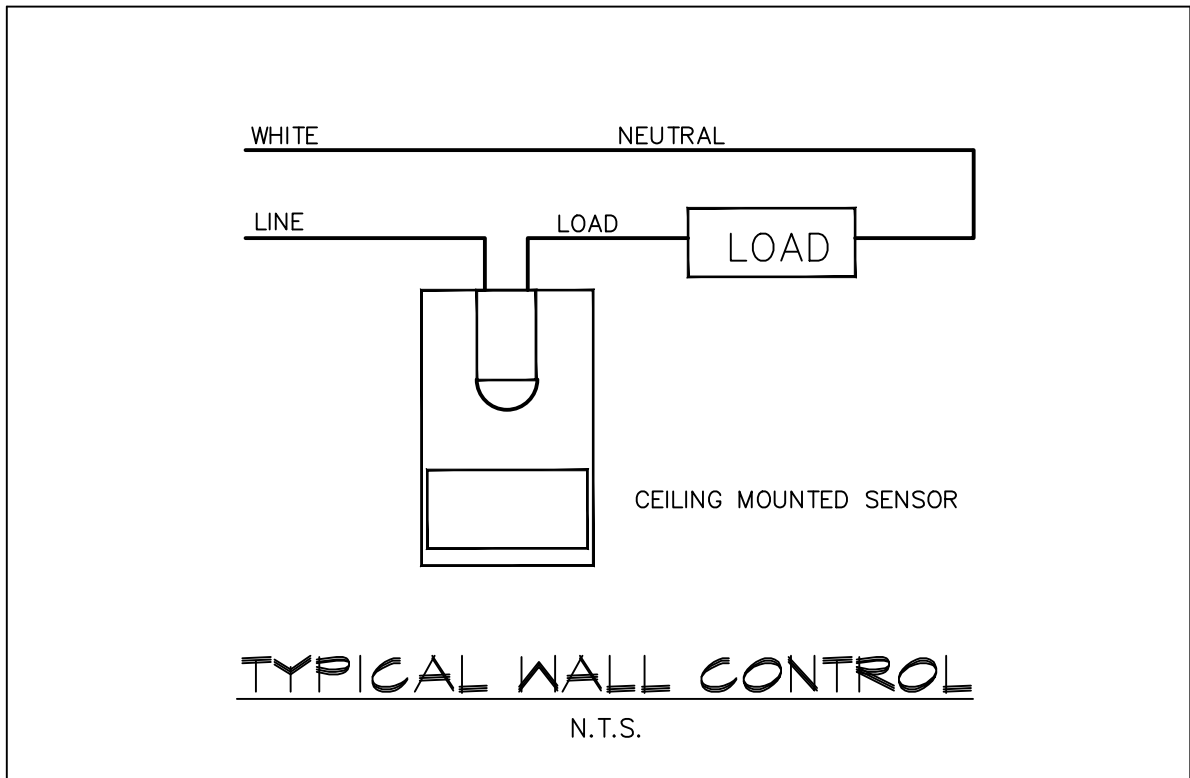
- REFER TO ARCHITECTURAL REFLECTIVE CEILING PLANS FOR EXACT LOCATIONS OF CEILING MOUNTED LIGHT FIXTURES. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHT OF WALL MOUNTED LIGHT FIXTURES INDOORS AND OUTDOORS.
- ALL LIGHT FIXTURES IN CEILING SHALL BE BRACED TO THE BUILDING STRUCTURE AND NOT TO THE CEILING.
- EMERGENCY LIGHTING UNITS AND EMERGENCY BALLASTS SHALL BE WIRED INTO ASSOCIATED LIGHTING CIRCUITS AHEAD OF ANY SWITCHED LEGS FOR CONTINUOUS CHARGING AND AC CIRCUIT MONITORING.
- COORDINATE LOCATIONS AND DIRECTIONAL ARROWS OF ALL EXIT SIGNS WITH ARCHITECTURAL EGRESS PLAN.
- PROVIDE IC HOUSING FOR LIGHTING FIXTURE WHERE REQUIRED; COORDINATE WITH ARCHITECTURAL PLANS.

ELECTRICAL DEMOLITION NOTES:

- CERTAIN SYSTEMS, SUCH AS THE FIRE ALARM SYSTEM, SECURITY SYSTEM, ETC., MAY REQUIRE STAND-BY WATCHES DURING SHUT-DOWN. E.C. SHALL ARRANGE AND PAY FOR ANY SUCH STAND-BY WATCHES.
- THE E.C. SHALL REMOVE ALL EQUIPMENT INCLUDING CONDUIT AND WIRE BACK TO POWER SOURCE. SOME CONDUIT AND WIRING MAY BE HIDDEN. E.C. SHALL CARRY THE COST TO REMOVE SAID WIRING AT NO ADDITIONAL COST TO THE OWNER.
- ANY DEMOLITION WORK REQUIRING THE SHUT-DOWN OF ELECTRICAL SERVICE TO THE BUILDING OR ANY PORTION THEREOF, THE E.C. SHALL MAKE ARRANGEMENTS WITH THE OWNER AND OTHER CONCERNED AUTHORITY.
- ALL ITEMS SCHEDULED FOR DEMOLITION SHALL BE REMOVED FROM SITE UNLESS OTHERWISE NOTED. E.C. SHALL BE RESPONSIBLE FOR CLEANING OF SITE ON A DAILY BASIS.



1 FLOOR PLAN - ELECTRICAL  
1/4" = 1'-0"



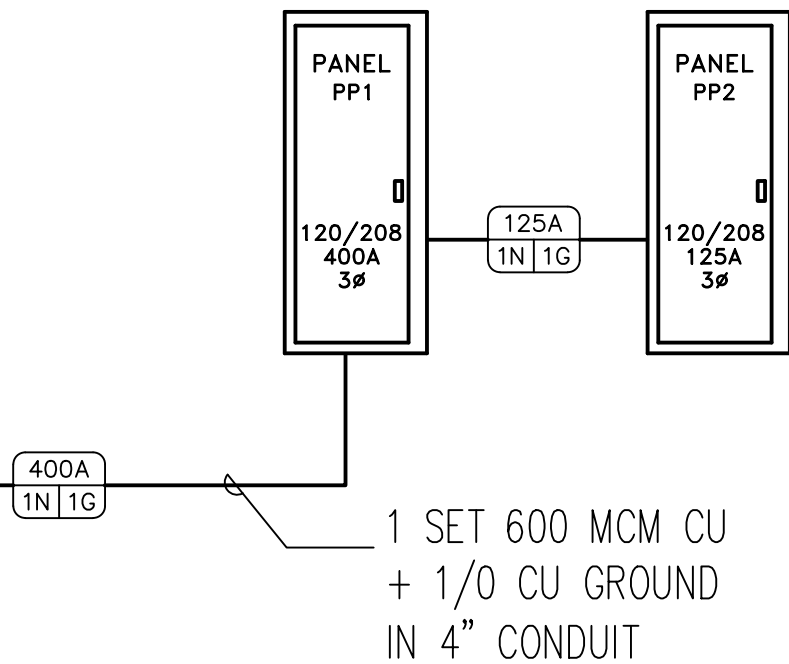
CONNECTIONS TO EXISTING CONDITIONS:

- WHERE NEW CIRCUITS ARE TO BE ADDED TO EXISTING PANELBOARDS, CONFIRM THAT PANEL HAS SUFFICIENT SPACE AND CAPACITY FOR NEW LOADS.
- MODIFY EXISTING PANEL DIRECTORIES TO REFLECT NEW CIRCUITS, ADDED OR DELETED.
- WHERE NOT SPECIFICALLY INDICATED, NEW CIRCUITS ARE TO BE EXTENDED TO THE NEAREST APPROPRIATE PANEL.
- ALL NEW CIRCUITRY SHALL BE COMPLETE WITH REQUIRED BRANCH CIRCUIT PROTECTION AND GROUNDING CONNECTIONS.
- ANY WORK REQUIRING THE SHUT-DOWN OF ELECTRICAL SERVICE TO THE BUILDING AND/OR ANY PORTION THEREOF, THE E.C. SHALL MAKE ARRANGEMENTS WITH THE OWNER AND ANY OTHER CONCERNED AUTHORITY.
- CERTAIN SYSTEMS, SUCH AS THE FIRE ALARM SYSTEM, SECURITY SYSTEM, ETC., MAY REQUIRE STAND-BY WATCHES DURING SHUT-DOWN. E.C. SHALL ARRANGE AND PAY FOR ANY SUCH STAND-BY WATCHES.
- EXISTING SYSTEMS AFFECTED BY NEW WORK SHALL BE TESTED COMPLETELY FOR INTEGRITY AND PROPER OPERATION. RE-FEED CIRCUITS UP-STREAM AND DOWN-STREAM OF DEVICES BEING REMOVED.
- MAKE ANY REVISIONS TO THE EXISTING WORK FOUND NECESSARY TO MAINTAIN ORIGINAL OPERATION. FURNISH AND INSTALL ALL NECESSARY ELECTRICAL EQUIPMENT AND DEVICES AS NEEDED AT NO ADDITIONAL COST TO THE OWNER.

ELECTRICAL POWER NOTES:

- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS. VERIFY WITH ARCHITECTURAL PLANS AND COORDINATE WITH THE GENERAL CONTRACTOR PRIOR TO ROUGH-IN. NOTIFY THE ARCHITECT/G.C. OF ANY DISCREPANCIES IF DISCREPANCIES ARE NOTED. DO NOT PROCEED WITHOUT ARCHITECTURAL APPROVAL.
- HVAC AND PLUMBING EQUIPMENT ARE SHOWN FOR REFERENCE ONLY. E.C. SHALL COORDINATE EXACT LOCATIONS AND POWER REQUIREMENTS OF APPLICABLE HVAC AND PLUMBING EQUIPMENT WITH MECHANICAL DRAWINGS. E.C. SHALL MAKE ALL FINAL CONNECTIONS TO ALL CONTROLS, OWNER-SUPPLIED EQUIPMENT, MECHANICAL AND PLUMBING EQUIPMENT AS NEEDED.
- E.C. SHALL PROVIDE DISCONNECT SWITCHES AND STARTERS AS REQUIRED FOR ALL EQUIPMENT WHERE THE DISCONNECT SWITCH IS NOT PROVIDED WITH THE EQUIPMENT OR BY OTHERS.
- ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED IN ALL RECEPTACLES, SWITCHES OR OTHER ELECTRICAL BOXES IN WALLS SEPARATING CONDITIONED AND UNCONDITIONED SPACE.
- ALL HOMERUNS TO PANELBOARDS DESIGNATED SHALL CONSIST OF 2#12 AWG & 1#12 GROUND IN 3/4" CONDUIT TO PANEL LABELED AT THE HOMERUN SYMBOL UNLESS OTHERWISE NOTED.
- CONNECT ALL BATHROOM EXHAUST FANS TO ASSOCIATED LIGHT SWITCH UNLESS OTHERWISE NOTED.
- ELECTRICAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS TO HVAC CONTROL WIRING; COORDINATE ALL REQUIREMENTS WITH DV 15
- ALL CIRCUITS BACK TO PANEL SHALL REQUIRE 20A-1 POLE BREAKERS UNLESS OTHERWISE NOTED
- REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT LOCATIONS OF RECEPTACLES AND LIGHTS IN BATHROOMS.

EXTEND TO EXISTING SECTION OF NORTH MAIN DISTRIBUTION SWITCHBOARD. APPROXIMATELY 400'. VERIFY EXACT LENGTH IN FIELD. FIELD COORDINATE EXACT LOCATION TO AVOID CONFLICTS WITH EXISTING CONDITIONS. CONNECT TO SPARE 400 AMP BREAKER. PROVIDE NEW SUB METER AS DIRECTED BY OWNERS REPRESENTATIVE.



ELECTRICAL PARTIAL POWER RISER DIAGRAM  
SCALE: NO SCALE

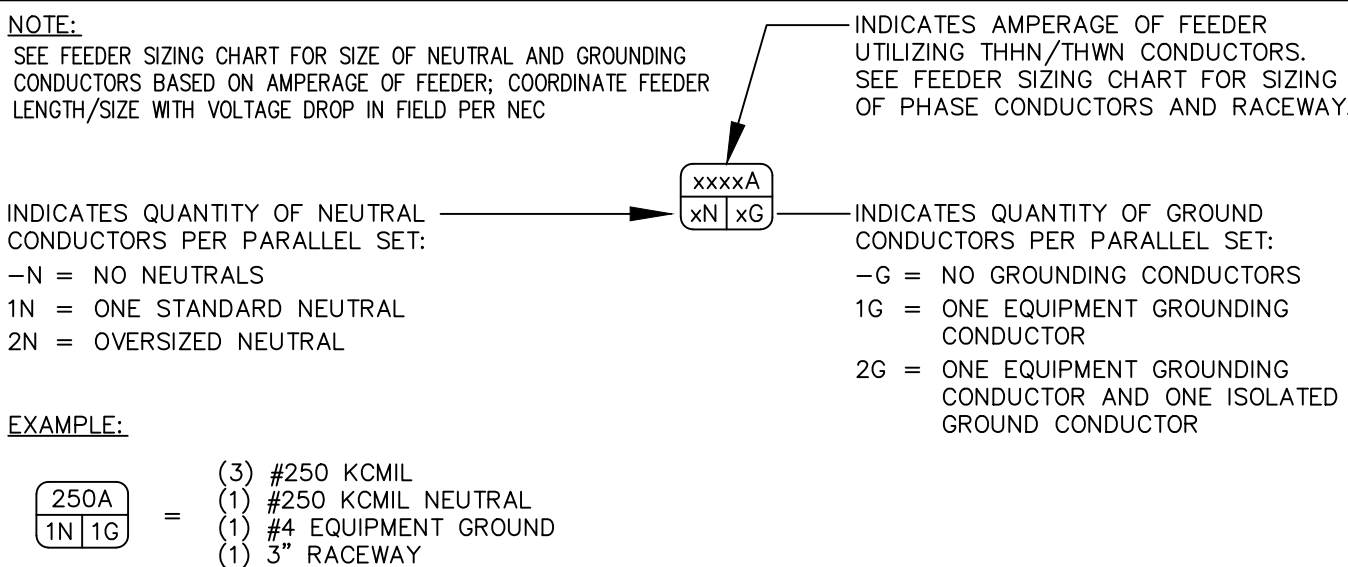
ELECTRIC SYMBOL LIST

	DUPLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET MOUNTED ABOVE COUNTERTOP
	TYPICAL LIGHTING FIXTURES (see schedule)
	TYPICAL LIGHTING FIXTURES WITH BATTERY BACKUP (see schedule)
	SINGLE POLE WALL SWITCH
	WALL SWITCH; 3 DENOTES THREE WAY; 4 DENOTES FOUR WAY
	LINE VOLTAGE OCCUPANCY SENSOR
	WIRE CONCEALED IN WALLS OR CEILING
	SWITCHED CIRCUIT
	HOMERUN TO SERVICE PANEL; NUMBER OF WIRES INDICATED
	EXIT SIGN WITH BATTERY BACKUP (see schedule)
	CALL-FOR-AID DOME LIGHT
	CALL-FOR-AID PULL STATION
	CIRCUIT BREAKER PANEL BOARD - VOLTAGE NOTED
	EMERGENCY LIGHT WITH BATTERY PACK
	TRANSFORMER
	STROBE LIGHT
	FIRE ALARM COMBINATION HORN/STROBE; LF DENOTES LOW FREQUENCY HORN/STROBE
	FIRE ALARM COMBINATION SPEAKER/STROBE
	FIRE ALARM HORN; LF DENOTES LOW FREQUENCY HORN.
	FIRE ALARM MAG DOOR HOLDER
	FIRE ALARM MANUAL PULL STATION
	FIRE ALARM SMOKE DETECTOR; D DENOTES DUCT SMOKE DETECTOR, E DENOTES ELEVATOR RECALL
	FIRE ALARM HEAT DETECTOR
	REMOTE EMERGENCY HEAD
	GFI

ELECTRICAL GENERAL NOTES:

- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE, LOCAL AND STATE BUILDING CODES.
- E.C. SHALL OBTAIN AND PAY FOR BOTH ROUGH AND FINAL INSPECTION AND OBTAIN A CERTIFICATE OF "ELECTRICAL INSPECTION". THIS CERTIFICATE SHALL BE PRESENTED WITH REQUEST FOR FINAL PAYMENT.
- IT IS THE INTENT OF THESE PLANS TO PROVIDE A COMPLETE AND OPERATING ELECTRICAL SYSTEM. THE E.C. SHALL FURNISH AND INSTALL ALL WIRING, CONDUIT, EQUIPMENT, MATERIAL, ETC. AS REQUIRED, EXCEPT WHERE SPECIFICALLY NOTED AS BEING FURNISHED BY OTHERS. SHOULD THERE BE ANY QUESTIONS CONCERNING RESPONSIBILITY, THE QUESTIONS SHALL BE SETTLED BEFORE BID SUBMISSION AND CONTRACT SIGNING. NO EXTRA CHARGES WILL BE ALLOWED.
- THE E.C. SHALL COORDINATE ALL PHASING OF WORK WITH THE ARCHITECT, GENERAL CONTRACTOR AND/OR OWNER OF THE PROJECT.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR SPECIFIC DETAILS, ARRANGEMENTS, MOUNTING HEIGHTS, CEILING CONSTRUCTION, ETC. ALL COLORS AND FINISHES TO BE SELECTED BY THE ARCHITECT.
- ALL ELECTRICAL EQUIPMENT SHALL BE SEISMICALLY SUPPORTED AS REQUIRED BY THE LOCAL AND STATE BUILDING CODE.
- ALL NECESSARY MOUNTING HARDWARE, HANGERS, BRACKETS, RAILS, YOKES, STEMS, CHAINS, ETC. SHALL BE FURNISHED AND INSTALLED BY E.C.
- ALL HOMERUNS TO PANELBOARDS DESIGNATED SHALL CONSIST OF 2#12 AWG & 1#12 GROUND IN 3/4" CONDUIT TO PANEL LABELED AT THE HOMERUN SYMBOL UNLESS OTHERWISE NOTED.
- ALL WIRING INSTALLED UNDER THIS CONTRACT SHALL BE TESTED FOR PROPER CONNECTIONS AND SHORT CIRCUITS PRIOR TO THE TURNING OVER OF WORK AS A COMPLETE UNIT.
- ALL CONDUITS PASSING THROUGH PARTITIONS ARE TO BE APPROPRIATELY SLEEVED AND SEALED.
- E.C. SHALL GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF APPROVAL AND FINAL ACCEPTANCE.
- ALL CONDUIT AND WIRING SHALL BE RUN CONCEALED IN WALLS, FLOORS AND CEILINGS UNLESS OTHERWISE NOTED TO BE EXPOSED.
- ALL WIRING SHALL BE TYPE THWN OR THW UNLESS OTHERWISE NOTED. FOR CONDUCTORS LARGER THAN #6 AWG, TYPE XHHW WILL BE ACCEPTED.
- ALL CIRCUITS BACK TO PANEL SHALL REQUIRE 20A-1 POLE BREAKERS UNLESS OTHERWISE NOTED
- ALL DRAWINGS ARE SCHEMATIC IN NATURE; ALL DEVICES SHALL BE INSTALLED IN ALL AREAS AND LIVING SPACES PER NEC AND SHALL BE DIMENSIONED IN FIELD TO MEET PROPER CODES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION DURING BID PROCESS AND/OR ADJUSTED IN FIELD DURING CONSTRUCTION
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.

FEEDER LEGEND

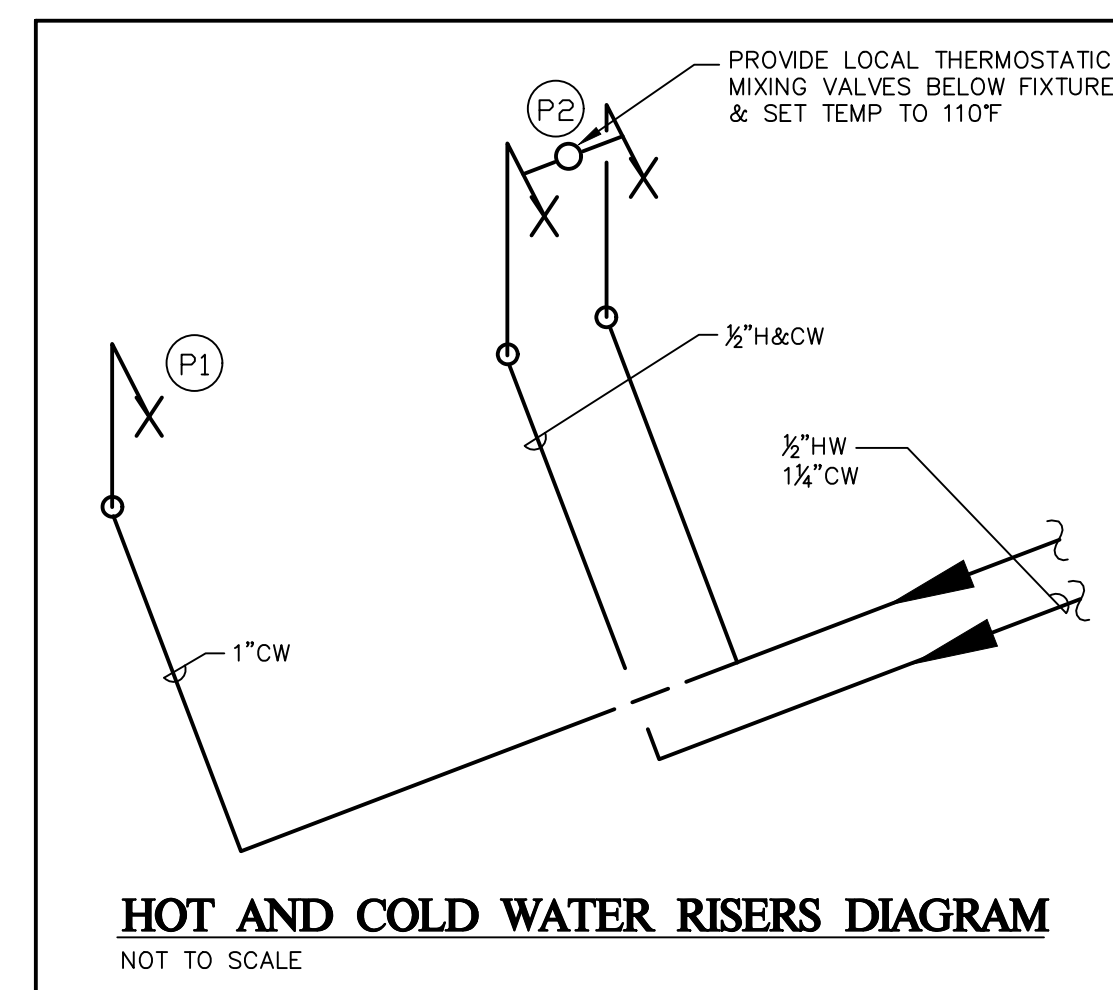
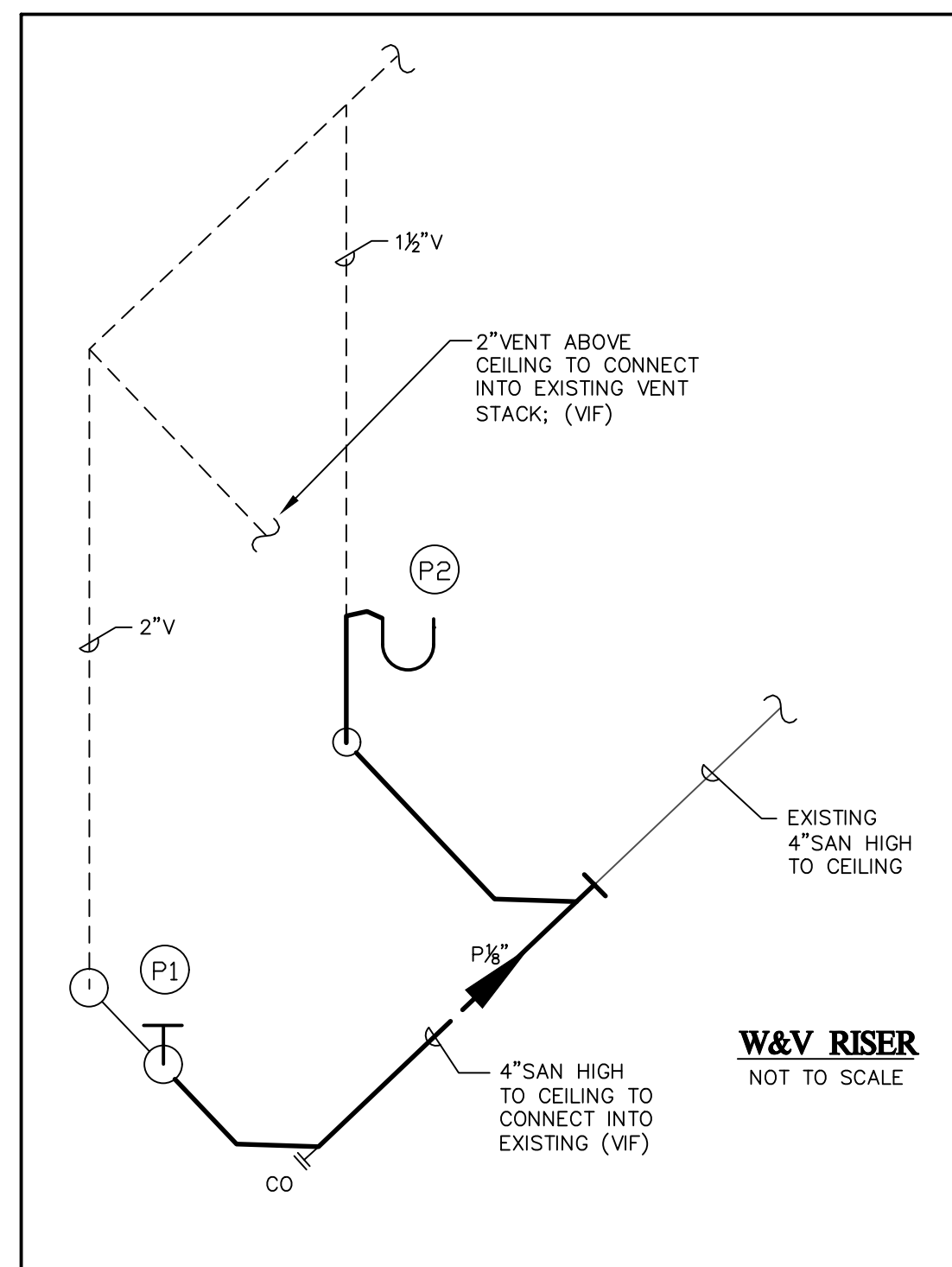


PROJECT:

REVISIONS		
NO.	DATE	DESCRIPTION







**SPRINKLER COVERAGE NOTES:**

NOTE PERTAIN TO ALL DRAWINGS

1. FINISHED CEILING AREAS - PROVIDE SEMI-RECESSED PENDENT (CHROME) SPRINKLER COVERAGE. ALL PIPING TO BE CONCEALED.
2. UNFINISHED CEILING AREAS - PROVIDE UPRIGHT (BRASS) SPRINKLER COVERAGE. ALL PIPING TO BE EXPOSED.

**PLUMBING NOTES:**

NOTES PERTAIN TO ALL DRAWINGS

1. ALL WATER PIPING TO BE WITHIN THE HEATED ENVELOPE OF BUILDING. ALL BRANCH PLUMBING WATER PIPES TO HAVE STOP AND WASTE VALVES.
2. PIPING AS SHOWN IS ONLY DIAGRAMMATICALLY PRESENTED; CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AND NEW STRUCTURAL ELEMENTS.
3. ALL PENETRATIONS OF RATED ASSEMBLIES TO BE SEALED WITH APPROVED FIRE RATED CAULK; FIRE PENETRATION SYSTEMS SHALL MEET THE UL LISTING FOR EXISTING WALL OR FLOOR CONSTRUCTION.
4. SEE ARCHITECTURAL DRAWINGS FOR FIXTURE MOUNTING HEIGHTS.
5. INSULATE EXPOSED PIPING BELOW HANDICAP LAVATORIES AND SINKS.
6. PROVIDE WATER HAMMER ARRESTERS WHERE REQUIRED.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD ALL LOCATIONS AND SIZE OF EXISTING MAIN SANITARY AND WATER PIPING BEING TIED INTO AND VERIFY CONTINUITY, CONDITION AND PROPER SIZE, IF PIPING DOES NOT CONFORM TO ALL CONDITIONS THEN THE ARCHITECT & ENGINEER IS TO BE NOTIFIED.
8. ALL OVERHEAD PIPING AT BASEMENT CEILING TO START AS HIGH AS POSSIBLE TO MAXIMIZE CLEARANCE BELOW.

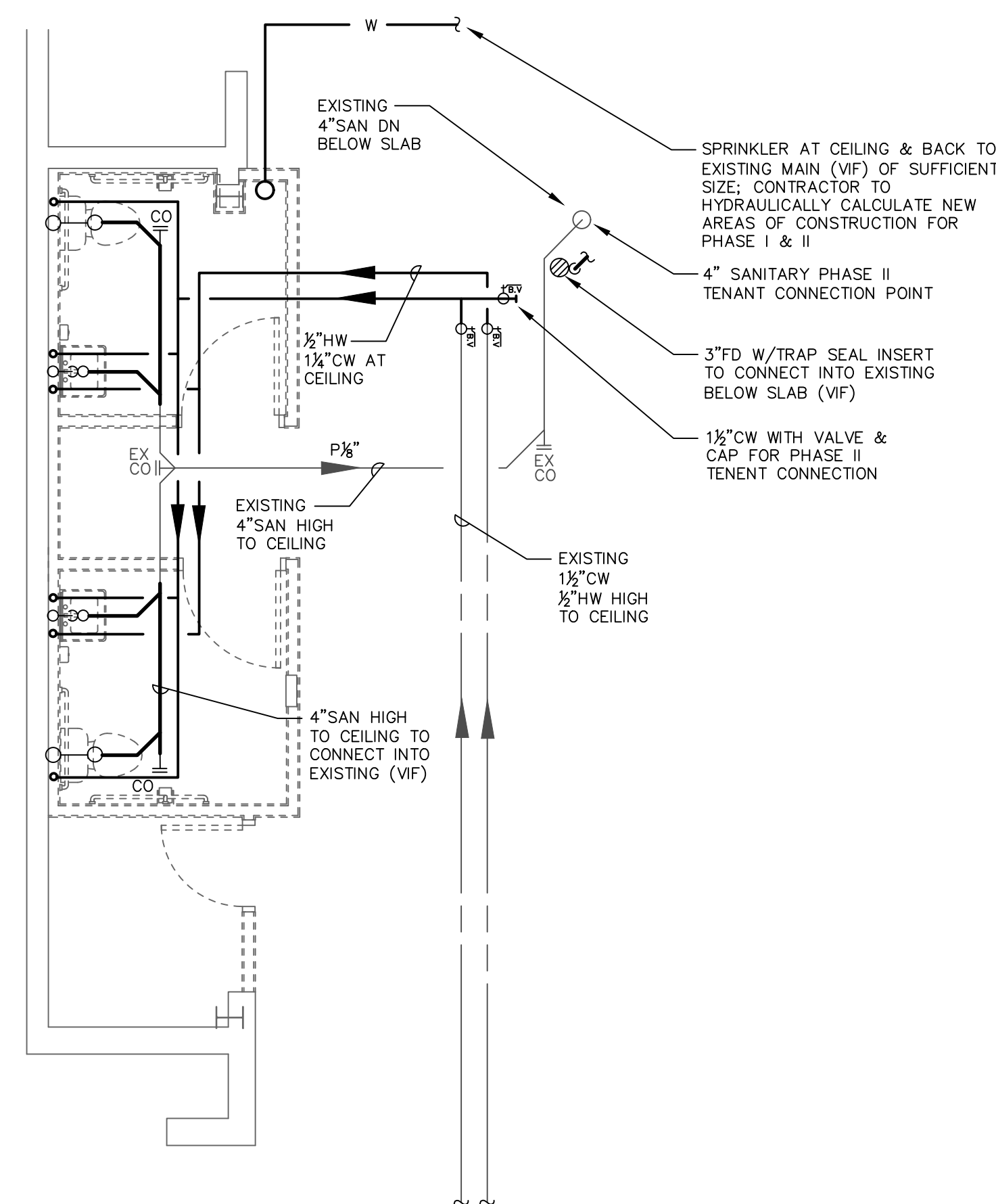
### SCHEDULE OF SIZING FOR ROUGHING FOR PLUMBING FIXTURES

WATER CLOSET-FLUSH VALVE	1" CW	4" S	2" V
LAVATORY SINK	1/2" H & CW	1-1/2" W	1-1/2" V

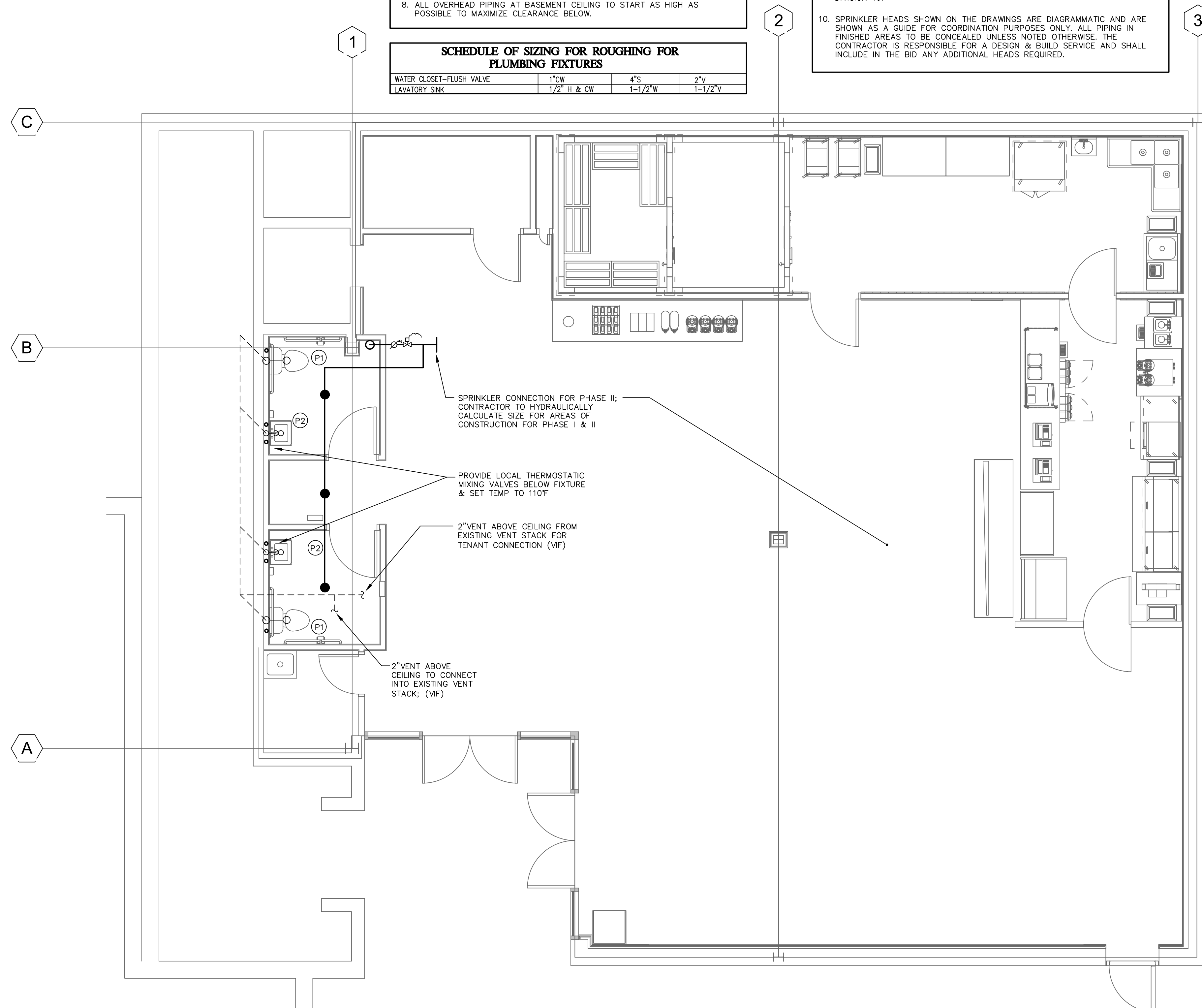
**FIRE PROTECTION NOTES:**

NOTE PERTAIN TO ALL DRAWINGS

1. THE FIRE PROTECTION SYSTEM SHALL BE A MODIFICATION OF THE BUILDING'S "WET PIPE SYSTEM".
2. COORDINATE FIRE PROTECTION WORK WITH OTHER TRADES AND EXISTING STRUCTURAL ELEMENTS.
3. ALL PENETRATIONS OF RATED ASSEMBLIES TO BE SEALED WITH APPROVED FIRE RATED CAULK.
4. PROVIDE ACCESS DOOR FOR ALL SHUT-OFF VALVES AND COORDINATE LOCATIONS WITH GENERAL CONTRACTOR.
5. THE AREA OF CONSTRUCTION IS TO BE FULLY SPRINKLED INCLUDING COMBIBLE SPACES ABOVE CEILING CONCEALED SPACES, ETC. AS PER NFPA-13 2013 AND INTERNATIONAL FIRE CODE 2015 WITH NYS 2017 SUPPLEMENTS.
6. PROVIDE AUXILIARY DRAINS ON ISOLATED TRAPPED PIPING SECTION AS PER NFPA-13.
7. PROVIDE SEISMIC BRACING AS PER NFPA.
8. CONTRACTOR TO FIELD VERIFY ALL EXISTING PIPE LOCATIONS AND SIZES. THE SPRINKLER LAYOUT IS TO BE BASED ON AN ORDINARY HAZARD USING 130 S.Q.F.T. MAX COVERAGE PER HEAD. THE FIRE PROTECTION CONTRACTOR IS RESPONSIBLE TO SECURE A FLOW TEST PER LOCAL WATER COMPANY GUIDELINES.
9. SPRINKLER CONTRACTOR IS RESPONSIBLE FOR THE FINAL LOCATION OR THE MAINTAINING OF ALL THE EXISTING RELATED EQUIPMENT (FIRE DEPT. SIAMENSE COMM., WATER GONG, ELECTRIC BELL, DRAINS, TAMPER & FLOW SWITCHES, ETC), SPRINKLER HEADS, AND ALL ASSOCIATED PIPING. COORDINATE FINAL COUNT OF SUPERVISORY AND FLOW SWITCHES WITH DIVISION 16.
10. SPRINKLER HEADS SHOWN ON THE DRAWINGS ARE DIAGRAMMATIC AND ARE SHOWN AS A GUIDE FOR COORDINATION PURPOSES ONLY. ALL PIPING IN FINISHED AREAS TO BE CONCEALED UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR A DESIGN & BUILD SERVICE AND SHALL INCLUDE IN THE BID ANY ADDITIONAL HEADS REQUIRED.



① PLUMBING BASEMENT PLAN  
1/4" = 1'-0"



② FIRE PROTECTION & PLUMBING FLOOR PLAN  
1/4" = 1'-0"



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[illegible]

ISSUED FOR: PERMIT

ISSUED DATE: 10.26.2018

DRAWN BY: RJM

CHECKED BY:WMG

PROJECT NUMBER: 1318549

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DRAWING NAME:

FLOOR PLAN -  
FIRE PROTECTION  
& PLUMBING

# FP100



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B. Test shall be witnessed by authority having jurisdiction.

A. Where access doors in walls or ceilings are required for valves, traps, etc., they shall be of flush type with anchor, frame and hinged panel as manufactured by Milcor or Zurn. Access doors shall be furnished by plumbing contractor to the General Contractor who will install them.

