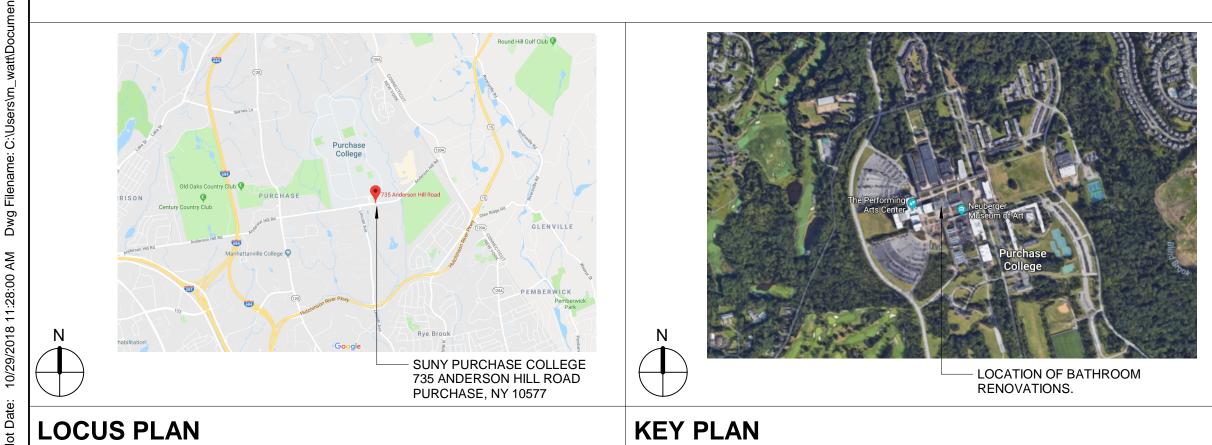


SUNY PURCHASE COLLEGE WHITE BOX FITOUT FOR EBB

735 ANDERSON HILL ROAD PURCHASE, NY 10577





ISSUED FOR: PERMIT, 10.26.2018

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF THE BUILD OUT OF (2) NEW ACCESSIBLE RESTROOMS WHICH WILL BE LOCATED ADJACENT TO THE OLD POST OFFICE & BOOKSTORE AND WILL SERVICE THE FORTH COMING EINSTEIN BROS BAGELS BUILD OUT. THE PROJECT CONSISTS OF THE FOLLOWING WORK:

- LIMITED LOCAL DEMOLITION ONLY AS NEEDED FOR NEW CONSTRUCTION.
- EXISTING TENANT SPACE (BUILDING ENVELOPE AND TENANT DEMISING WALLS) • EXISTING HVAC MAIN TRUNK TO REMAIN (REFER TO EBB DOCUMENTS)
- MODIFIED ELETRICAL DISTRIBUTION (HOUSE PANEL)
- NEW INTERIOR PARTITIONS AND DOORS (RESTROOM ONLY) • NEW CEILINGS AND LIGHTING (RESTROOM ONLY)
- NEW FIRE PROTECTION/ DETECTION (RESTROOM ONLY)
- NEW HOT WATER HEATER (REMOTELY LOCATED)
- NEW FINISHES AS SCHEDULED (RESTROOM ONLY)
- NEW PLUMBING EQUIPMENT, CONNECTIONS, AND DRAINS (RESTROOM ONLY)
- NEW EXHAUST DUCT (RESTROOM ONLY)
- NEW 1.5" WATER SERVICE STUBBED TO SPACE
- NEW 4" SEWER MAIN STUBBED TO SPACE

PROJECT DESCRIPTION

PROJECT TEAM

OWNER

SUNY PURCHASE COLLEGE 735 ANDERSON HILL ROAD

PURCHASE, NY 10577 T: 914.251.5999

PHASE ZERO DESIGN 8 WILCOX STREET

SIMSBURY, CT 06070

ARCHITECT

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PROJECT MANAGER: MIKE GODIN E-MAIL: mgodin@phasezerodesign.com

MEP ENGINEER ACORN CONSULTING ENGIN P.O. BOX 311 244 FARMS VILLAGE PLAZA WEST SIMSBURY, CT 06092 T: 860.830.1012 CONTACT: MARK GENDRON E-MAIL: wmgendron@acorner

			11 2018	SIMSBURY PHOI FA) www.pl	PHASE ZERO DESIGN architects interior designers /ILCOX STREET , CONNECTICUT 06070 VE: (860) 264-1624 (: (860) 264-1628 masezerodesign.com
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	AD100 A101	DEMO FLOOR PLAN & RCP CONSTRUCTION FLOOR PLAN	•	Const	acorn Ilting Engineers Inc.
	A111 A131	REFLECTED CEILING PLAN FINISH PLAN/SCHEDULE & BATHROOM DRAWINGS DOOR SCHEDULE AND DETAILS	•	PO BOX 311 244 FA	- FARMS VILLAGE PLAZA RM VILLAGE ROAD
	A501 MECHANICAL M100	FLOOR PLAN - HVAC	•		IMSBURY, CT 06092
	M200 ELECTRICAL	SPECIFICATION - HVAC	•		
	E100	FLOOR PLAN - ELECTRICAL TION & PLUMBING	•		
	FP100 FP200	FLONG PLAN - FIRE PROTECTION & PLUMBING SPECIFICATION & DETAILS - FIRE PROTECTION & PLUMBING		SUNY PURCHASE COLLEGE	WHITE BOX FITOUT FOR EBB 735 ANDERSON HILL ROAD PURCHASE, NY 10577
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GENERAL NOTES

1. ALL WORK SHALL CONFORM TO FEDERAL, STATE AND MUNICIPAL CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS. THESE SHALL SUPERSEDE DRAWINGS, NOTES AND DIMENSIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED OF SUCH CHANGES BEFORE WORK IS STARTED. CONTRACTOR SHALL OBTAIN PERMITS BEFORE STARTING WORK, AND OBTAIN APPROVALS OF ALL REGULATORY AGENCIES UPON COMPLETION, AND AS REQUIRED

2. THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, OWNER-CONTRACTOR AGREEMENTS AND ALL ADDENDA ISSUED PRIOR TO AND ALL PLAN CHANGES ISSUED AFTER EXECUTION OF THE CONTRACT.

3. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING; ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT DEFINED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ACCESSORIES. COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK SHOWN.

4. GENERAL CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SCHEDULE AND IS SOLELY RESPONSIBLE FOR CONSTRUCTION SEQUENCING, METHODS AND TECHNIQUES.

5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PAYING FOR AND OBTAINING ALL PERMITS. INSPECTIONS. REQUIRED TESTS AND UTILITY CONNECTIONS, TERMINATIONS, AND CAPPING UNLESS OTHERWISE NOTED.

6. ANY WORK INVOLVING ALTERATIONS TO EXISTING BUILDING UTILITIES & WHICH REQUIRE UTILITY SHUT DOWN. SHALL BE COORDINATED WITH THE OWNER AND SHALL REQUIRE A MIN. OF (5) FIVE DAYS NOTICE.

7. IN THE EVENT OF DISCREPANCIES IN THE DRAWINGS, THE COSTLIER OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE STATED IN WRITING, FROM THE OWNER OR OWNER'S REPRESENTATIVE. ANY DISCREPANCIES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

8. GENERAL CONTRACTOR SHALL WARRANT WORK PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

9. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KEEP THE PREMISES CLEAN OF DEBRIS. RUBBISH, EXCESS MATERIALS, ETC. RESULTING FROM THE WORK OF THIS CONTRACT. OFFICE AREAS SHALL BE BROOM CLEAN EACH WORK DAY. AT THE END OF THE JOB THE SPACE SHALL BE BROOM CLEANED ONE LAST TIME WITH ALL LABELS, STICKERS, PAINT AND WRAPPING MATERIALS REMOVED FROM FIXTURES, WINDOWS AND FLOORS AS TO REQUIRE ONLY NORMAL WASHING AND CLEANING PRIOR TO THE TURNOVER OF THE SPACE TO THE TENANT.

10. CHARGES FOR EXTRA WORK DONE BY THE CONTRACTOR WILL NOT BE HONORED UNLESS THE WORK AND THE AMOUNT ARE AGREED TO BY THE OWNER, OR THEIR AGENT, IN WRITING BEFORE THE WORK IS DONE, BASED UPON UNIT PRICING.

11. AS REQUIRED BY CODE, EACH CONTRACTOR AND EACH SUBCONTRACTOR SHALL OBTAIN REQUIRED INSPECTION OF THAT PORTION OF WORK.

12. CONTRACTOR TO COORDINATE WORK WITH THE CITY/OWNER/LANDLORD, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. COORDINATE WORK WITH OTHER CONTRACTS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS, INCLUDING TRASH REMOVAL ACCESS.

13. CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. CONTRACTOR TO INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

14. CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

15. CONTRACTOR TO PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE. CONTRACTOR TO COORDINATE TRASH ACCESS.

16. CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH COUNTY TO PROVIDE SECURITY.

17. PARTITIONS ARE DIMENSIONED FROM FACE OF WALL TO FACE OF WALL, UNLESS OTHERWISE NOTED MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.

18. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION. CONTRACTOR TO RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.

19. CONTRACTOR TO UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, U.O.N.

20. CONTRACTOR SHALL PROVIDE CONSTRUCTION BARRICADES OR FENCING AS REQUIRED AND AS APPROVED BY THE CITY FOR PUBLIC SAFETY PRIOR TO COMMENCING THE WORK.

21. CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.

22. WHERE A TYPICAL CONDITION IS DETAILED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.

23. GENERAL CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL, TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.

24. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.

25. ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF

26. SPECIFICATIONS, BOUND SEPARATELY, ARE PART OF THE CONTRACT DOCUMENTS.

27. THE ORGANIZATION OF THE DRAWINGS AND SPECIFICATIONS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.

28. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. IF CONFLICT IS FOUND BETWEEN DRAWINGS, GENERAL NOTES AND SPECIFICATIONS, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

29. THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND ELECTRICAL WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS THAT WOULD CAUSE AN AWKWARD INSTALLATION, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.

30. NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE DESIGN PROFESSIONAL.

31. G.C. TO PROVIDE LEVEL 4 DRYWALL FINISH THROUGHOUT SPACE U.O.N.

32. ALL DEMOLITION IS AS REQUIRED FOR NEW CONSTRUCTION.

THE GENERAL NOTES WITH ALL TRADES

33. ALL MATERIAL TO BE NEW UNLESS OTHERWISE NOTED "EXISTING".

34. MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

35. VERIFY KEYING REQUIREMENTS OF ALL LOCKS, BOTH NEW AND EXISTING, WITH TENANT.

36. IF REQUIRED UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL OBTAIN A CERTIFICATE OF OCCUPANCY FROM CAMPUS

DEMOLITION NOTES

1. THE TERM "PATCH AND REPAIR" SHALL BE DEFINED AS: THE PROCESS OF REPAIRING FLOOR, WALL, OR CEILING SURFACES THAT HAVE BEEN DAMAGED OR ARE ADJACENT TO DEMOLISHED CONSTRUCTION. THE REPAIR SHALL INCLUDE, BUT NOT BE LIMITED TO: FILLING VOIDS SOLID WITH CONCRETE, PREPARING SURFACES FOR NEW FINISH MATERIAL PER MANUFACTURER'S RECOMMENDATIONS, MATCH EXISTING FINISHES AND MATERIALS WHERE NO NEW FINISHES ARE CALLED FOR, CLOSING WALL, FLOOR OR ROOF PENETRATIONS AS DIRECTED BY ARCHITECT.

2. THE TERM "SALVAGE" SHALL BE DEFINED AS: THE PROCESS OF THE CONTRACTOR CAREFULLY REMOVING THE MENTIONED ITEM, SUCH THAT IT IS IN A USABLE CONDITION, AND STORING IT (IN LOCATION DETERMINED BY OWNER) UNTIL NEEDED FOR THE CONSTRUCTION PHASE. IF THE CLIENT DOES NOT NEED SAID ITEM CONTRACTOR SHALL DISPOSE OF PROPERLY AT NO ADDITIONAL COST.

3. DEMOLITION CONTRACTOR TO COORDINATE ALL PHASES OF DEMOLITION FOR PROJECT AND NOTIFY ARCHITECT AND AT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF CONSTRUCTION.

4. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.

5. GC TO VERIFY WITH PROPERTY MANAGER REQUIREMENTS FOR CONSTRUCTION BARRIER. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.

6. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.

7. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.

8. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. AND LEAVE ALL AREAS BROOM CLEAN DAILY.

9. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.

10.ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, SHALL BE REMOVED BACK TO SOURCE PANEL U.O.N.

11.NO EXISTING LANDLORD WORK SHALL BE REMOVED UNLESS SUCH REMOVAL IS APPROVED IN WRITING BY LANDLORD.

13.DO NOT ABANDON ANY UTILITIES OR MATERIALS WITHIN LEASE SPACE. REMOVE BACK TO THE SOURCE. 14. REMOVE ALL CEILING, GRID, LIGHTS FIXTURES, SUPPORTS AND BRACING THROUGHOUT, U.O.N. 15.DEMO ALL EXISTING FINISHES THROUGHOUT. PREP SLAB AS REQUIRED FOR NEW FINISHES.

<u>HVAC</u>

DEMOLITION WORK.

17. REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK. DEMO EXISTING MECHANICAL DUCTS BACK TO MAIN TRUNK, VERIFY WITH MEP PRIOR TO THE START OF ANY MECHANICAL DEMO WORK. 18. REMOVE ALL ABANDONED SMOKE FIRE DAMPERS AS REQUIRED BY NEW CONSTRUCTION, INCLUDING ALL

ELECTRICAL AND CONNECTIONS.

19. CONTRACTOR SHALL MAINTAIN THE INTEGRITY AND CONTINUITY OF THE EXIST. BASE BUILDING SYSTEMS AND SHALL EXERCISE CARE BY NOT DEMOLISHING, OR DISRUPTING ANY BASE BUILDING SYSTEMS. ANY DAMAGED AND/OR DISCONNECTED SERVICE SHALL BE RESTORED AT CONTRACTOR'S COST.

ELECTRICAL

20. REMOVE ALL LIGHT FIXTURES, EXIT SIGNS, LIGHT SWITCHES, POWER AND TELE/DATA OUTLETS. REMOVE ALL BRANCH CIRCUIT FEEDERS, INCLUDING CONDUITS, BOXES AND WIRING BACK TO ELECTRICAL PANELBOARDS. CONTRACTOR SHALL SWITCH ALL SPARE BREAKERS TO OFF POSITION FOR FUTURE REFERENCE. ALL ABANDONED CONDUIT AND CABLING SHALL BE COMPLETELY REMOVED BACK TO ORIGIN.

21.MAINTAIN CIRCUIT CONTINUITY TO AREAS NOT AFFECTED BY WORK. CONTRACTOR SHALL REWORK BRANCH FEEDER HOME-RUNS AS REQUIRED TO KEEP CONTINUITY TO EXISTING LIGHT FIXTURES, EXIT SIGNS AND DEVICES IN AREAS NOT BE DEMOLISHED. <u>PLUMBING</u>

22.IN DEMOLITION AREAS, UNUSED PIPING SHALL NOT BE ABANDONED "IN PLACE". PIPING SHALL BE REMOVED BACK TO SOURCE OR POINT OF DISCHARGE, AND THE RESULTING OPENINGS PLUGGED U.N.O. 23. EXISTING PLUMBING FIXTURES AND EQUIPMENT TO BE REMOVED SHALL REMAIN THE PROPERTY OF THE

OWNER AND SHALL BE DISPOSED OF BY THIS CONTRACTOR AS DIRECTED BY THE OWNER.

REQUIRED FUNCTIONING SYSTEMS.

25. UNUSED PIPING AND RELATED ITEMS CONCEALED IN WALLS, FLOORS AND CEILING WITHIN THE STRUCTURE SHALL BE ABANDONED AND REMOVED WHERE EXPOSED TO VIEW. REMOVAL OF EXISTING PIPING SHALL BE DONE IN A SATISFACTORY MANNER TO THE ENGINEER AND BUILDING ENGINEER

26.WASTE AND SANITARY DRAINAGE PIPING NOT TO BE USED SHALL BE REMOVED AND PLUGGED AT ACTIVE MAIN OR RISER. NO DEAD ENDS SHALL REMAIN LONGER THAN TWO (2) FEET.

FIRE ALARM

THE NEW WALL FINISH MATERIAL HAVE BEEN INSTALLED. **TURNOVER NOTES**

1. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS AND FURNISH OWNER'S REPRESENTATIVE WITH THE CERTIFICATE OF OCCUPANCY. G.C. IS ALSO TO PROVIDE A TYPE-WRITTEN LIST OF NAMES, ADDRESSES AND PHONE NUMBERS OF ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE ENTIRE SPACE CLEANED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE TIME OF TURNOVER.

3. PRIOR TO OPENING OF SPACE, CONTRACTOR IS TO ARRANGE FOR A NEBB CERTIFIED INDEPENDENT BALANCING CONTRACTOR TO BALANCE THE HVAC SYSTEM AND PROVIDE A COPY OF THE BALANCING REPORT TO THE OWNER AND LANDLORD'S REPRESENTATIVE IN A FORMAT ACCEPTABLE TO THE LANDLORD.

4. IF REQUIRED BY LANDLORD, THE CONTRACTOR SHALL SECURE ANY NECESSARY APPROVALS FOR STORE SPRINKLER SYSTEM REQUIRED BY LANDLORD'S INSURANCE CARRIER.

5. CAMPUS SHALL ORDER KEYS DIRECTLY FROM MANUFACTURER. CONTRACTOR TO PAY FOR CORES AND KEYS AND PROVIDE CAMPUS WITH ACCOUNT NUMBER TO VERIFY WITH MANUFACTURER. TURN OVER ALL KEYS TO THE CAMPUS REPRESENTATIVES AND MARK EACH KEY FOR IDENTIFICATION. ALL CORES TO BE BEST AND FOLLOW CAMPUS CORE/KEY STANDARDS.

OWNER'S REPRESENTATIVE.

7. THE CONTRACTOR SHALL EXPLAIN THE OPERATION OF ALL MECHANICAL SYSTEMS TO THE OWNER'S REPRESENTATIVE AND PROVIDE COPIES OF OPERATION, MAINTENANCE AND WARRANTY MANUALS.

8. GENERAL CONTRACTOR SHALL SUBMIT ONE COMPLETE SET OF REPRODUCIBLE DRAWINGS INDICATING ALL DISCREPANCIES, CHANGES, ETC. AND ACTUAL LOCATIONS OF CONCEALED WORK (I.E., UNDERGROUND CONDUIT) TO THE OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A PHOTOCOPY OF THE ACTUAL PANEL DIAGRAM.

9. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL WARRANTY THE WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY TENANT OF FINISHED WORK.

10.THE GENERAL CONTRACTOR SHALL INSTALL NEW FILTERS IN THE HVAC UNITS ONE WEEK PRIOR TO TURNOVER OF THE PROJECT.

12.REF. ARCHITECTURAL AND MEP DRAWINGS. COORDINATE SCOPE OF DEMOLITION WITH ARCH AND MEP

16.COORDINATE REMOVAL AND / OR RELOCATION OF MECHANICAL UNITS IN PLENUM SPACE WITH MEP DRAWINGS. RELOCATION OF UNITS REQUIRED BY NEW CONSTRUCTION SHALL BE COORDINATED WITH

24.DISCONNECT AND REMOVE EXISTING UNUSED PIPING AND FIXTURES WITHOUT INTERRUPTING EXISTING

27.ALL EXISTING FIRE ALARM EQUIPMENT TO REMAIN. WALL MOUNTED EQUIPMENT (I.E. HORN/STROBE) SHALL BE REMOVED PRIOR TO DEMOLITION OF WALL FINISH MATERIALS AN SALVAGED FOR REINSTALLATION AFTER

6. THE CONTRACTOR SHALL SET ALL THE TIME CLOCKS, THERMOSTATS, ETC. PER THE REQUIREMENTS OF THE

ACCESSIBILITY NOTES

1. IN ALL BUILDINGS, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS OR SPECIAL ACCESS LIFTS.

2. FLOOR SURFACES SHALL BE SLIP-RESISTANT.

3. ALL CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NOT LESS THAN 44" IN WIDTH.

4. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. BEVEL OTHERS W/ A SLOPE NO GREATER THAN 1:2

5. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS. OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. MOUNT DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE FLOOR FINISH.

6. CENTER HAND ACTIVATED DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE THE FLOOR

7. MAXIMUM PULL OR PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. CORRESPONDING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. MAXIMUM EFFORT TO OPERATE REQUIRED FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.

8. THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. PROVIDE A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF NARROW FRAME DOORS.

9. EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32".

10.WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.

11. IDENTIFY ACCESSIBLE ENTRANCES WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.

12. THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 44" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION.

13.FLOORS OR LANDINGS SHALL BE NO MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.

14.PROVIDE A CLEAR FLOOR SPACE 30" X 48" IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH.

15. MOUNT LAVATORIES WITH A MINIMUM CLEARANCE OF 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON. PROVIDE KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30" IN WIDTH WITH 8" MINIMUM WIDTH, AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR A MINIMUM OF 17" DEEP FROM THE FRONT OF THE LAVATORY.

16. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF CLOSING ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

17. INSULATE OR OTHERWISE COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES

18.IF APPLICABLE, LOW DRINKING FOUNTAIN BUBBLER SHALL BE ACTIVATED BY ANNUALLY OPERATED SYSTEM NOT REQUIRING A FORCE GREATER THAN 51bf THAT IS LOCATED WITHIN 6 INCHES OF THE FRONT EDGE OF THE FOUNTAIN OR AN ELECTRONICALLY CONTROLLED DEVICE.

19.IF APPLICABLE, THE BUBBLER OUTLET ORIFICE SHALL BE LOCATED WITHIN 6" OF THE FRONT OF THE LOW DRINKING FOUNTAIN AND SHALL BE WITHIN 36" OF THE FLOOR. THE WATER STREAM FROM THE BUBBLER SHALL BE SUBSTANTIALLY PARALLEL TO THE FRONT EDGE OF THE DRINKING FOUNTAIN.

QUALITY ASSURANCE/ QUALITY CONTROL NOTES

1. THE G.C. SHALL REVIEW ALL DOCUMENTS AND CONFIRM THAT THE WORK CAN BE BUILT AS SHOWN. IN THE EVENT OF ANY CONFLICTS OR OMISSIONS WITHIN THE DRAWINGS, G.C. TO CONTACT TENANT'S PROJECT MANAGER & ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.

2. UPON POSSESSION OF THE TENANT'S SPACE, THE G.C. IS TO FIELD VERIFY ALL DIMENSIONS USING THE CONSTRUCTION DOCUMENTS. DO NOT SCALE THE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS. IF ANY DISCREPANCIES EXIST, G.C. TO MARK UP THE DRAWINGS TO REFLECT THE ACTUAL CONDITION. FORWARD THEM TO THE ARCHITECT WITHIN (3) DAYS FOR REVIEW & CLARIFICATION AS REQUIRED.

3. UPON POSSESSION OF THE TENANT'S SPACE AND PRIOR TO SUBMITTING BIDS, THE G.C. IS TO VERIFY THE EXISTING CONDITIONS OF THE SPACE INCLUDING BUT NOT LIMITED TO SLAB CONDITION AND ANY ISSUES THAT MAY EFFECT TENANT'S NEW FINISH FLOOR, CONDITION OF LANDLORD'S DEMISING WALL AND ANY OBSTRUCTIONS THAT MAY EXIST AND BE OF ISSUE. IF ANY ISSUES EXIST, CONTACT ARCHITECT AND TENANT'S PROJECT MANAGER.

4. DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTOR AND/OR FABRICATOR SHALL HAVE SOLE RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK TO PRODUCE THE INTENT OF THE DRAWINGS. CONTRACTOR/FABRICATOR IS SOLELY RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS.

5. ANY DEVIATION FROM THE INTENT OF THE DRAWINGS MUST BE APPROVED BY ARCHITECT & TENANT'S CONSTRUCTION MANAGER.

6. CONTRACTOR TO CONDUCT SITE MEETINGS AND WRITE MEETING MINUTES AT FREQUENCY AS DIRECTED BY OWNER, UNLESS OTHERWISE DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE. CONTRACTOR AND ALL SUB-CONTRACTORS MUST BE PRESENT, UNLESS WAIVED BY OWNER.

7. CONTRACTOR TO SUBMIT WEEKLY PROGRESS REPORTS THAT INCLUDE A SUMMARY OF THAT WEEK'S WORK, A ONE WEEK LOOK AHEAD FORECAST OF WORK TO BE DONE (INCLUDING INSPECTION IF APPLICABLE), AND GENERAL PHOTOS DEPICTING THE CURRENT STATE OF WORK.

8. EXCEPT AS MORE STRINGENT REQUIREMENTS ARE INDICATED ON THESE DRAWINGS AND IN THESE NOTES, COMPLY WITH GENERALLY ACCEPTED INDUSTRY STANDARDS AND INSTALL PRODUCTS IN STRICT COMPLIANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.

9. WHEN EVALUATING APPEARANCE OR CONFORMANCE WITH DESIGN INTENT, THE WORDS "ACCEPTABLE", "VISIBLE", "INVISIBLE", "MATCHING", "ALIGNED", AND SIMILAR TERMS OF JUDGMENT SHALL MEAN "ACCEPTABLE, ETC., IN THE OPINION OF THE ARCHITECT OR OWNER".

10.<u>THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING AND FAMILIARIZING THEMSELVES WITH ALL</u> DOCUMENTATION RELATED TO OR PERTAINING TO THIS PROJECT INCLUDING BUT NOT LIMITED TO: CONSTRUCTION DRAWINGS (STARTING WITH THE FIRST ISSUE AS WELL AS ALL SUBSEQUENT REVISIONS), SPECIFICATIONS, BULLETINS, ADDENDA AND/OR SKETCHES, SHOP DRAWINGS AND CUT SHEETS. 1

CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ALL OF THE BEFORE MENTIONED DOCUMENTATION TO ALL SUB-CONTRACTOR TRADES INVOLVED WITH THIS PROJECT AND TO MAKE SURE THEY ARE FAMILIAR WITH ALL CONDITIONS AND SCOPE OF WORK AS THEY RELATE TO THIS JOB. THE BEFORE MENTIONED PROJECT DOCUMENTATION, IN ITS ENTIRETY, REPRESENTS THE FULL SCOPE OF WORK ASSOCIATED WITH TH PROJECT. AS SUCH, SCOPE OF WORK OR INFORMATION RELATIVE TO A PARTICULAR SUB-CONTRACTOR THAT

IS NOT SHOWN ON SPECIFIC TRADE DOCUMENTS (BUT SHOWN ELSEWHERE WITHIN THE PROJECT DOCUMENTATION) DOES NOT RELIEVE THAT SUB-CONTRACTOR OF RESPONSIBILITY FOR INCLUSION OF THAT SCOPE OF WORK OR INFORMATION WITHIN THE SUB CONTRACTOR'S BID.

OWNERS NOTES

1. TENANT'S GENERAL CONTRACTOR SHALL SUBMIT A CONSTRUCTION DEPOSIT WITH OWNER'S ON-SITE REPRESENTATIVE PER CENTER REQUIREMENTS

2. THE GC SHALL REVIEW AND BE FAMILIAR WITH ANY "TENANT DESIGN AND CONSTRUCTION CRITERIA" AND ANY OTHER OWNER BUILDING STANDARDS. THE GENERAL CONTRACTOR SHALL INCLUDE ALL ASSOCIATED COSTS ASSOCIATED WITH COMPLIANCE TO THESE STANDARDS IN THE BID.

3. TENANT'S GENERAL CONTRACTOR MUST CHECK-IN WITH OWNER'S ON-SITE REPRESENTATIVE PRIOR TO WORK START.

4. TENANT'S CONTRACTOR WILL REPAINT AND/OR REPAIR OWNER'S PROPERTY. (NEUTRAL PIERS. BULKHEADS, REAR CORRIDOR, ETC.) DAMAGED DURING TENANT IMPROVEMENT

5. SUPPORT WIRES FOR LAY-IN CEILING GRID, LIGHTS, HVAC EQUIPMENT, ETC, MUST NOT BE CONNECTED TO ANY OF OWNER'S ELECTRICAL, PLUMBING, FIRE PROTECTION PIPING AND MECHANICAL EQUIPMENT OR DECK ABOVE.

6. ALL MATERIALS USED IN THE CONSTRUCTION OF THIS SPACE MUST BE ASBESTOS FREE. 7. ANY PENETRATION OR MODIFICATIONS TO STRUCTURAL STEEL OR CONCRETE MUST BE

COORDINATED AND APPROVED BY OWNER'S ON-SITE REPRESENTATIVE.

8. TENANT SHALL NOT PENETRATE OWNER'S METAL ROOF DECK WITH ANY TYPE OF FASTENERS.

9. IT IS TENANT'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF OWNER'S DEMISING WALLS, FLOOR SLABS, ROOF, AND BUILDING STRUCTURE.

10. TENANT TO REMOVE ANY EXISTING OR NEWLY ABANDONED MATERIALS, EQUIPMENT, PIPING, DUCTS AND WIRING FROM THE PREMISES. CAP SERVICE AT POINT OF ORIGIN AND COORDINATE THIS WORK WITH OWNER'S ON-SITE REPRESENTATIVE.

11.TENANT IS TO MAINTAIN ANY EXPANSION JOINTS WITHIN THEIR LEASABLE AREA. INSTALL COVER PLATES PER CENTER REQUIREMENTS

12.TENANT'S STOREFRONTS MUST BE SELF SUPPORTED FROM THE FLOOR. ATTACHMENT TO OWNER'S STRUCTURE ABOVE IS ALLOWED FOR LATERAL BRACING ONLY.

13. THE WATER METER, TO BE READ IN GALLONS FOR ALL TENANTS, TO BE LOCATED IN SERVICE CORRIDOR ACCESSIBLE TO THE OWNER. THE WATER METER MUST BE EASILY READABLE BY A PERSON STANDING ON THE MAIN FLOOR. IF THE MOUNTING POSITION IS NOT ACCESSIBLE, A REMOTE DISPLAY MUST BE USED. IF EITHER ARE CONCEALED, THE LOCATION MUST BE LABELED.

14.ALL REUSED MATERIAL AND EQUIPMENT MUST BE REFURBISHED TO "LIKE NEW" CONDITION.

15.CONTRACTOR TO MAINTAIN COMPLETE, TOP QUALITY "AS-BUILT" DRAWINGS FOR SUBMITTAL TO OWNER UPON JOB COMPLETION.

16.IF SOUND LEVELS WILL BE 40 DECIBELS OR HIGHER, SOUND INSULATION MUST BE INSTALLED WITHIN DEMISING WALLS.

17.WOOD BLOCKING, DECKING AND FRAMING IS ALLOWED ONLY BELOW THE CEILING LINE AND IF IT IS MILL-STAMPED FIRE RETARDANT.

18.COVER RETURN AIR OPENINGS BEFORE AND DURING CONSTRUCTION

19.ALL WORK BY TENANT'S CONTRACTOR UNLESS SPECIFIED IN THE TENANT'S EXECUTED LEASE.

20.ALL ROOF WORK TO BE PERFORMED BY OWNER'S APPROVED ROOFING CONTRACTOR AT TENANT'S GC EXPENSE.

21.FINAL CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, MEP, STRUCTURAL, ETC., ARE REQUIRED FOR OWNER REVIEW PRIOR TO COMMENCEMENT OF WORK. THESE DRAWINGS MUST BE STAMPED BY A LICENSED DESIGN PROFESSIONAL.

22. TENANT IS LIABLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF OWNER'S FIRE PROTECTION ENGINEERS DURING ORIGINAL CONSTRUCTION AND ALL SUBSEQUENT FIELD INSPECTIONS.

23.AFTER OWNER APPROVAL, ANY CHANGES OR MODIFICATIONS IN THE CONSTRUCTION DOCUMENTS OR TENANT IMPROVEMENTS MUST BE APPROVED BY OWNER REPRESENTATIVE IN WRITING.

24.ANY PENETRATIONS OR OTHER MODIFICATIONS TO STRUCTURAL STEEL OR CONCRETE MUST BE COORDINATED WITH OWNER REPRESENTATIVE.

25.0WNER CAN NOT GUARANTEE THAT INTERNAL CHANGES HAVE NOT OCCURRED SINCE THESE PLANS HAVE BEEN PREPARED. WE RECOMMEND THAT THIS SPACE BE FIELD CHECKED TO INSURE THE ACCURACY OF THESE DRAWINGS.

26.TENANT CONTRACTOR WILL REPAINT AND/OR REPAIR OWNER PROPERTY (NEUTRAL PIERS, BULKHEAD, REAR CORRIDOR, ETC.) DAMAGED DURING TENANT IMPROVEMENTS.

27.PROVIDE TEMPORARY CONSTRUCTION BARRICADE AS APPLICABLE PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT FASTEN TO OWNER FINISH MATERIAL

28. TENANTS G.C. TO CHECK IN WITH OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.

29.HAZARDOUS SUBSTANCE IT IS THE RESPONSIBILITY OF THE TENANT AND THE TENANT CONTRACTOR (S) WHEN PREPARING FOR AND PROCEEDING WITH CONSTRUCTION IN THE PREMISES TO COMPLY WITH ALL REQUIREMENTS OF ALL APPLICABLE LAWS CONCERNING HAZARDOUS SUBSTANCES. THE TENANT SHALL NOT PERMIT THE INSTALLATION OR USE OF ANY HAZARDOUS SUBSTANCES IN ANY COMPONENT OF THE PREMISES DURING ITS TENANCY.

30. TENANT CONTRACTOR SHALL PERFORM FIRST-CLASS WORKMANSHIP. ACCEPTANCE IS CONTINGENT UPON OWNER APPROVAL.

31.APPROVAL IS SUBJECT TO VERIFICATION OF CONDITIONS AND COMPLIANCE WITH PROCEDURES FROM THE OWNER.

32.ADA COMPLIANCE-TENANT'S LEASED PREMISES MUST COMPLY WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (ADA). COMPLIANCE WILL INCLUDE, BUT NOT LIMITED TO, THE DESIGN, CONSTRUCTION AND/OR ALTERATION OF THE LEASED PREMISES. UPON COMPLETION OF WORK, TENANT OR TENANT'S ARCHITECT MUST SUPPLY TO OWNER A LETTER, SATISFACTORY TO OWNER, STATING THAT THE LEASED PREMISES HAVE BEEN DESIGNED AND CONSTRUCTED IN ACCORDANCE AND ARE IN COMPLIANCE WITH ADA.

33.THE TENANT'S CONTRACTOR MUST PROVIDE TO THE FIRE MARSHAL SPRINKLER DRAWINGS AND CALCULATIONS SPECIFICATIONS BEFORE A PERMIT WILL BE ISSUED BY THE BUILDING DEPARTMENT.

34.ALL MATERIALS IN THE CEILING AND WALLS MUST BE NON-COMBUSTABLE MATERIALS (MUST BE STAMPED NON-COMBUSTIBLE").

35.CONSTRUCTION WORK WILL BE CONFINED TO THE INTERIOR SPACE AND WILL NOT CREATE DUST, DIRT OR OTHER SUCH INCONVENIENCES TO OTHER BUILDING TENANTS.

36.CONSTRUCTION WORK WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR OCCUPANTS OF THE BLDG.

37. CONSTRUCTION WORK WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER OR ELECTRIC SERVICES TO OTHER OCCUPANTS OF THE BUILDING.

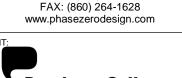
38. CONSTRUCTION WORK HOURS SHALL BE COORDINATED WITH OWNERS SITE REPRESENTATIVE. 39.EXISTING FIRE ALARM SYSTEM & WIRING TO BE COILED & SUPPORTED IN CEILING FOR RELOCATION. 40.FIRE ALARM SYSTEM AND ALARMS MUST REMAIN ACTIVE AT ALL TIMES.

41.PROVIDE FIRE WATCH AT ALL TIMES IF REQUIRED BY BUILDING RULES AND REGULATIONS AND APPLICABLE FEDERAL, STATE, AND MUNICIPAL CODES.



ARCHITECT

ONSULTANT





Jacorn Consulting Engineers In PO BOX 311 - FARMS VILLAGE PLAZA 244 FARM VILLAGE ROAD WEST SIMSBURY, CT 06092

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ISSUED DATE: 10.26.2018

DRAWN BY:MJW CHECKED BY:MG

PROJECT NUMBER: 1518356

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GENERAL NOTES

RAWING NO.

FINISH NOTES

1. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

2. GENERAL CONTRACTOR TO TEST SLAB AND USE WORST CASE MOISTURE CONTENT SCENARIO PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF ANY FLOORING MATERIALS.

3. GENERAL CONTRACTOR TO PROTECT EXISTING FLOORING TO REMAIN AND SHALL PATCH AND REPAIR ANY AREAS DAMAGED DURING CONSTRUCTION PRIOR TO INSTALLATION OF NEW FINISHES.

4. CONTRACTOR TO REPLACE EXISTING SLAB COMPONENTS WHERE TRENCHING OCCURS WHICH MUST INCLUDE PATCHING OF EXISTING VAPOR RETARDER AND REBAR DOWELING BACK INTO EXISTING SLAB.

5. GENERAL CONTRACTOR SHALL VERIFY WALL SUBSTRATE PRIOR TO INSTALLATION OF NEW FINISH AND CONVEY ANY ISSUES BACK TO AOR IMMEDIATELY. 6. ANY REQUEST FOR MATERIAL SUBSTITUTIONS ARE TO BE SENT TO ARCHITECT AND/OR CLIENT FOR

APPROVAL PRIOR TO PURCHASE AND INSTALLATION. SAMPLES OF ALL FINISHES MUST BE SUBMITTED AND MUST BE APPROVED BY ARCHITECT & TENANT'S CONSTRUCTION MANAGER.

7. RETOUCH OR REFINISH SURFACES DAMAGED BY SUBSEQUENT WORK AS DIRECTED BY GC. THE COST OF SUCH RESTORATION WORK SHALL BE BORNE BY SUB CONTRACTOR.

8. THE GC SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL FINISHES IN THE SPACE PRIOR TO TURNOVER. G.C. SHALL TOUCH UP ALL CORNER BEADS, WALLS, CEILING AND FLOORING AS REQUIRED PRIOR TO TURNOVER AND ANY DAMAGE CAUSED BY OTHER TRADES INCLUDING MILLWORK VENDOR. 9. USE CLEAR CAULK BETWEEN MILLWORK AND GWB IF REQUIRED TO CREATE A SMOOTH FINISH.

10.GWB SHALL BE INSTALLED WITH ALL CORNER BEADS, TRIM, ACCESSORIES AND MOLDINGS, ETC, AS REQUIRED FOR COMPLETION, TAPED AND SANDED READY FOR PAINT, OR SELECTED FINISH, BY DRYWALL

CONTRACTOR. PATCH AND REPAIR EXISTING WALLS AS REQUIRED TO ACCEPT NEW FINISHES.

11.MOISTURE RESISTANT GYPSUM BOARD TO BE USED IN ALL 'WET' AREAS.

12.IF APPLICABLE, ANY WALLS THAT ARE TO RECEIVE TILE FINISH ARE TO HAVE A CEMENT BACKERBOARD.

13.GYPSUM WALL BOARD SURFACES SHALL BE WIPED WITH A DAMP CLOTH JUST PRIOR TO APPLICATION OF THE FIRST COAT OF PAINT IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING. 14.PAINTING SUBCONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OR REMOVAL & REINSTALLATION OF HARDWARE, SWITCH / OUTLET COVERS, ETC. TO PROTECT FROM PAINTING.

15.ALL PAINTED SURFACES TO RECEIVE (1) COAT PRIMER & (2) COATS FINISH PAINT (MINIMUM) WITH ADDITIONAL COATS AS REQUIRED FOR PROPER COVERAGE.

16.AT COMPLETION OF PAINTING, ALL PAINT MATERIALS & EQUIPMENT SHALL BE REMOVED, ALL PAINT SPOTS REMOVED AND ALL AREAS THOROUGHLY CLEANED. ANY DIRT OR DEBRIS CAUSED BY WORK SHALL BE CLEANED UP AS WORK PROGRESSES.

17.ALL FLOORING SUBCONTRACTORS SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE WORKING WITH **RESPECTIVE FLOORING MATERIAL.**

18.ALL FINISHED FLOORING TO BE PROTECTED BY G.C. FOLLOWING INSTALLATION.

19.U.O.N. ALL INTERIOR FINISHES (WALL, FLOOR, AND CEILING), FURNISHINGS, AND MILLWORK ARE TO BE CLASS 'A' FIRE-RATED AND ARE TO COMPLY WITH CODE-REQUIRED (INTERIOR FLAME SPREAD) RATINGS.

20.ALL TILE EDGES, CORNER TRANSITIONS, OR TOP CAPS SHALL BE FINISHED WITH SCHLUTER-JOLLY OR EQUAL STAINLESS STEEL FINISHING OR EDGE-PROTECTION PROFILE THROUGHOUT.

21.PROVIDE STAINLESS STEEL CORNER GUARDS 4'-0" TALL WITH 1" LEG PAINTED. TO MATCH SCHEDULED FINISH ALL EXPOSED OUTSIDE CORNERS IN SPACE.

22.ANY WALL SURFACES ADJACENT TO EQUIPMENT THAT PRODUCE MODERATE TO HIGH LEVELS OF HEAT ARE TO BE FINISHED WITH STAINLESS STEEL PANELS. COORDINATE WITH AOR AND CLIENT PRIOR TO FABRICATION AND INSTALLATION.

23.ALL FLOOR TRANSITIONS BETWEEN DIFFERENT FLOORING MATERIALS ARE TO RECEIVE FLOOR TRANSITION STRIPS PER THE MANUFACTURER'S STANDARDS U.O.N. GENERAL CONTRACTOR TO FOLLOW ADA STANDARDS FOR ALL TRANSITION STRIPS BETWEEN MATERIALS.

FIRE / LIFE SAFETY NOTES

1. FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE PROVIDED DURING THE CONSTRUCTION PERIOD AS REQUIRED BY THE COUNTY.

2. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR

3. ALL FIRE-RATED ASSEMBLES SHALL BE INSTALLED, LABELED, AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE WHEN REQUIRED.

4. PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR, CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS, COMPLY WITH BUILDING CODES

5. PROVIDE EMERGENCY LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. COMPLY WITH BUILDING CODES.

6. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.

7. DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.

8. 20-MINUTE DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.

9. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS. 10.PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE-RATED WALLS OR CEILINGS.

11.STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH UNIFORM FIRE CODE REGULATIONS.

12.WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

13.EXTEND OR MODIFY EXISTING FIRE / LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE / LIFE SAFETY SYSTEM FOLLOWING LANDLORD APPROVAL. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.

14.LOCATE THE CENTER OF FIRE ALARM INITIATING DEVICES 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK.

15.EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE.

16. THE FIRE PROTECTION DOCUMENTATION CONTAINED WITHIN THESE DRAWINGS HAVE BEEN PREPARED TO PERFORMANCE SPECIFICATION LEVEL OF DEVELOPMENT FOR GENERAL DESIGN AND FIRE PROTECTION CODE COMPLIANCE / CRITERIA. THE GENERAL CONTRACTOR IS TO RETAIN A LICENSED FIRE PROTECTION ENGINEER WHOM WILL PROVIDE / PERFORM HYDRAULIC AND / OR FLOW TESTING, PREPARE F.P. SHOP DRAWINGS, STAMP / SIGN SAID SHOP DRAWINGS AND SUBMIT SAID SHOP DRAWINGS FOR PERMIT. FURTHERMORE, THE FIRE PROTECTION SUB-CONTRACTOR SHALL PROVE A CONSTRUCTION CONTROL AFFIDAVITS AND INSPECTIONS AS REQUIRED.

REFLECTED CEILING NOTES

1. SUPPORT LIGHT FIXTURES AND AIR DIFFUSERS DIRECTLY BY WIRES TO THE STRUCTURE ABOVE. 2. LOCATE REGISTERS AND LIGHTING FIXTURES WITHIN GRID LINES. CENTER SPRINKLER HEADS, SPEAKERS, RECESSED FIXTURES, AND SIMILAR CEILING ELEMENTS IN ACOUSTICAL UNITS, U.O.N.

3. FINISH HVAC DIFFUSERS, TRIM PIECES, AND SPEAKER GRILLES TO MATCH ADJACENT FINISH, U.O.N.

4. ALL LIGHT FIXTURES SHALL BEAR UL LABELS.

CEILINGS TO BE 10 GA.

7. ALL FIXTURES TO BE INSTALLED IN ACOUSTIC CEILINGS TO BE CENTERED IN CEILING GRID, U.O.N. 8. HANGER WIRE AT SUSPENDED GYP BD CEILINGS TO BE 8 GA.; HANGER WIRE AT SUSPENDED ACOUSTICAL

9. HANGER WIRES SHALL BE ATTACHED TO STRUCTURAL STEEL ONLY W/ U.L. LISTED CLAMPS. DO NOT HANG SUPPORT WIRES FROM MECHANICAL EQUIPMENT OR PIPING. NO SCREWS PERMITTED IN METAL DECKING.

10.ALL SUSPENDED CEILING SYSTEMS TO BE INSTALLED PER INDUSTRY STANDARDS, ALL CODE REQUIREMENTS, AND ALL RECOMMENDATIONS OF THE MANUFACTURER OF THE SYSTEM.

11.ALL LIGHT FIXTURES, HVAC EQUIPMENT AND DIFFUSERS SHALL BE SUPPORTED FROM THE TOP CHORD OF THE JOIST AND/OR STRUCTURAL MEMBERS ABOVE.

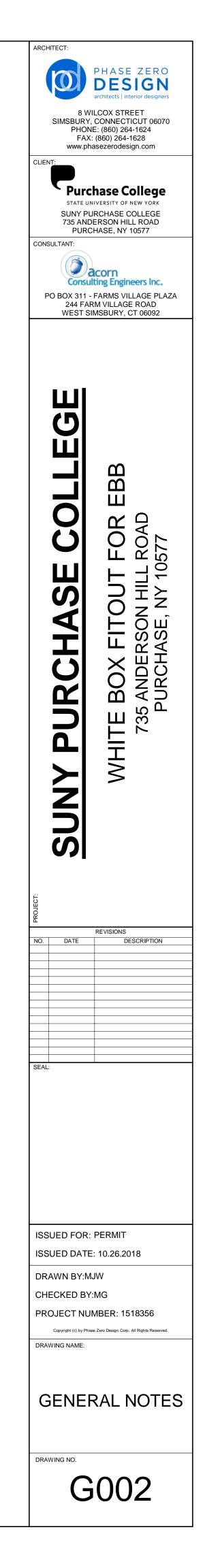
12.GC SHALL VERIFY ALL CEILING HEIGHTS, AND CONFIRM THAT THE WORK CAN BE BUILT AS SHOWN. IN THE EVENT OF ANY CONFLICTS OR OMISSIONS WITHIN THE DRAWINGS. GC TO CONTACT ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.

13.CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES.

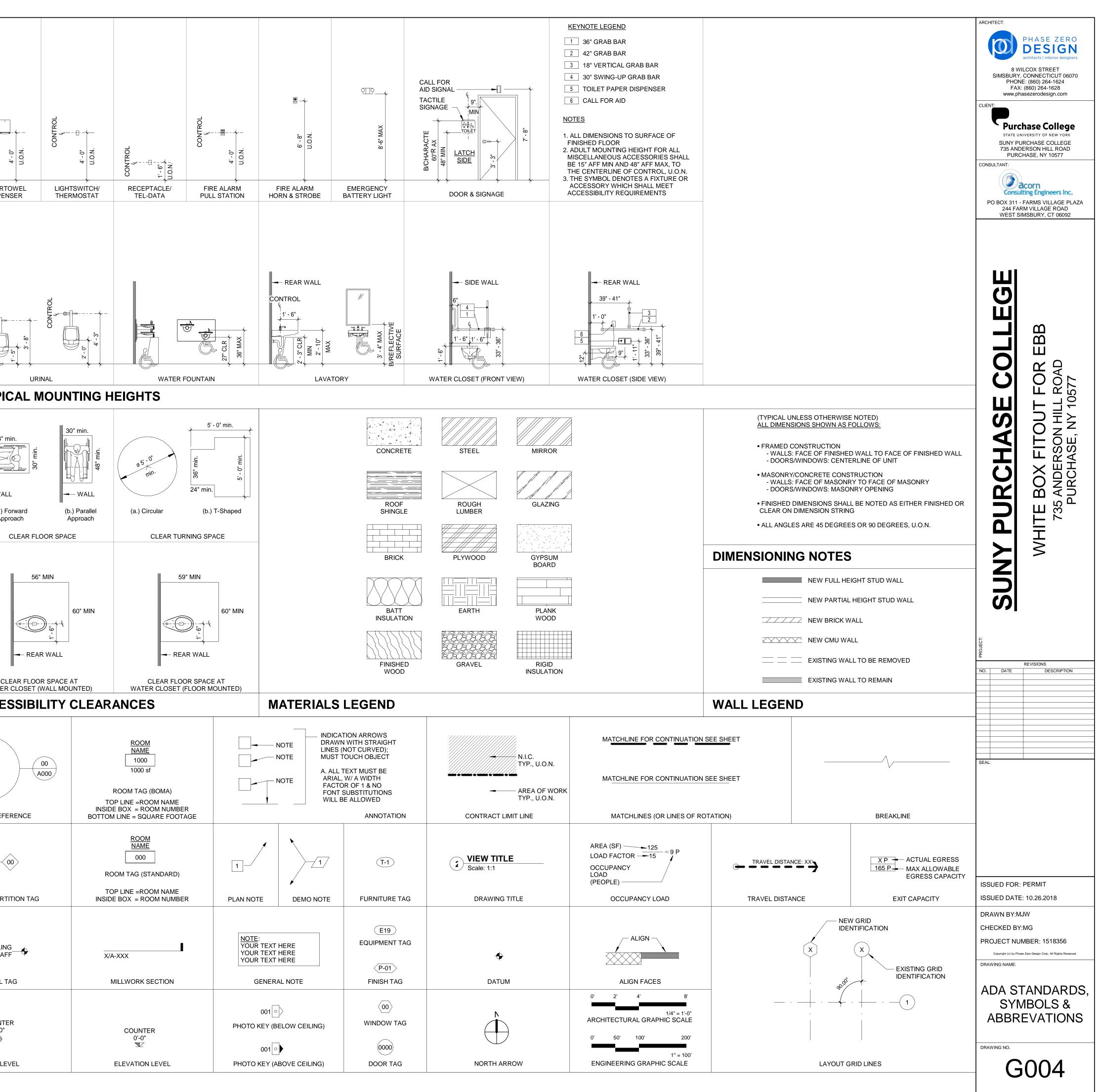
5. CONTRACTOR TO USE LASER FOR LEVELING OF ALL SOFFITS, CEILINGS AND SUSPENDED GRIDS.

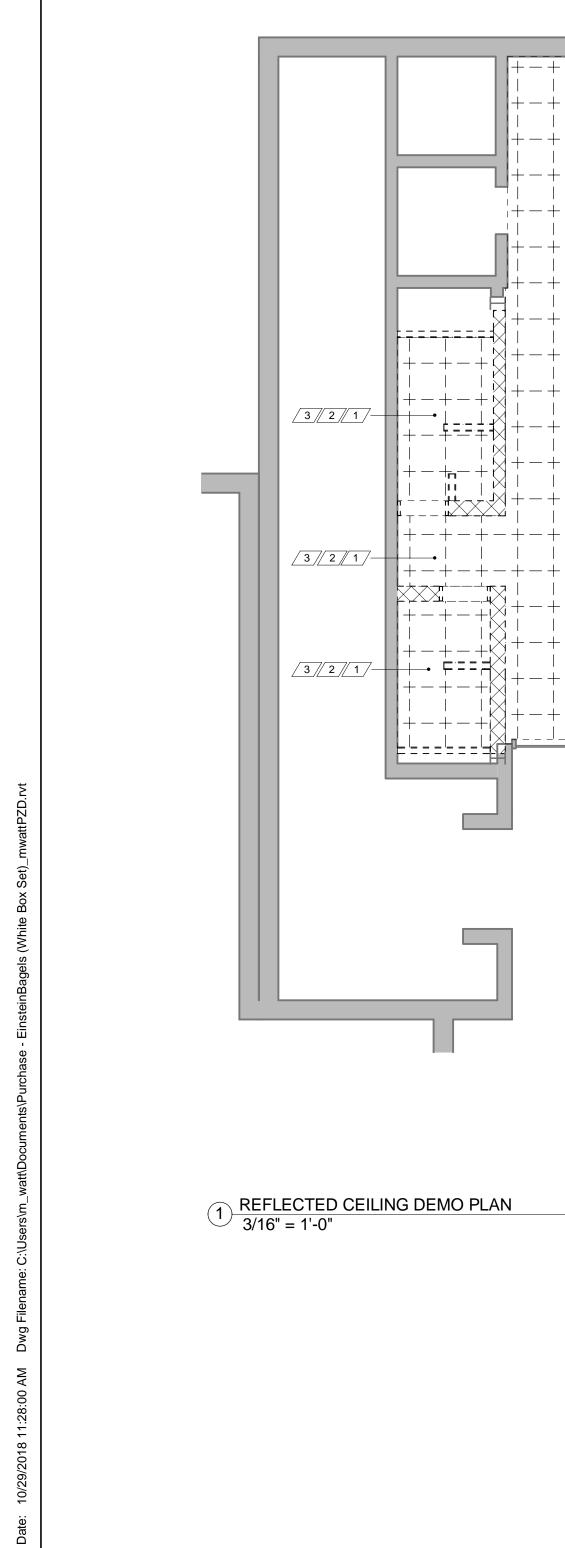
6. EMERGENCY & EXIT LIGHTS TO BE INSTALLED ON SEPARATE CIRCUIT.

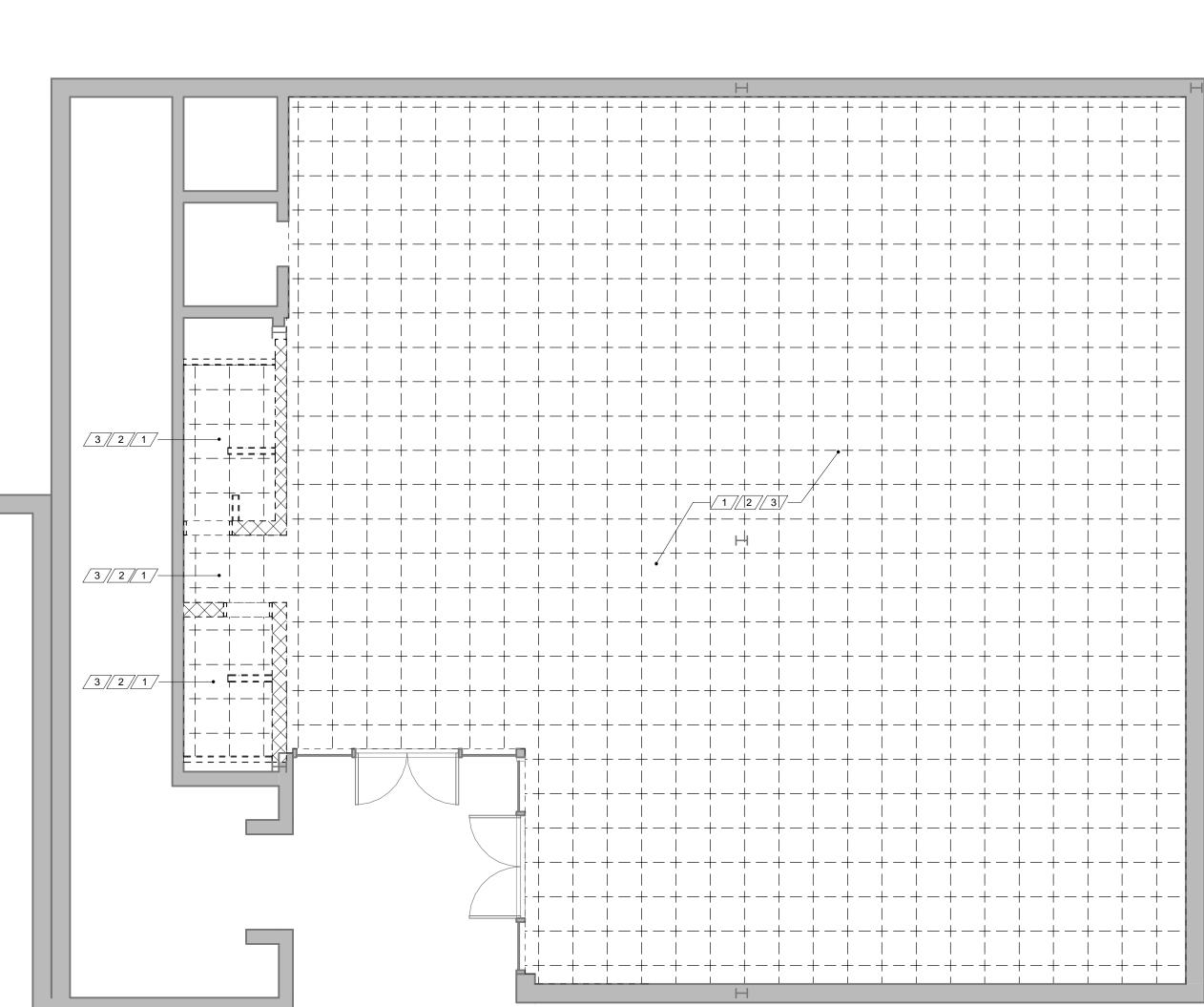
14.IF THE SPACE ABOVE THE SUSPENDED CEILING IS USED AS A RETURN AIR PLENUM, THEN ALL EQUIPMENT AND WIRING (COMMUNICATION, POWER ETC) SHALL BE LISTED FOR INSTALLATION IN A PLENUM.



ACT AD ADJ AFF AFG	AIR CONDITIONING ACCOUSTI(AL) AREA DRAIN ADJACENT ABOVE FINISHED FLOOR ABOVE FINISHED CRADE	FLR FLEX FLG FLUR FND FOC FP FP FPT	FLOOR FLEXIBLE FLASHING FLOURESCENT FOUNDATION FACE OF CONCRETE FIRE PROOFING FIRE-RETARDENT	PLAS PLF PLS PNL POL PR PREFAB	PLASTER PUNDS PER LINEAR FOOT PLASTIC PANEL POLISHED PAIR PREEABRICATED	VENT VERT VIF VNR VOL VTR	VENTILATION VERTICAL VESTIBULE VERIFY IN FII VENEER VOLUME VENT THROU	ELD
ALT ALUM	GRADE ALTERNATE ALDMINUM	FRT FT	TREATED FOOT OR FEET	PREFAB PROJ	PREFABRICATED PROJECTING, PROJECT PROTECTION	VWC	ROOM VINYL WALL COVERING	
	APPROXIMATE ARCHITECT(URAL) ANGLE	FTG FUR		PROT PSF	PROTECTION POUNDS PER SQAURE FOOT POUNDS PER	VYL W W/	WIDE, WIDTH	1
D	AT BOARD	GA GALV GC	GAUGE, GAGE GALVANIZED GENERAL	PSI PT	SQUARE INCH POINT OR	W/OUT WC	WITH WITHOUT WATER CLOS	SET
ET IT LDG	BETWEEN BITUMINOUS BUILDING	GFI	CONTRACTOR GROUND FAULT INTERRUPTOR	PTD PTN	PRESSURE TREATED PAINTED(ED) PARTITION POLYVINYL	WD WIN WK	WOOD WINDOW WORKING WATER RESI	
<u>K</u> M DF	BLOCKING BEAM BOTTOM OF	GKT GL GR	GASKET GLASS, GLAZING GRADE(ING)	PVC PVMT	CHLORIDE PAVEMENT	WRG WSCT	GYPSUM WAINSCOT	Ö
)S)T	FOOTING BOTTOM OF STEEL BOTTOM	GVL GWB	GRAVEL GYPSUM WALLBOARD	% R	PERCENT RISER	WT WWF	WEIGHT WELDED WIF FABRIC	RE
R RG RKT	BÉDRÓOM BEARING BRACKET	GYP HB	GYPSUM HOSE BIB	RAD RCP	RADIUS REFLECTED			
SMT AB	BASEMENT	HC HDW HM	HOLLOW CORE HARDWARE HOLLOW METAL	RD RECEPT REF	CEILING PLAN ROOF DRAIN RECEPTACLE REFERENCE			PAPER DISPI
ER G IP	CERAMIC CORNER GUARD CAST-IN-PLACE	HOR HP HR	HORIZONTAL HIGH POINT HOUR	REG REINF	REGISTER REINFORCED,			
IR J LG	CIRCLE CONTROL JOINT CEILING	HT HTR HVAC	HEIGHT HEATER	REM REQ RES	REINFORCING REMOVE REQUIRED RESILIENT			
_0 _R	CLOSET CLEAR CENTER LINE		HEATING VENTILATION AIR CONDITIONING	RET REV RFG	RETAIN REVISION ROOFING			
MT MU	CERAMIC MOSIAC TILE CONCRETE	HW HWD.	HOT WATER HARDWOOD	RFL	REFLECT(OR) (ED)(IVE)			
)))L	MASONARY UNIT CLOSE OUT COLUMN	ID IN INCL	INSIDE DIAMETER INCH INCLUDE	RM RO RTU	RM ROUGH OPENING ROOF TOP			
OMB ONC	COMBINATION CONCRETE	INSUL INT	INSULATE(D) INTERIOR	Ø	MECHANICAL UNIT ROUND, DIAMETER			
DNST DNT DRR	CONSTRUCTION CONTINOUS CORRIDOR		INTERMEDIATE INVERT	SAN SC	SANITARY SOLID CORE			CONTROL
ORRUG PT RS	CORRUGATED CARPET COURSE	JST JB JC	JOIST JUNCTION BOX JANITOR'S CLOSET	SCH SEAL SECT	SCHEDULE SEALANT SECTION			CON
SK T TR	COUNTERSINK CERAMIC TILE CENTER	JT KO	JOINT KNOCK OUT	SF SHT SHTG	STOREFRONT SHEET SHEATHING			
j JRT V	CUBIC CURTAIN WALL COLD WATER	LAM LAV	LAMINATE LAVATORY	SIM SPEC SPKR	SIMILAR SPECIFICATION(S) SPEAKER			
BL EMO	DOUBLE DEMOLITION	LB LIN LL	POUND LINEAR LIVE LOAD	SQ SQFT SST	SQUARE SQUARE FEET STAINLEES STEEL			
P PT T	DEPRESS(ED)(ION) DEPARTMENT DETAIL	LP LT LVR	LOW POINT LIGHT LOUVER	STC	SOUND TRANSMISSION			TYP
=' AG A	DETAIL DRINKING FOUNTAIN DIAGONAL DIAMETER	LVIX LVT LW	LUXURY VINYL TILE LIGHTWEIGHT	STD STL	COEFFICIENT STANDARD STEEL			
A M V	DIAMETER DIMENSION DIVISION DEAD LOAD	MAS MAX MECH	MASONARY MAXIMUM MECHANICAL	STOR STRUCT	STORAGE STRUCTURE,			48'
- 	DOWN PARTIAL HEIGHT DRYWALL	MECH MED MEMB MEZZ	MECHANICAL MEDIUM MEMBRANE MEZZANINE	SUP SUR SUSP	STRUCTURAL SUPPORT SURFACE SUSPENDED			
R S WG	DRYWALL DRAIN DOWNSPOUT DRAWING	MEZZ MTL MFR MH	MEZZANINE METAL MANUFACTURER MANHOLE	SUSF SW SQYD SYM	SUSPENDED SWITCH SQUARE YARD SYMMETRICAL			
NG NR	DRAWING DRAWER EACH	MIN MISC MLD	MANHOLE MINIMUM MISCELLANEOUS MOLDING	SYN SYS T				
C	ELECTRICAL	MD MOD MOV	MOLDING MASONARY OPENING MODULAR MOVEABLE	T&G TEL TEMD	TONGUE & GROVE TELEPHONE			(a.)
F J L	EXHAUST FAN EXPANSION JOINT ELEVATION ELECTRIC(AL)	MOV MR MTD MTG	MOISTURE RESISTENT MOUNTED	TEMP TEXT	TEMPERED TEMPORARY TEXTURED THICK(NESS)			
LEC LEV LER NC	ELECTRIC(AL) ELEVATION EMERGENCY ENCLOS(LIBE)	MTG MATL MULL	MÉÉTING MATERIAL MULLION	THK THR THRU TOC	THICK(NESS) THRESHOLD THROUGH TOP OF CONCRETE			
<u>אד</u> ג	ENCLOS(URE) ENTRANCE EQUAL	NA NAT		TOC TOL	TOP OF CONCRETE OR CURB TOLERANCE TOP OF PAVEMENT			
QUIP ST WC	EQUIPMENT ESTIMATE ELECTRIC WATER	NIC NOM NRC	NOT IN CONTRACT NOMINAL NOISE REDUCTION	TOP TOS	TOP OF PAVEMENT TOP OF SLAB OR STEEL			
	COOLER EXCAVATE EXHAUST	NTS	COEFFICIENT NOT TO SCALE	TOW TR TRANS	TOP OF WALL TREAD TRANSPARENT			
(IST (PN (T	EXISTING EXPANSION EXTERIOR	OA OC OD	OVERALL ON CENTER OUTSIDE DIAMETER	TRT TV TYP	TREATED TELEVISION TYPICAL			
A AST	FIRE ALARM FASTEN(ER)	OH OPG OPP	OVERHEAD OPENING OPPOSITE	UC UL	UNDERCUT UNDERWRITER'S			
D E EC	FLOOR DRÁIN FIRE EXTINGUISHER FIRE EXTINGUISHER	OZ PC PCF	OUNCE	UNFIN UON	LABORATORY UNFINISHED UNLESS			
FL	CABINET FINISHED FLOOR ELEVATION FIBERGLASS	PERF	POUNDS PER CUBIC FOOT PERFORATED	UR UTIL	OTHERWISE NOTED URINAL UTILITY			
GL HC IN	FIRE HOSE CAINET FINISH	PERP PK PL	PERPENDICULAR PARKING PLATE	VAR VCT	VARNISH VINYL COMPOSITION			
IXT	FIXTURE REVIATIONS	PLAM	PLASTIC LAMINATE		TILE			
ADD								AUU
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		IMBER	REVISION CLOUD	& DELTA	PLAN DET/	AIL REFERENC	E	DETAIL RE
	TOP LINE = DRAWING NU BOTTOM LINE = SHEET N	IMBER		& DELTA	PLAN DET	AIL REFERENC	E	DETAIL RE
	TOP LINE = DRAWING NU	IMBER	REVISION CLOUD	& DELTA	PLAN DET	UP 17R	E	DETAIL RE
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E	TOP LINE = DRAWING NU BOTTOM LINE = SHEET N 00 A000 DETAIL TAG TOP LINE = DRAWING NU BOTTOM LINE = SHEET N X AX.X		00 A000 DETAIL HEX (ALT TOP LINE = DRAWIN BOTTOM LINE = SHE	ERNATE) IG NUMBER ET NUMBER X AX.X CTION	STAIR DIRE BASIC CEIL TOP LINE =	UP 17R 11 1/2 T ECTION SYMBO	DL	WALL OR PAF
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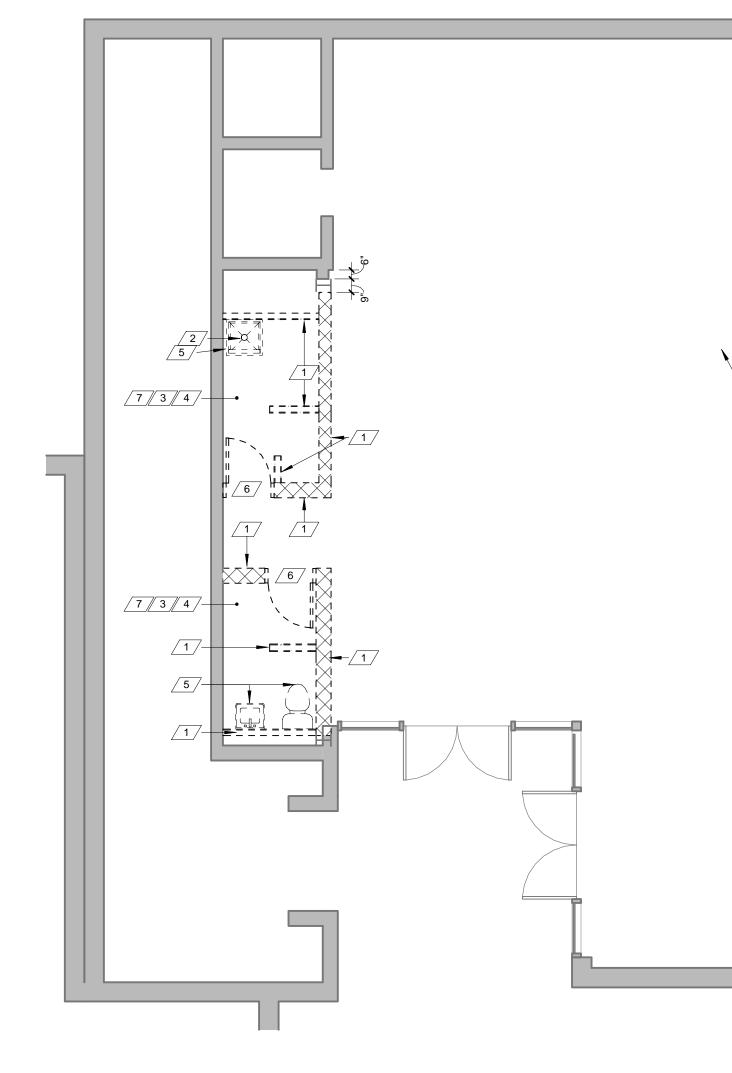




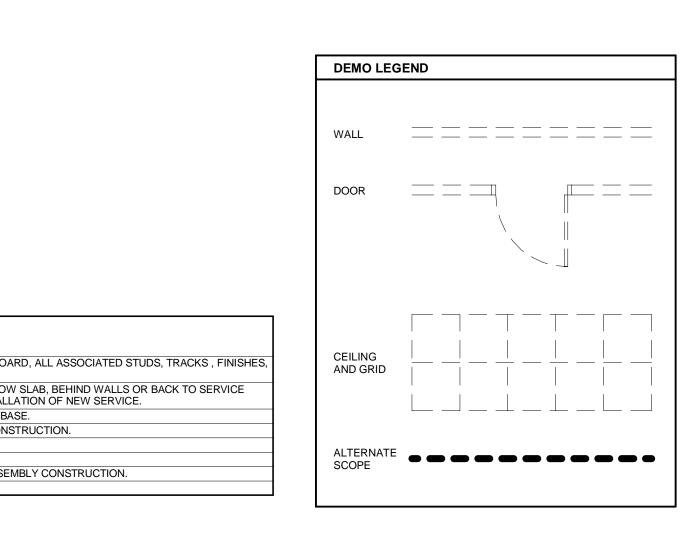


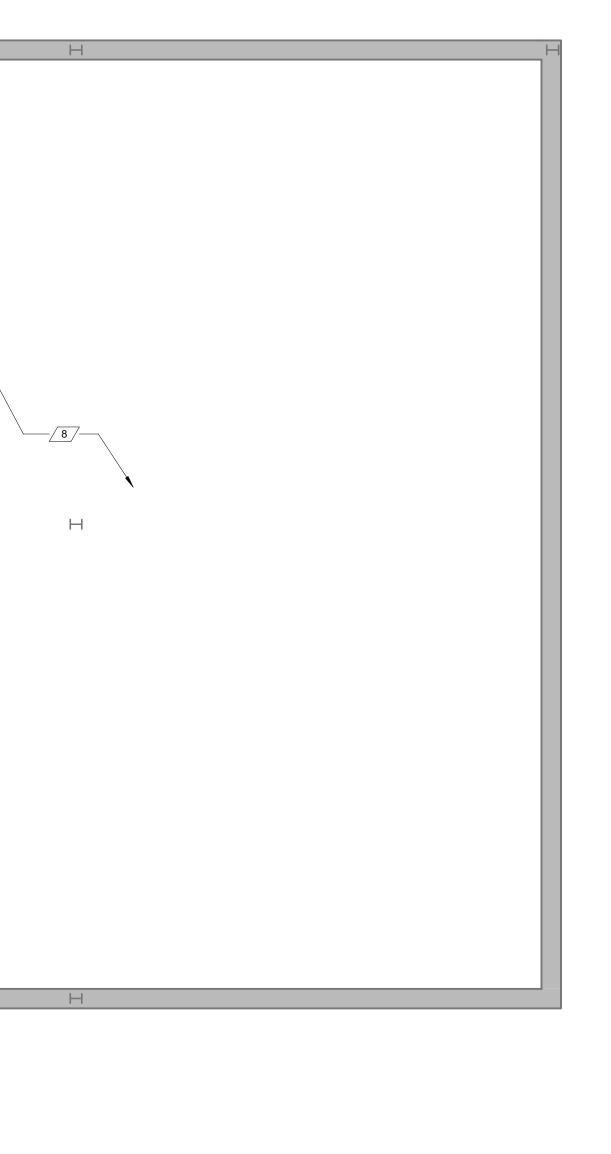
	DEMO RCP NOTES
1	REMOVE EXISTING CEILING AS INDICATED INCLUDING GRID, TILES AND ASSOCIATED HARDWARE.
2	REMOVE ANY AND ALL LIGHT FIXTURES. COORDINATE PROPOER DISPOSAL WITH OWNER
3	REFER TO MEP DRAWINGS FOR ANY AND ALL REMOVAL OF MECHANICAL EQUIPMENT.

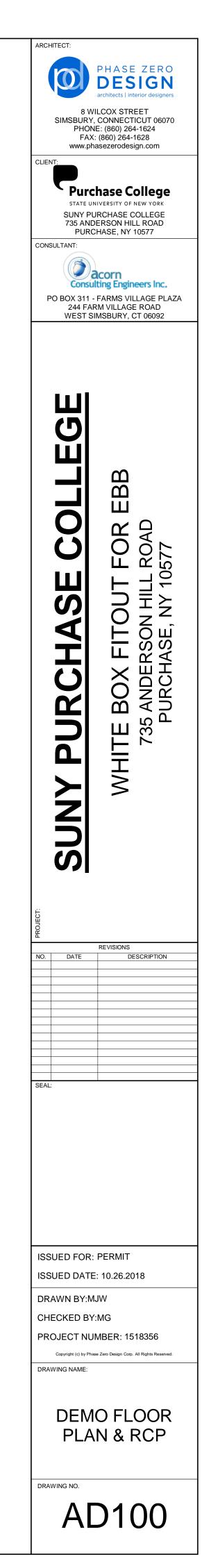
	DEMO PLAN NOTES
1	REMOVE ALL PARTITIONS IN THEIR ENTIRETY, WHERE INDICATED, INCLUDING CMU BLOCK, GROUT, GYPSUM WALL BOARD, ALL ASSOCIATED S' ETC.
2	REFER TO PLUMBING DRAWINGS FOR EXISTING FLOOR DRAINS AND PLUMBING TO BE REMOVED. CAP UTILITIES BELOW SLAB, BEHIND WALLS (ORIGIN AS REQUIRED BY MEP, IN AREAS WHERE UTILITIES ARE TO BE REUSED, REROUTE AS NECESSARY FOR INSTALLATION OF NEW SERVICI
3	U.O.N REMOVE ALL WALL FINISHES INCLUDING WALL COVERING, WALL TILE, CORNER GUARDS, MIRRORS AND WALL BASE.
4	REMOVE EXISTING FLOORING. PREP FOR INSTALLATION OF NEW FLOOR FINISHES. PROTECT SUBFLOOR DURING CONSTRUCTION.
5	EXISTING PLUMBING FIXTURES (SINKS, MOP SINK, TOILET, ETC) TO BE REMOVED. CAP ALL PLUMBING LINES.
6	EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE TO BE REMOVED AS INDICATED.
7	CONTRACTOR TO FILL ANY EXISTING PENETRATIONS IN EXISTING FIRE RATED WALLS, WITH REQUIRED RATINGS/ASSEMBLY CONSTRUCTION.
8	G.C. TO PREP EXISTING FLOOR SLAB TO RECIEVE NEW FLOOR FINISHES.



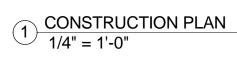
2 DEMO PLAN 3/16" = 1'-0"

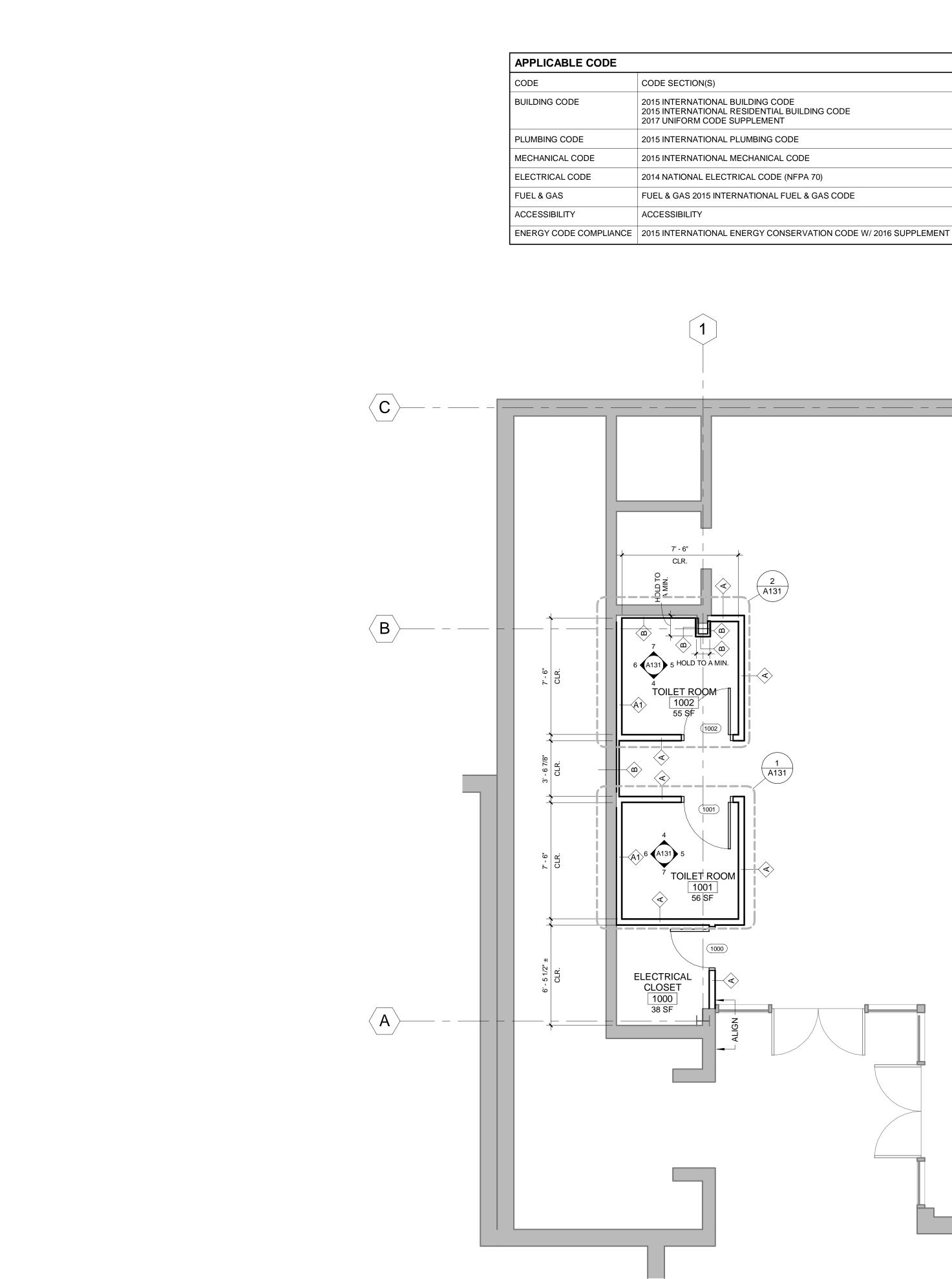


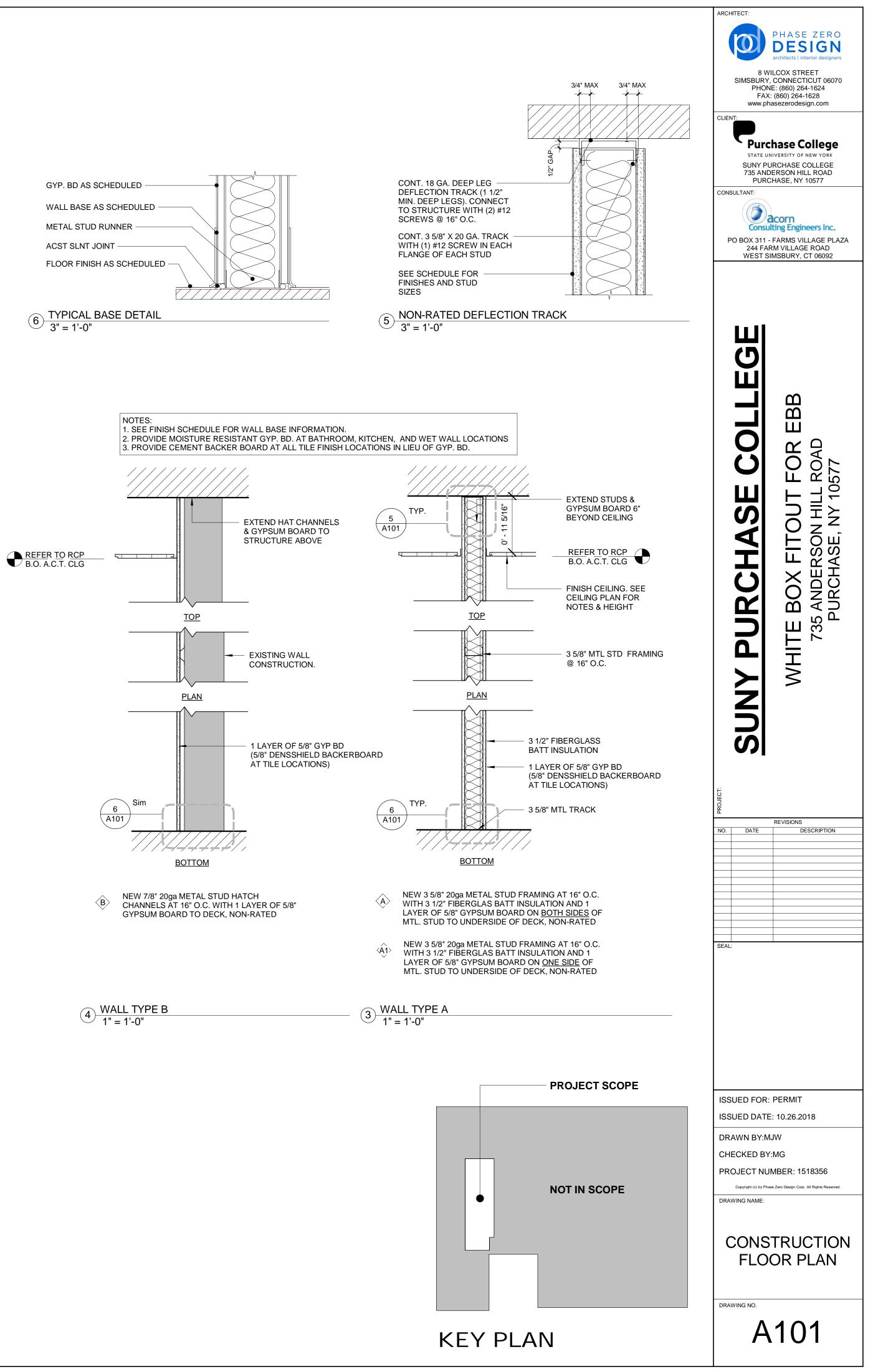




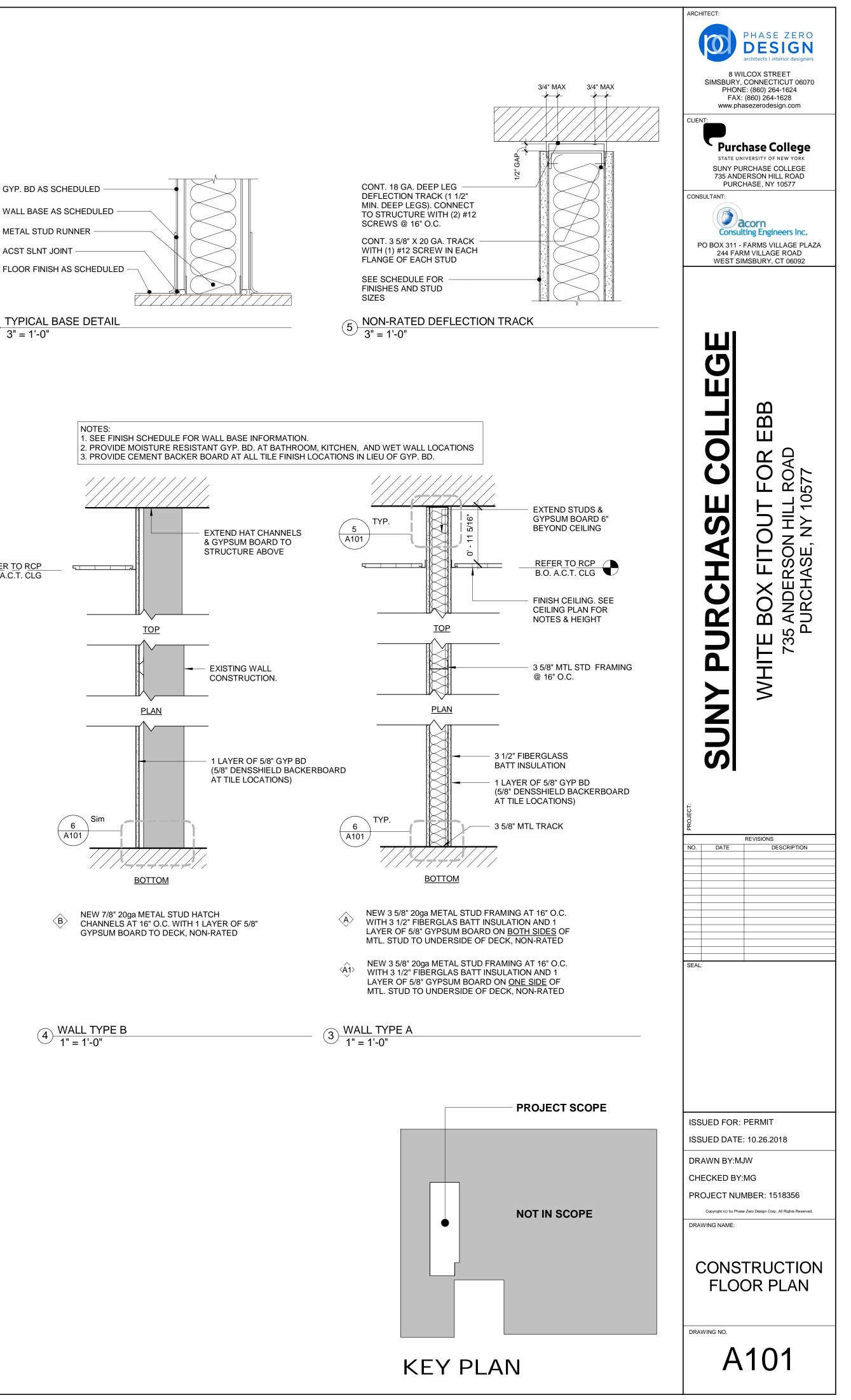






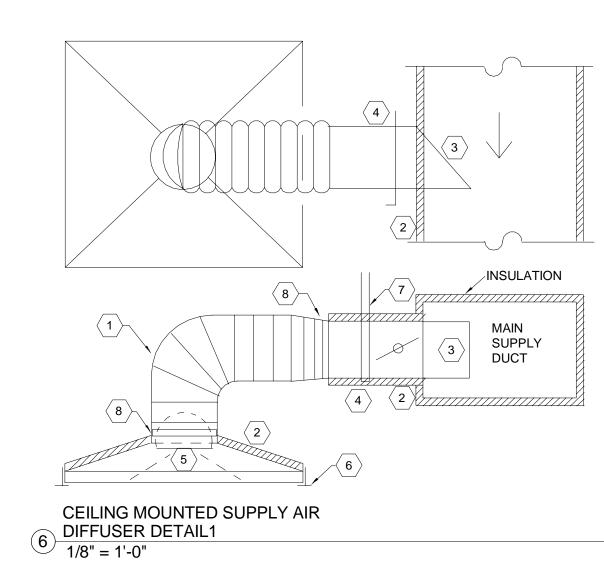






LE CODE	
	CODE SECTION(S)
DE	2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE 2017 UNIFORM CODE SUPPLEMENT
DDE	2015 INTERNATIONAL PLUMBING CODE
CODE	2015 INTERNATIONAL MECHANICAL CODE
CODE	2014 NATIONAL ELECTRICAL CODE (NFPA 70)
	FUEL & GAS 2015 INTERNATIONAL FUEL & GAS CODE
Y	ACCESSIBILITY
E COMPLIANCE	2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2016 SUPPLEMENT

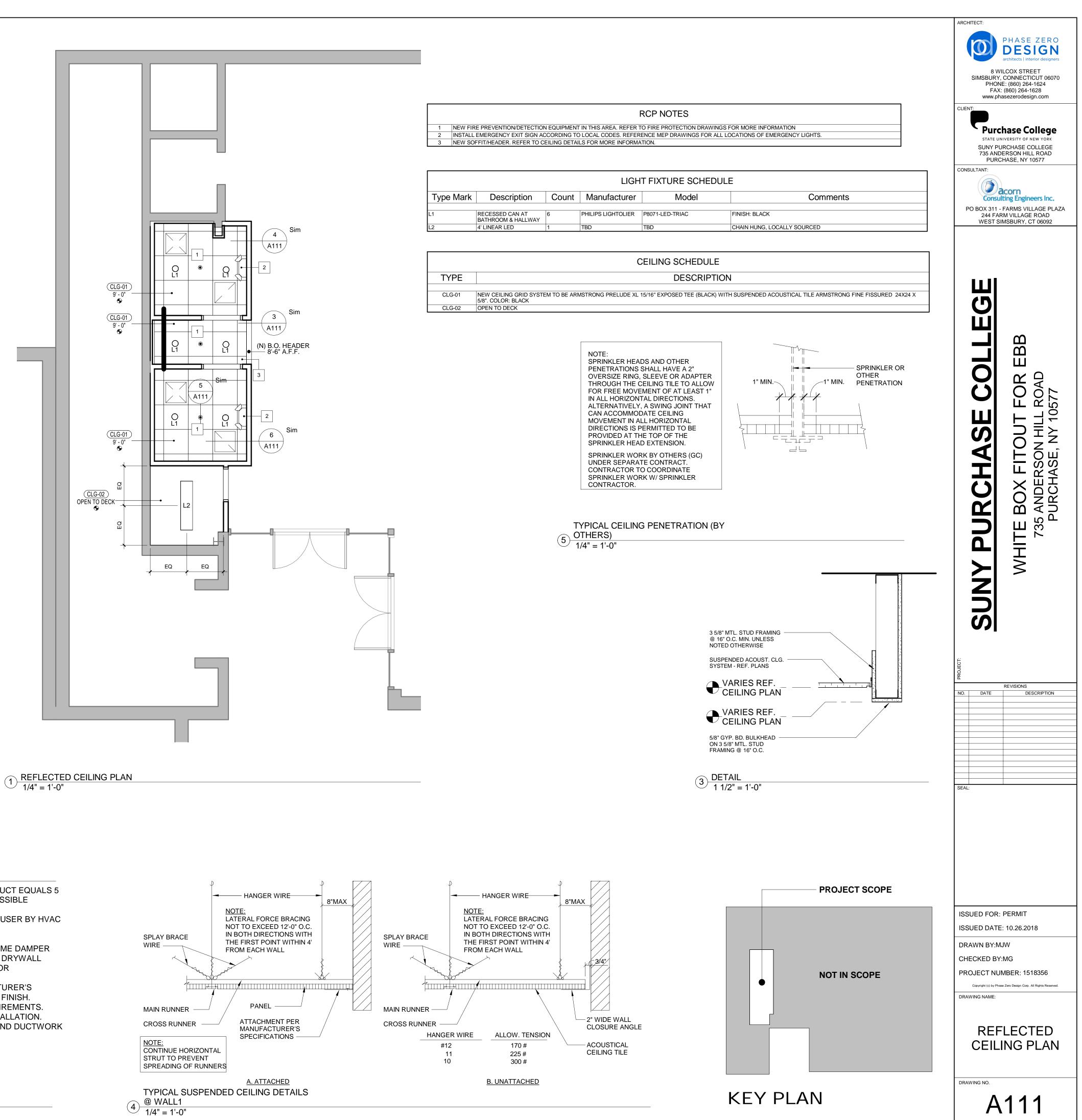


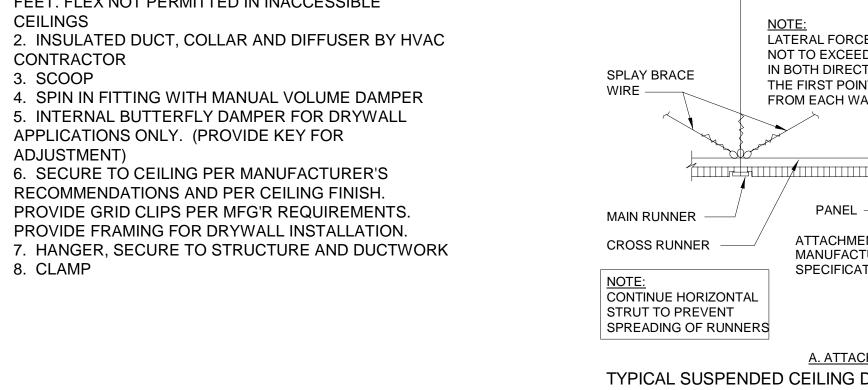


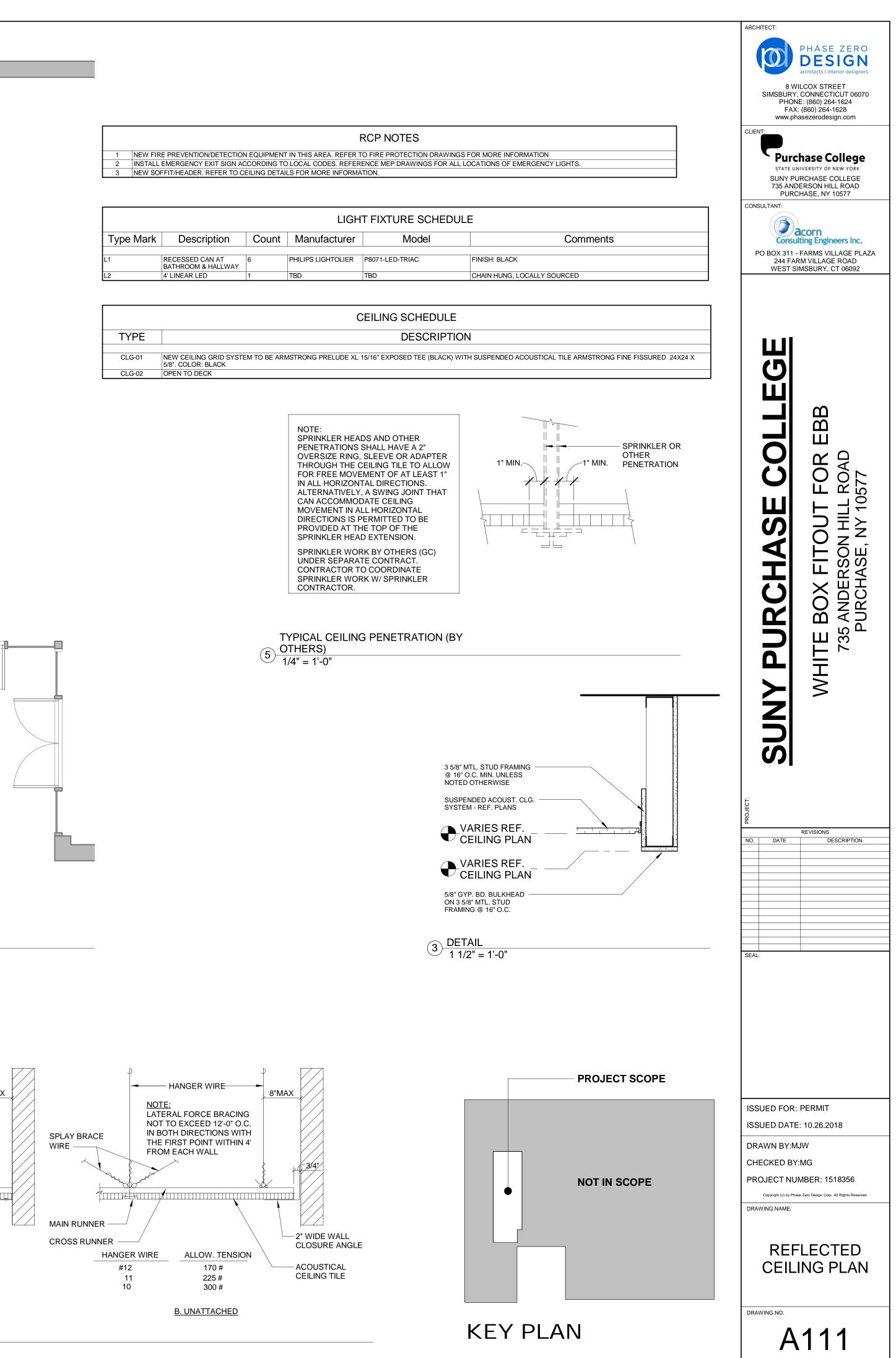
KEYED NOTES:

1. MAXIMUM LENGTH OF INSUL. FLEX DUCT EQUALS 5 FEET. FLEX NOT PERMITTED IN INACCESSIBLE

ADJUSTMENT)



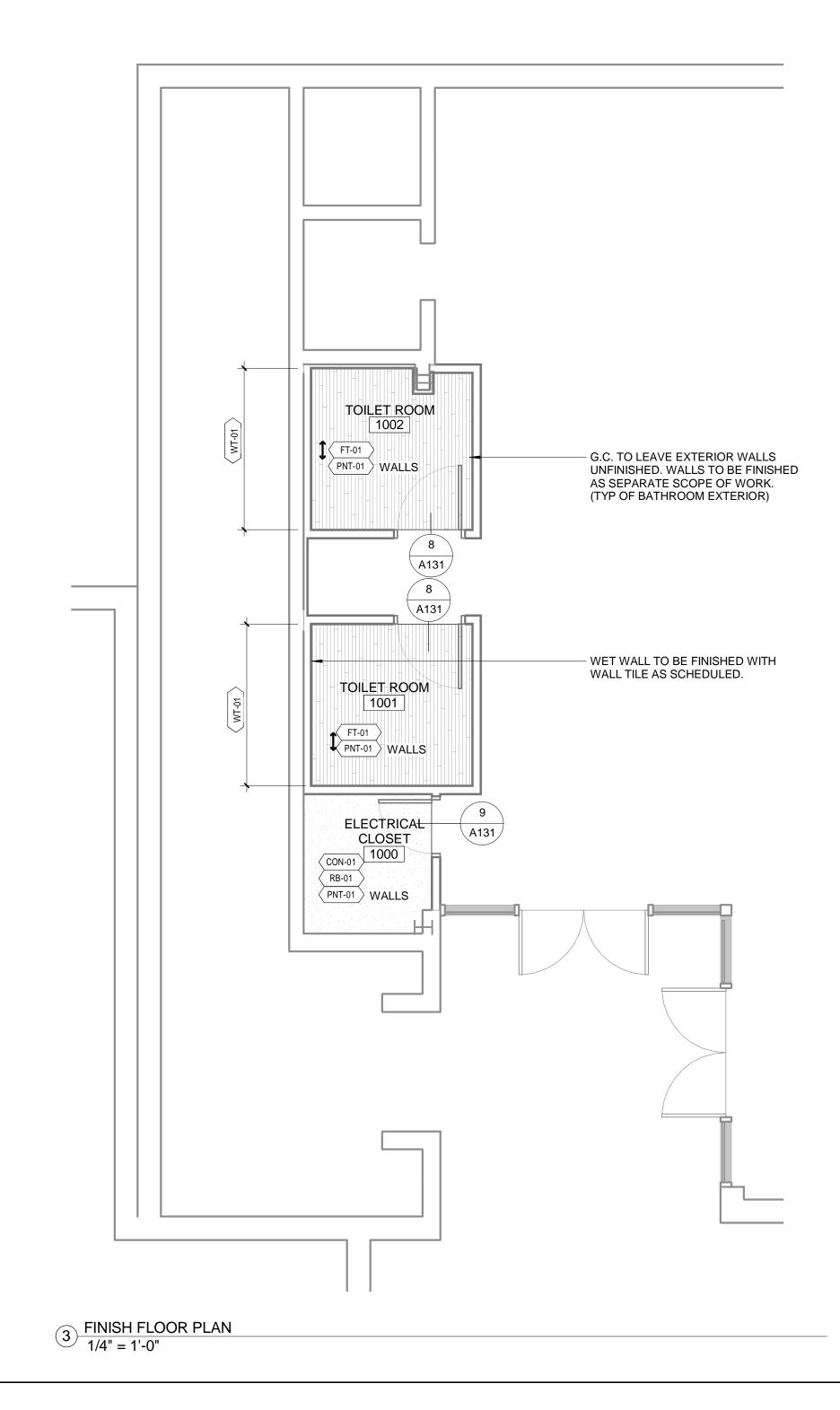




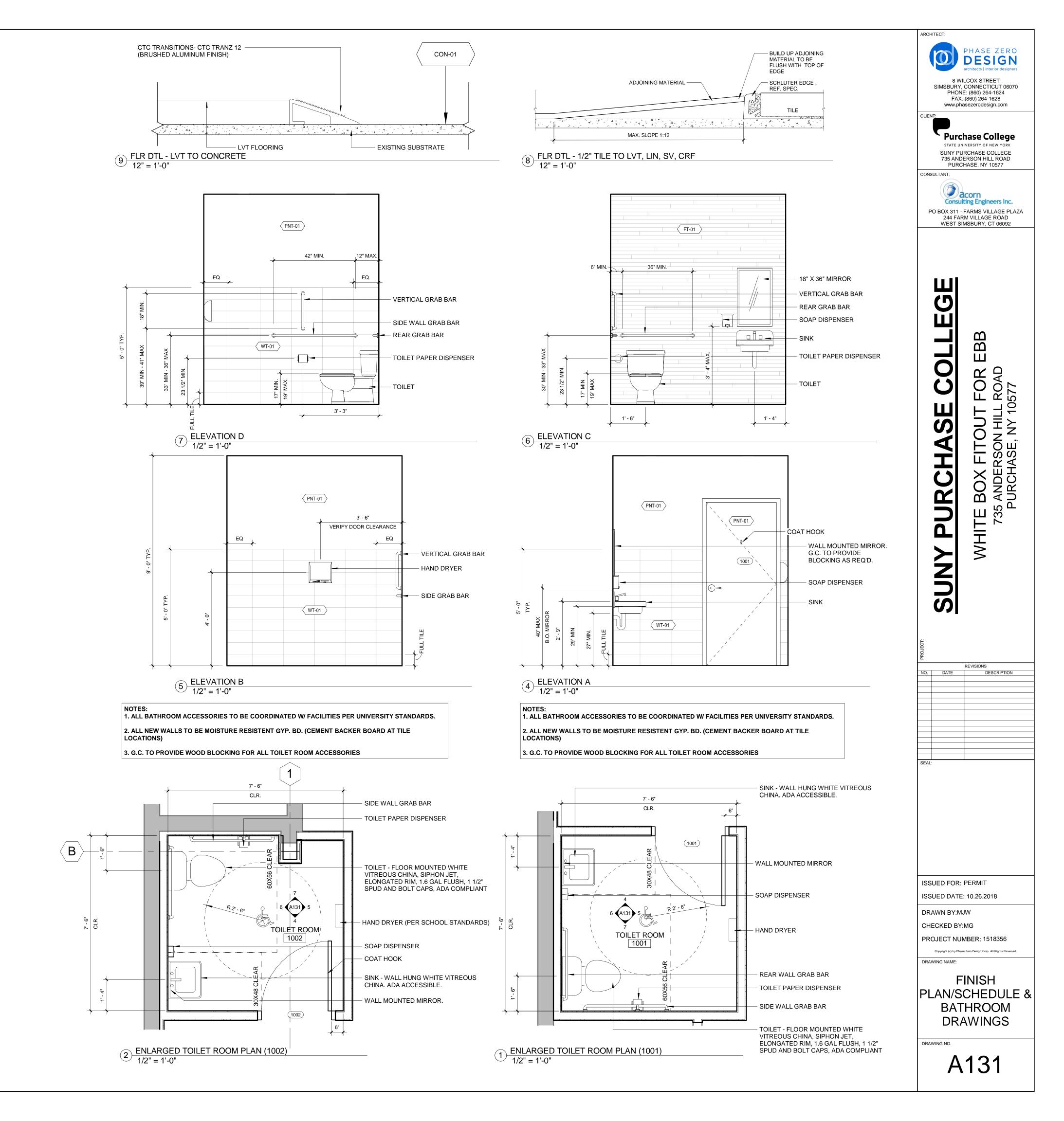
FLOOR FINISH LEGEND

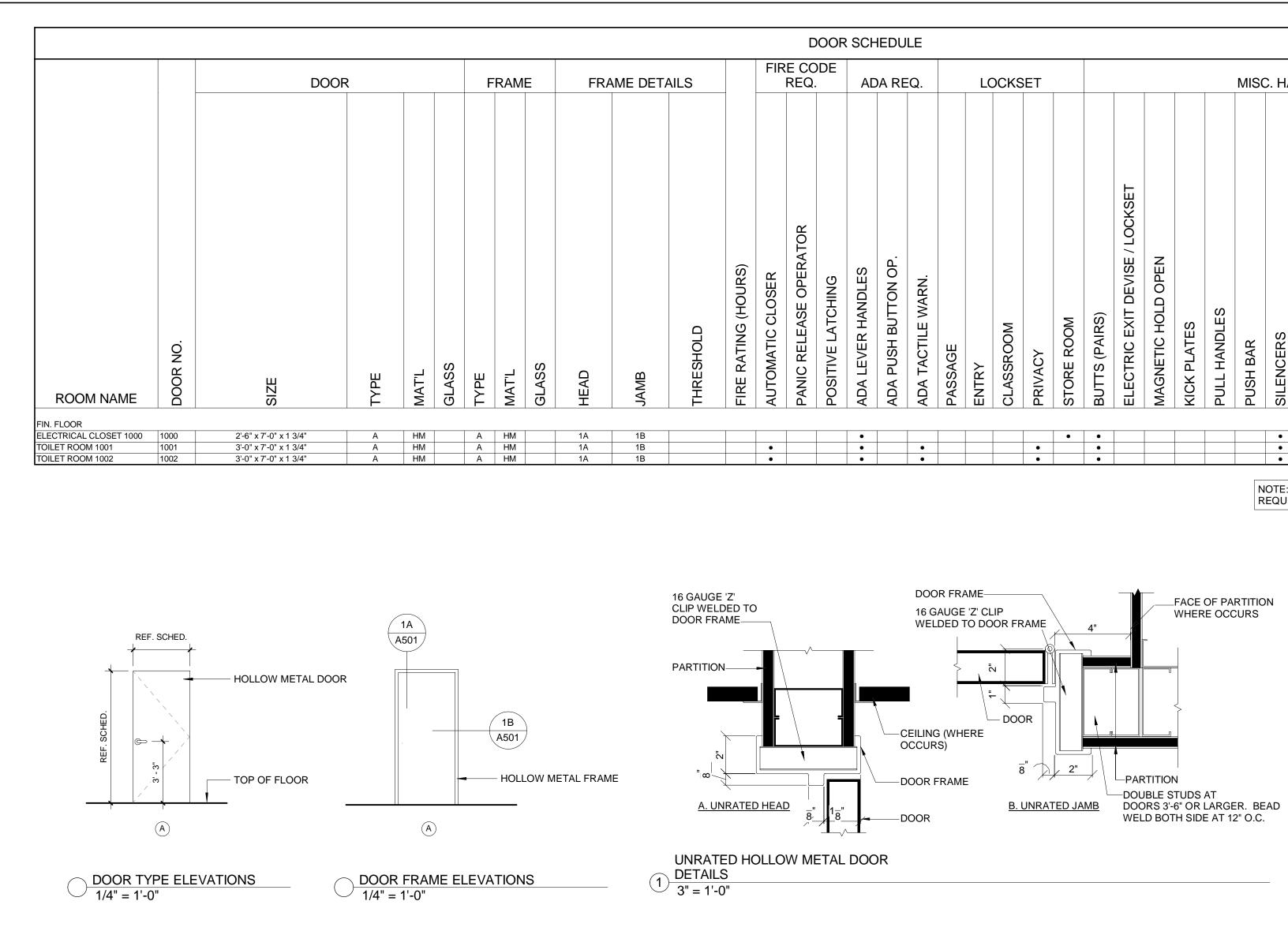
FLOOR TILE SEALED CONCRETE FT-01 CON-01 NOTE: U.O.N. THIS PLAN DEPICTS FLOOR FINISH MATERIALS. REFER TO ELEVATIONS FOR VERTICAL FINISHES.

		FINIS	SH SCHEDU	ILE		
CODE	DESCRIPTION	MANUFACTURER	STYLE NAME	STYLE / COLOR	SIZE / TYPE	NOTES
CON-01	SEALED CONCRETE @ CLOSET	HOSTSHIELD (OR SIM.)	CRYLI-TEK 550	CONCRETE/MAS ONRY SEALER	LOW SHEEN	
FT-01	FLOOR TILE @ BATHROOM	TILEBAR	MONTANA CHERRY	NATURAL WOOD LOOK / PORCELAIN	8X45 1/3 STEP PATTERN	GROUT: LATICRETE - PERMACOLOR - 38 RIVERROCK
PNT-01	PAINT @ BATHROOM WALLS	BENJAMIN MOORE	OC-22	EGG SHELL		
RB-01	RUBBER BASE @ BATHROOM	JOHNSONITE	RUBBER COVE BASE	THUNDER	6"	
WT-01	WALL TILE @ WET WALL	DALTILE	ANNAPOLIS	AP06 SAIL	6 X 16 STACKED PATTERN	GROUT: LATICRETE - PERMACOLOR SELECT ANYCOLOR, (MATCH BENJAMIN MOORE SUI PORCH 2023-30)



ate: 10/29/2018 11:27:59 AM Dwg Filename: C:\Users\m_watt\Documents\Purchase - EinsteinBagels (White Box Set)_mwattPZD

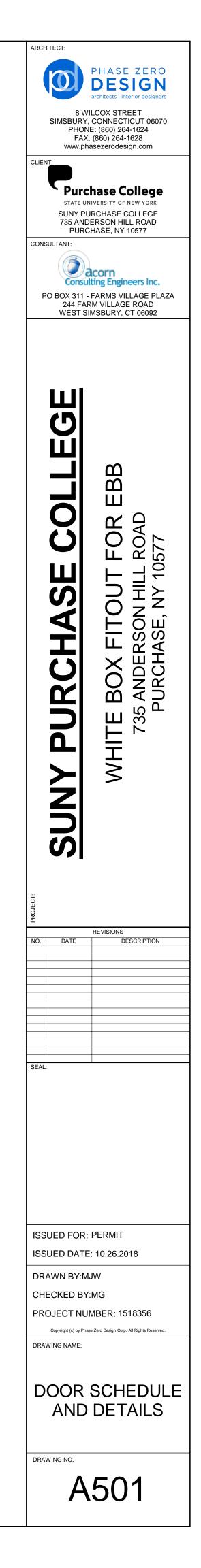


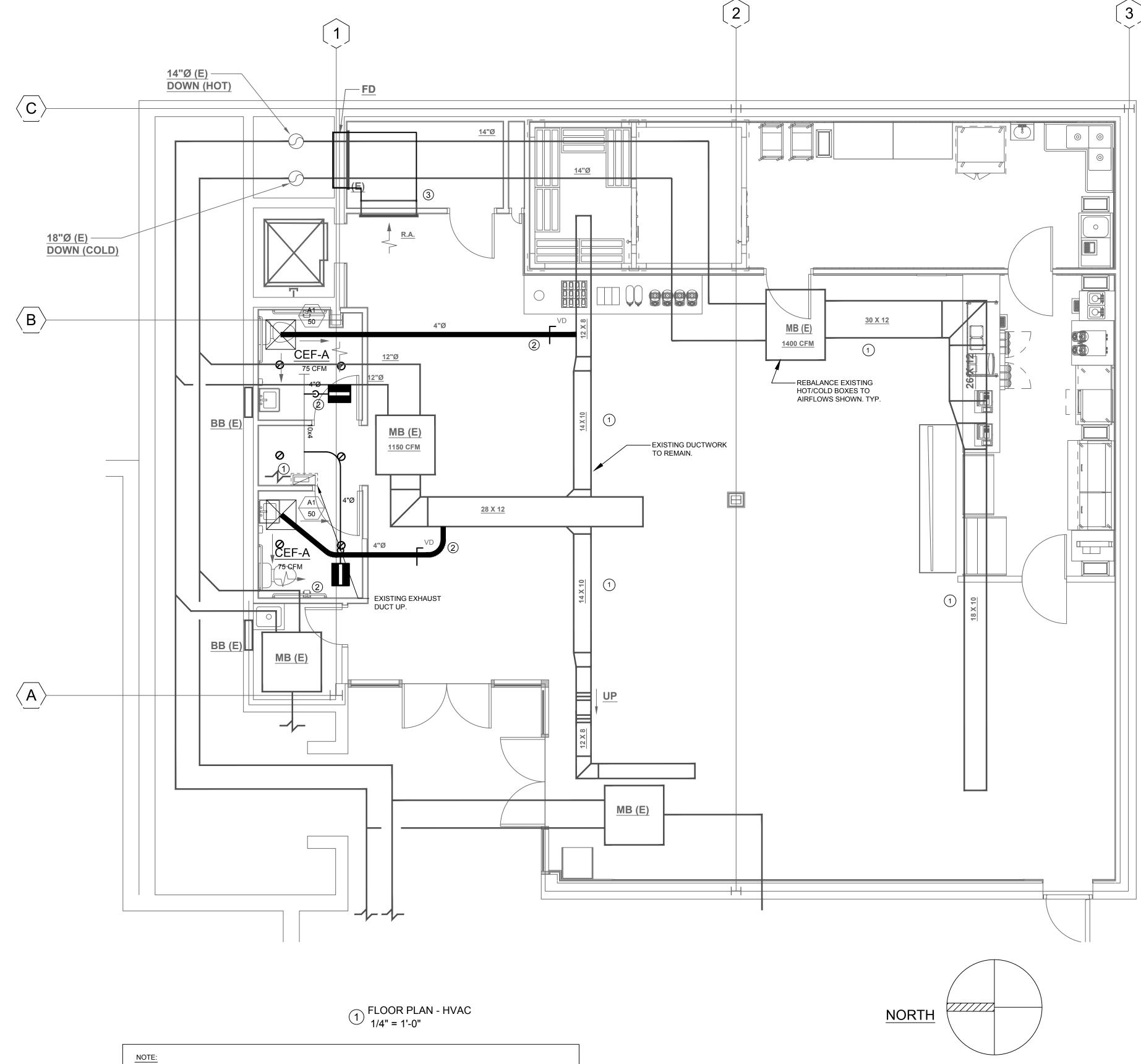




)[
1		POSITIVE LATCHING	DE
•	•	ADA LEVER HANDLES	AD
1		ADA PUSH BUTTON OP.	DA RE
•		ADA TACTILE WARN.	Q.
		PASSAGE	
1		ENTRY	LC
		CLASSROOM	OCKS
•		PRIVACY	ET
	•	STORE ROOM	
•	•	BUTTS (PAIRS)	
		ELECTRIC EXIT DEVISE / LOCKSET	
1		MAGNETIC HOLD OPEN	
		KICK PLATES	
1		PULL HANDLES	
1		PUSH BAR	MISC
•	•	SILENCERS	C. HA
•	•	STRIKE	RDW
•	•	FLOOR STOP	ARE
		WALL STOP	
•		ADA ACCESSIBLE THRESHOLD	
1		LATCH SECURITY PLATE	
1		TOP & BOTTOM BOLTS	
1		PIN PAD / & ELECTRIC HINGE ACCESS CONTROL	
DOOR & FRAME TO BE PNT-01	DOOR & FRAME TO BE PNT-01	REMARKS	-

NOTE: GC TO REFER TO UNIVERSITY STANDARDS FOR SPECIFIC MANUFACTURER REQUIREMENT FOR ALL DOOR HARDWARE AS WELL AS KEYING REQUIREMENTS.





RUN ALL REFRIGERANT PIPING FROM IDU'S TO ODU. PROVIDE ALL REFRIGERANT PIPING & SPECIALTIES. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL REFRIGERANT LINES AND ACCESSORIES SHALL BE FACTORY SIZED.



3. VISIT THE SITE AND EXAMINE CAREFULLY THE EXISTING CONDITIONS TO BECOME FAMILIAR WITH THEM AND DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF WORK PRIOR TO THE SUBMISSION OF A PROPOSAL. 4. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN

BEEN MADE.

LOCATION.

12. PATCH, REPAIR AND PAINT ALL WALLS, CEILINGS AND MASONRY EFFECTED BY NEW WORK, DEMOLITION, RELOCATED EQUIPMENT, DUCTWORK & PIPING. PATCHING SHALL MATCH EXISTING SURFACES. 13. KEEP CARPETS CLEAN OF DEBRIS. ANY DAMAGE ASSOCIATED WITH DEMOLITION WILL BE THE RESPOSIBILITY OF THE CONTRACTOR.

DUCTWORK.

MODIFICATIONS.

EQUIPMENT.

ACCESS.

RATIO.

MAIN.

GENERAL DEMOLITION NOTES:

1. GENERAL DEMOLITION NOTES SHALL APPLY TO ALL MECHANICAL DRAWINGS.

2. PORTIONS OF EXISTING SYSTEMS ARE OMITTED FROM AREAS THAT HAVE NO TRADE ASSOCIATED SCOPE TO MAINTAIN GRAPHICAL CLARITY.

MADE AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN SUCH AN EXAMINATION HAS

5. NOTES AND GRAPHIC REPRESENTATIONS SHALL NOT LIMIT THE EXTENT OF DEMOLITION REQUIRED. 6. EXTENT OF DEMOLITION WORK SHALL INCLUDE, BUT NOT LIMITED TO, MECHANICAL WORK ASSOCIATED WITH THE REMOVAL OF INLETS/OUTLETS, MECHANICAL DEVICES AND ALL ASSOCIATED DISTRIBUTION AND SUPPORTS.

7. ALL WORK REQUIRED TO REMAIN IN SERVICE BUT INTERFERING WITH THE ALTERATIONS SHALL BE RELOCATED AND RECONNECTED USING MATERIALS AND STANDARDS OF THIS CONTRACT.

8. EQUIPMENT AND DEVICES TO BE REMOVED SHALL BE DISCONNECTED PRIOR TO ANY DEMOLITION WORK. EQUIPMENT INDICATED TO BE REMOVED SHALL BE TAKEN FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND ENVIRONMENTAL REGULATIONS, UNLESS OTHERWISE INDICATED. 9. EQUIPMENT REQUIRED TO BE TURNED OVER TO THE OWNER SHALL BE PLACED IN A MUTUALLY ACCEPTABLE

10. FIELD VERIFY EXISTING DUCTWORK CONFIGURATION LOCATION PRIOR TO REMOVAL.

11. COORDINATE WORK IN ADJACENT TENANT AREAS WITH TENANTS AND UCONN FACILITIES MANAGEMENT DEPARTMENT. COORDINATION SHALL INCLUDE TIME TABLES FOR WORK IN ADJACENT TENANT AREAS.

GENERAL HVAC NOTES:

1. GENERAL DRAWING NOTES SHALL APPLY TO ALL MECHANICAL DRAWINGS.

2. FIELD VERIFY LOCATIONS OF MECHANICAL EQUIPMENT BEFORE FABRICATION OF PIPING &

3. DUCTWORK DIMENSIONS INDICATED ON PLANS ARE CLEAR INSIDE DIMENSIONS. PROVIDE TURNING VANES IN MITERED FITTINGS.

4. VERIFY EQUIPMENT CONNECTIONS WITH MANUFACTURER'S INSTALLATION DRAWINGS. PROVIDE PIPE & DUCT TRANSITIONS TO FURNISHED EQUIPMENT. FIELD VERIFY AND COORDINATE DIMENSIONS BEFORE FABRICATION.

5. COORDINATE DUCTWORK & PIPE ROUTING WITH ALL TRADES. PROVIDE OFFSETS AND FITTINGS AS REQUIRED FOR INSTALLATION. CONTRACTOR SHALL BEAR COSTS ASSOCIATED WITH ROUTING

6. PROVIDE VOLUME DAMPER ON ALL BRANCH DUCTWORK TAKE-OFFS.

7. PROVIDE CONTROL WIRING FROM SENSORS/THERMOSTATS TO MECHANICAL EQUIPMENT 8. PROVIDE FLEXIBLE DUCTWORK CONNECTORS ON INLET AND OUTLET OF AIR HANDLING

9. PROVIDE ALL SERVICE/ACCESS CLEARANCES FOR MECHANICAL EQUIPMENT PER MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS. COORDINATE PRIOR TO INSTALLATION OF EQUIPMENT, PIPING, AND DUCTWORK.

10. FIRECAULK ALL FIRE RATED PENETRATIONS.

11. PROVIDE TAMPER PROOF THERMOSTATS/SENSORS OR LOCKING COVERS FOR ALL THERMOSTATS/SENSORS LOCATED IN CORRIDORS AND ALL OTHER LOCATIONS THAT HAVE PUBLIC

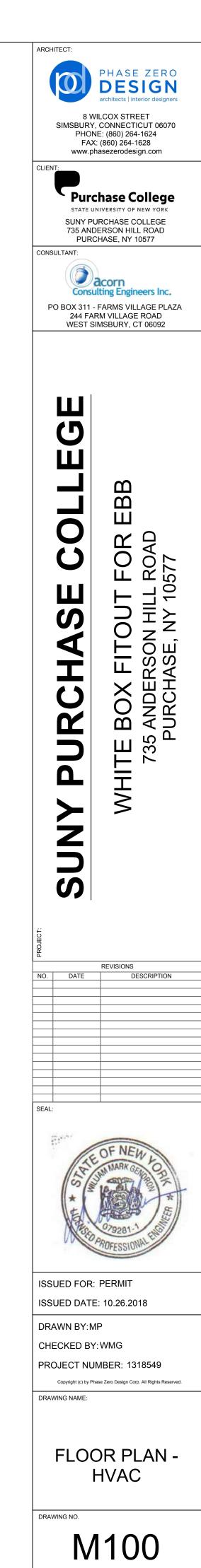
12. PROVIDE INTERNAL DUCT SUPPORTS PER SMACNA FOR ALL DUCTS EXCEEDING 3:1 ASPECT

13. MAINTAIN AT LEAST 10' DISTANCE BETWEEN ALL AIR INTAKE AND EXHAUST TERMINATIONS. 14. VERIFY ALL THERMOSTAT TYPES & LOCATIONS WITH OWNER PRIOR TO ORDERING.

PLAN KEY NOTES

(1) EXISTING BRANCH DUCTS TO BE REMOVED AND CAPPED AT DUCT

(2) NEW SUPPLY DUCT TO NEW DIFFUSER. (3) NEW DUCTED CENTRAL RETURN



DIVISION 15 - MECHANICAL SPECIFICATIONS

PART 1 - GENERAL

1.01 GENERAL

1.02 SCOPE

Architect's General Conditions are a part of this Division. All work shall be done in strict accordance with all applicable Codes and Regulations of local and State Agencies and utility companies. This Contractor shall bear the cost of all fees, permits, licenses and taxes and any utility company charges in connection with the work.

Provide a complete HVAC system and all other equipment as shown on the Drawings and herein specified, including but not limited to:

Air Balancing and Testing Ductwork and Accessories Insulation

Exhaust Fans

System shall be complete in all respects, tested, accepted and ready to operate. 1.03 SUBMITTALS

approval: Air Balancing and Testing

Ductwork and Accessories

Insulation Exhaust Fans

the Engineer.

1.04 GUARANTEE

material and workmanship. Any failure due to defective or improper material, equipment, workmanship or design shall be made good, forthwith, by and at the expense of the Contractor, including any damage done to areas, materials and other systems resulting from this failure. Guarantee period shall extend for one year from the Date of Acceptance.

The HVAC Contractor shall provide a guarantee covering all material and workmanship for 1 year following the Date of Acceptance.

1.05 DEFINITION:

As used on Contract Documents, the term "to provide" shall mean "to furnish, install and connect completely in the specified or approved manner the item or material described." 1.06 OPERATING AND MAINTENANCE INSTRUCTIONS

Upon completion of the project, the HVAC Contractor shall fully instruct the Owner in the

The HVAC Contractor shall provide the Owner with three (3) sets of complete maintenance and operating instructions, and technical data, in booklet form, of all equipment and devices furnished in the Contract.

1.07 CONTRACTOR'S INSPECTION

Contract Drawings are diagrammatic and do NOT show every required fittings, etc. The Contractor shall familiarize himself with the existing site conditions, prior to submitting a bid, and shall include all equipment and accessories necessary for complete and operational systems.

The HVAC Contractor shall examine the Architectural Drawings and the drawings and specifications of other trades to determine the extent of work. The HVAC Contractor shall visit the site and become familiar with the project and local conditions before submitting a Bid. Drawings are diagrammatic and indicate the general arrangement of systems and work included in the Contract. If so directed by the Architect or Engineer, the HVAC Contractor shall, without extra charge, make reasonable modifications in the layout to prevent conflict with those of other trades and for proper installation of work. Refer to the Architect's Reflected Ceiling Plan for exact location of air diffusers, registers and grilles. The Contractor shall coordinate locations of equipment with all trades before starting construction. Any modifications to the equipment layout required for installation shall be performed at no additional cost to the Owner.

1.08 ARRANGEMENT OF WORK:

present a neat coordinated appearance. Install work as necessary to provide maximum possible headroom, adequate clearance and ready access for inspection, operation, safe maintenance and repair, and Code conformance. Where space appears inadequate, consult the Owner before proceeding with installation.

1.09 INSURANCE:

Furnish insurance certificates required by the Owner. 1.10 PERMITS, LAWS, ORDINANCES, CODES AND STANDARDS:

Obtain and pay for permits, inspections, licenses and certificates required. Work of this Contract shall meet State Building Code, State Fire Safety Code and other laws, rules and regulations of local, State and Federal authorities; National Fire Protection Association #90A and #90B; Latest Massachusetts Building Codes; National Electrical Code; and local utility company requirements. Pay utility company backcharges. Equipment, materials and components listed UL Product Directories, shall bear UL labels.

1.12 WORK BY OTHERS:

The HVAC Contractor shall install all motors provided under the HVAC Contract ready for wiring by the Electrical Contractor and shall furnish and deliver to the Electrical Contractor wiring diagrams for all motor starters for installation and wiring. The HVAC Contractor shall furnish motor starters, relays and all temperature control equipment to the Electrical Contractor for installation and wiring. The General Contractor shall perform all excavation, backfill, chases, openings, cutting, patching and finish work.

1.13 FIELD MEASUREMENTS

The HVAC Contractor shall verify in the field all measurements necessary for the work. Verify thermostat locations with the Owner before installation.

structure, conduits and piping of other trades.

1.14 WORKMANSHIP:

Equipment and materials shall be new, of first quality, selected and arranged to fit properly into spaces indicated. Install equipment and materials in accordance with manufacturer's recommendations.

1.15 COORDINATION WITH OWNER:

shall be subject to Owner limitations of date and duration.

Submit six (6) copies of manufacturer's drawings of the following to the Architect for

Submit information on any other equipment to be used when requested by the Architect or

Materials, equipment and workmanship shall have standard warranty against defects in

operation, adjustment and maintenance of all equipment and systems furnished.

Work shall be coordinated between trades to prevent unnecessary interference. Work shall

The HVAC Contractor shall coordinate supply, return and exhaust ductwork locations with

All work shall be scheduled with the Owner. Interruptions in the Owner's access to the site

1.16 OPERATION OF SERVICES AND UTILITIES:

Shutdown of existing services and utilities shall, without exception, be coordinated with the proper utility and with the Owner as to date, time of day, and duration before any service is interrupted. Notify the Owner of estimated duration of shutdown period at least ten days in advance of proposed shutdown.

1.17 PROTECTION:

Close open ends of work with temporary covers or plugs during construction to prevent entry of obstructing material or damaging water. Protect existing property, equipment and finishes from damage. Repair, to original condition, existing property that has been damaged during execution of the work.

1.18 CLEANING:

Work site must be kept clean. Rubbish, debris and leftover or excess materials shall be removed daily.

1.19 LUBRICATION:

No equipment shall be operated for temporary service or testing without proper lubrication. Items requiring lubrication shall be left freshly and fully lubricated at time of substantial completion. Furnish Owner with one (1) complete new set of any special lubrication devices required for servicing, e.g., grease guns, fittings and adapters.

1.20 PAINTING:

Mechanical and electrical equipment and materials shall have prime coat and standard manufacturer's finish. Painting of finished surfaces (excluding ceilings) shall be one coat primer and two coats vinyl base semi-gloss paint. Painting of ceiling shall be one coat primer and two coats flat white paint. Primer shall be omitted on repainting of existing surfaces.

1.21 CUTTING AND PATCHING:

Areas disturbed by new construction or demolition shall be patched and repaired to match existing conditions. Patch painting of ceilings shall include painting of entire ceiling of room involved. Patch painting of other surfaces shall be to nearest cut-off point.

1.22 WATERPROOFING:

Provide necessary sleeves, caulking and flashing required to make openings waterproof.

1.23 FIREPROOFING:

At closing of each working day, provide temporary firestopping in every opening cut between floors and through fire-rated partitions. Permanent firestops shall be provided around sleeves and at other permanent openings through fire-rated partitions and floors, as required. Materials used for fire stopping shall be Class A "Incombustible" with firestopping capabilities equal to that of adjacent construction.

1.24 BASES AND SUPPORTS:

Provide necessary supports, pads, bases and piers required. Equipment shall be securely attached to building structure in acceptable manner. Attachments shall be of strong and durable nature, as determined by the Owner.

1.25 ACCESS:

Provide adequately sized access doors, for access to concealed equipment and components requiring servicing or inspection. Doors shall have fire ratings equal to construction in which they are located.

1.26 TESTS:

Perform tests required by the Owner, legal authorities and agencies. Each piece of equipment, including motors and controls, shall be operated continuously for minimum one-hour test. Correct all defects appearing during tests, and repeat tests until no defects are disclosed. Final tests shall be made in the Owner's presence.

PART 2 - PRODUCTS

2.01 MATERIALS AND METHODS

INSULATION SYSTEMS:

Duct System Insulation:

Concealed air conditioning supply and return duct systems shall be insulated with 1-1/2" thick fiberglass duct wrap with continuous vapor barrier.

Insulate all exhaust ductwork on cold side of dampers, all plenums connected to louvers with 2" thick, rigid foil-faced fiberglass duct insulation. Acoustical lining, where shown, shall be nominal 1" think fiberglass duct liner, unless otherwise indicated. Acoustical lined ductwork shall be thermally insulated as well.

2.02 EXHAUST FANS

Ceiling mounted exhaust air fan shall be of the centrifugal diect drive type. The fan housing shall be constructed of heavy gauge galvanized steel. The housing interior shall be lined with 1" acoustical insulation. The outlet duct collar shall include an aluminum backdraft damper and shall be spring loaded. Grille shall be constructed of high impact poystyrene and shall be non-yellowing. Access for wiring shall be external. The motor disconnect shall be internal and of the plug in type. The motor shall be mounted on vibration isolators. The fan wheel shall be the forward curved centrifugal type and dynamically balanced. Fan shall be AMCA certified for sound and air performance and shall be UL listed.

PART 3 - EXECUTION

3.01 FIRE STOPS

All penetrations through fire rated walls, ceilings or floors in which pipes or ducts pass shall be sealed with a UL approved fire-stop fitting classified for an hourly rating equal to the rating of the wall, ceiling or floor.

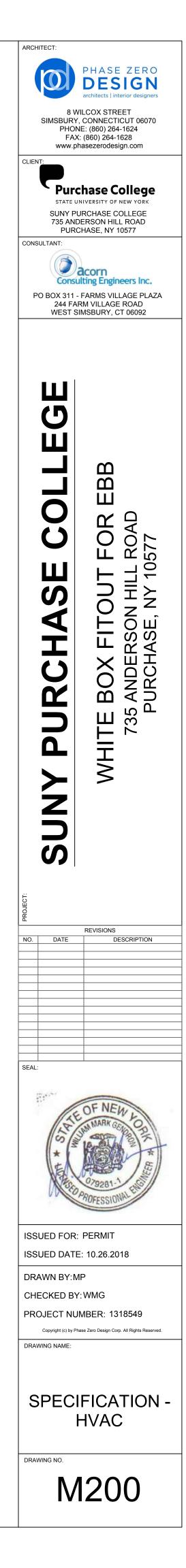
3.03 BALANCING AIR SYSTEMS

Provide all labor, materials and equipment required for the balancing of air systems. Balancing shall include rebalancing (adjusting of sheaves and replacing belts and motors as indicated) of exhaust fans and air furnace systems as required to provide air flows specified. The Balancing Contractor shall secure a set of as-built ductwork plans prior to commencing work.

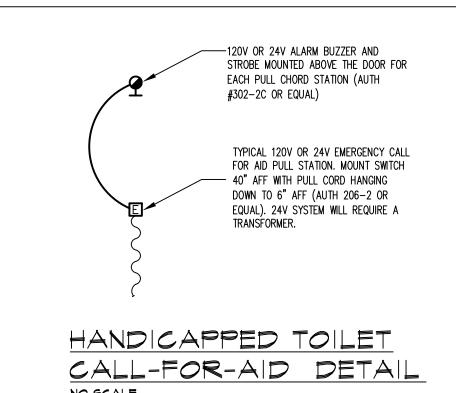
Upon completion of all tests and balancing operations, the Contractor shall submit eight (8) copies of the certified Balancing Report to the General Contractor. This report shall include all data for each of the air and water systems.

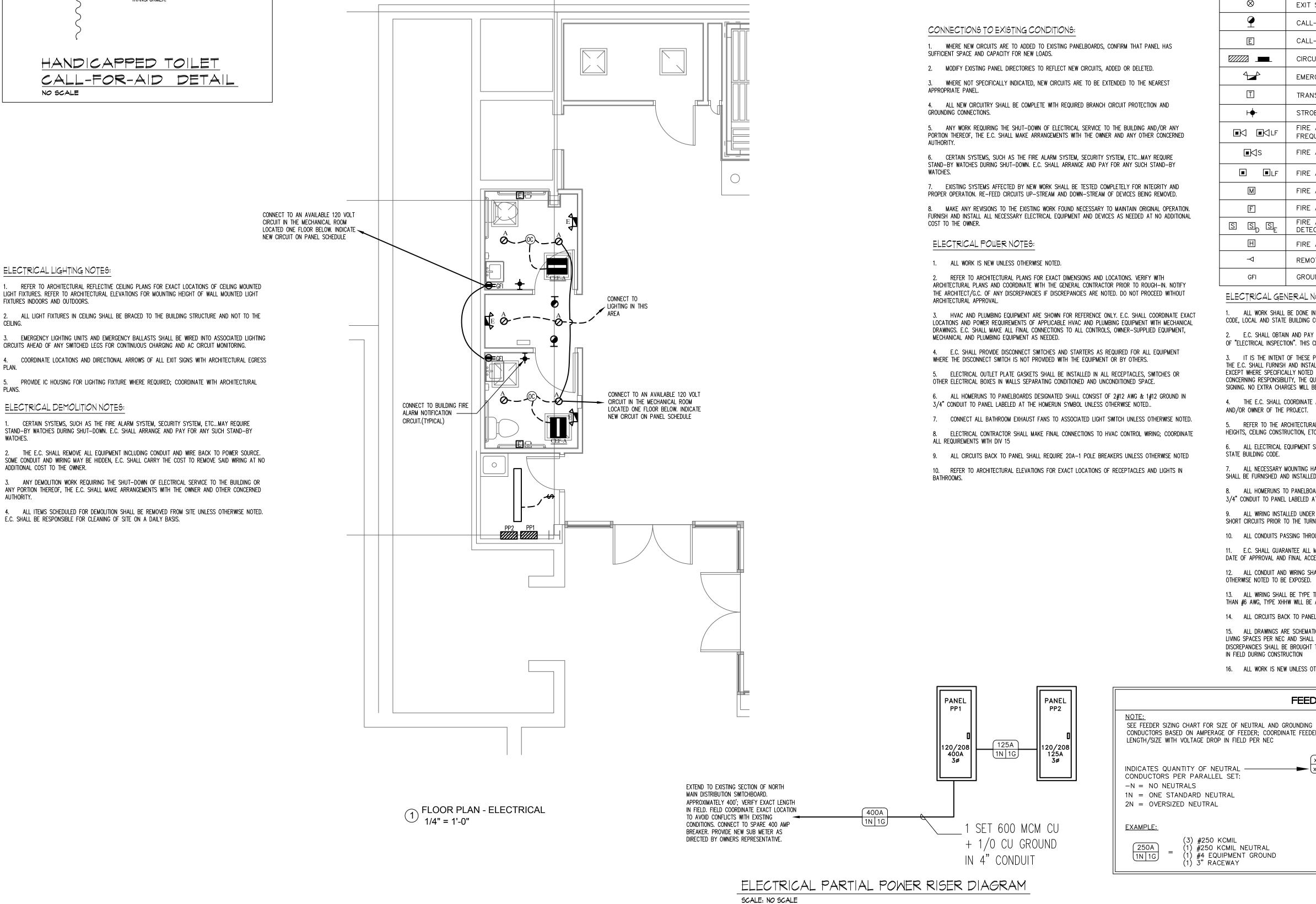
Balancing of systems shall be followed up after building is occupied; any rebalancing shall be done as required to meet occupant's requirements without extra charge.

END OF SPECIFICATION



		LIGHTING FIX	TURE SCHEDULE	
TYPE	MFG.	CATALOG #	DESCRIPTION	LA
A	PHILIPS	CAT# L6RA1VA; L6R15835VA; L6RBW	6" RECESSED DOWN LIGHT	
E	PHILIPS	CAT# CM-22400	EMERGENCY LIGHT WITH SELF TEST	





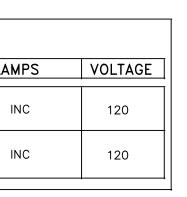
CEILING.

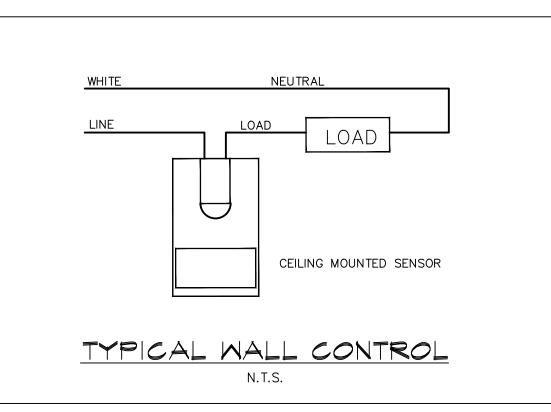
PLAN.

PLANS.

WATCHES.

AUTHORITY.





El	ECTRIC SYMBOL LIST
ф	DUPLEX RECEPTACLE OUTLET
P	DUPLEX RECEPTACLE OUTLET MOUNTED ABOVE COUNTERTOP
О О • Ю	TYPICAL LIGHTING FIXTURES (see schedule)
	TYPICAL LIGHTING FIXTURES WITH BATTERY BACKUP (see schedule)
\$	SINGLE POLE WALL SWITCH
\$3 \$4	WALL SWITCH; 3 DENOTES THREE WAY; 4 DENOTES FOUR WAY
00	LINE VOLTAGE OCCUPANCY SENSOR
	WIRE CONCEALED IN WALLS OR CEILING
/	SWITCHED CIRCUIT
	HOMERUN TO SERVICE PANEL; NUMBER OF WIRES INDICATED
\otimes	EXIT SIGN WITH BATTERY BACKUP (see schedule)
9	CALL-FOR-AID DOME LIGHT
E	CALL-FOR-AID PULL STATION
	CIRCUIT BREAKER PANEL BOARD – VOLTAGE NOTED
	EMERGENCY LIGHT WITH BATTERY PACK
Ī	TRANSFORMER
⊢∳-	STROBE LIGHT
	FIRE ALARM COMBINATION HORN/STROBE; LF DENOTES LOW FREQUENCY HORN/STROBE
∎⊲s	FIRE ALARM COMBINATION SPEAKER/STROBE
I ILF	FIRE ALARM HORN; LF DENOTES LOW FREQUENCY HORN.
М	FIRE ALARM MAG DOOR HOLDER
E	FIRE ALARM MANUAL PULL STATION
S S _D S _E	FIRE ALARM SMOKE DETECTOR; D DENOTES DUCT SMOKE DETECTOR, E DENOTES ELEVATOR RECALL
Н	FIRE ALARM HEAT DETECTOR
~	REMOTE EMERGENCY HEAD
GFI	GROUND FAULT CIRCUIT INTERRUPTER
ELECTRICAL GEN	NERAL NOTES:

ARCHITECT

CONSULTANT

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PHASE ZERO DESIGN

8 WILCOX STREET SIMSBURY, CONNECTICUT 06070 PHONE: (860) 264-1624

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Purchase College

STATE UNIVERSITY OF NEW YORK SUNY PURCHASE COLLEGE

735 ANDERSON HILL ROAD PURCHASE, NY 10577

Consulting Engineers Inc.

PO BOX 311 - FARMS VILLAGE PLAZA

244 FARM VILLAGE ROAD WEST SIMSBURY, CT 06092

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-IHM

REVISIONS

NO. DATE DESCRIPTION

ISSUED FOR: PERMIT

DRAWN BY:RJM

DRAWING NAME:

DRAWING NO.

CHECKED BY: WMG

ISSUED DATE: 10.26.2018

PROJECT NUMBER: 1318549

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FLOOR PLAN -

ELECTRICAL

OR 0AD

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acorn

1. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE, LOCAL AND STATE BUILDING CODES.

2. E.C. SHALL OBTAIN AND PAY FOR BOTH ROUGH AND FINAL INSPECTION AND OBTAIN A CERTIFICATE OF "ELECTRICAL INSPECTION". THIS CERTIFICATE SHALL BE PRESENTED WITH REQUEST FOR FINAL PAYMENT. 3. IT IS THE INTENT OF THESE PLANS TO PROVIDE A COMPLETE AND OPERATING ELECTRICAL SYSTEM.

THE E.C. SHALL FURNISH AND INSTALL ALL WIRING, CONDUIT, EQUIPMENT, MATERIAL, ETC. AS REQUIRED., EXCEPT WHERE SPECIFICALLY NOTED AS BEING FURNISHED BY OTHERS. SHOULD THERE BE ANY QUESTIONS CONCERNING RESPONSIBILITY, THE QUESTIONS SHALL BE SETTLED BEFORE BID SUBMISSION AND CONTRACT SIGNING. NO EXTRA CHARGES WILL BE ALLOWED.

4. THE E.C. SHALL COORDINATE ALL PHASING OF WORK WITH THE ARCHITECT, GENERAL CONTRACTOR AND/OR OWNER OF THE PROJECT.

5. REFER TO THE ARCHITECTURAL DRAWINGS FOR SPECIFIC DETAILS. ARRANGEMENTS, MOUNTING HEIGHTS, CEILING CONSTRUCTION, ETC. ALL COLORS AND FINISHES TO BE SELECTED BY THE ARCHITECT. 6. ALL ELECTRICAL EQUIPMENT SHALL BE SEISMICALLY SUPPORTED AS REQUIRED BY THE LOCAL AND

STATE BUILDING CODE. 7. ALL NECESSARY MOUNTING HARDWARE, HANGERS, BRACKETS, RAILS, YOKES, STEMS, CHAINS, ETC. SHALL BE FURNISHED AND INSTALLED BY E.C.

8. ALL HOMERUNS TO PANELBOARDS DESIGNATED SHALL CONSIST OF 2#12 AWG & 1#12 GROUND IN 3/4" CONDUIT TO PANEL LABELED AT THE HOMERUN SYMBOL UNLESS OTHERWISE NOTED.

9. ALL WIRING INSTALLED UNDER THIS CONTRACT SHALL BE TESTED FOR PROPER CONNECTIONS AND SHORT CIRCUITS PRIOR TO THE TURNING OVER OF WORK AS A COMPLETE UNIT.

10. ALL CONDUITS PASSING THROUGH PARTITIONS ARE TO BE APPROPRIATELY SLEEVED AND SEALED. 11. E.C. SHALL GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE

DATE OF APPROVAL AND FINAL ACCEPTANCE. 12. ALL CONDUIT AND WIRING SHALL BE RUN CONCEALED IN WALLS, FLOORS AND CEILINGS UNLESS

13. ALL WIRING SHALL BE TYPE THWN OR THW UNLESS OTHERWISE NOTED. FOR CONDUCTORS LARGER THAN #6 AWG, TYPE XHHW WILL BE ACCEPTED..

14. ALL CIRCUITS BACK TO PANEL SHALL REQUIRE 20A-1 POLE BREAKERS UNLESS OTHERWISE NOTED 15. ALL DRAWINGS ARE SCHEMATIC IN NATURE; ALL DEVICES SHALL BE INSTALLED IN ALL AREAS AND LIVING SPACES PER NEC AND SHALL BE DIMENSIONED IN FIELD TO MEET PROPER CODES; ALL DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION DURING BID PROCESS AND/OR ADJUSTED

16. ALL WORK IS NEW UNLESS OTHERWISE NOTED.

OTHERWISE NOTED TO BE EXPOSED.

IN FIELD DURING CONSTRUCTION

FEEDER LEGEND

xxxxA

► (xN | xG)·

CONDUCTORS BASED ON AMPERAGE OF FEEDER; COORDINATE FEEDER LENGTH/SIZE WITH VOLTAGE DROP IN FIELD PER NEC INDICATES QUANTITY OF NEUTRAL -CONDUCTORS PER PARALLEL SET: 1N = ONE STANDARD NEUTRAL

-INDICATES QUANTITY OF GROUND CONDUCTORS PER PARALLEL SET:

- INDICATES AMPERAGE OF FEEDER

UTILIZING THHN/THWN CONDUCTORS.

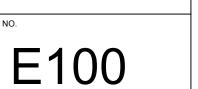
SEE FEEDER SIZING CHART FOR SIZING

OF PHASE CONDUCTORS AND RACEWAY.

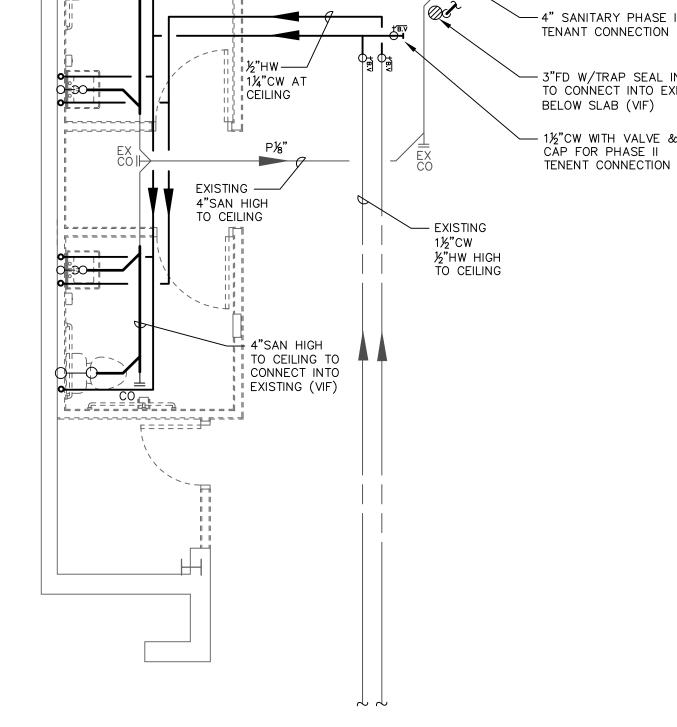
-G = NO GROUNDING CONDUCTORS1G = ONE EQUIPMENT GROUNDINGCONDUCTOR

2G = ONE EQUIPMENT GROUNDINGCONDUCTOR AND ONE ISOLATED GROUND CONDUCTOR





〔1〕

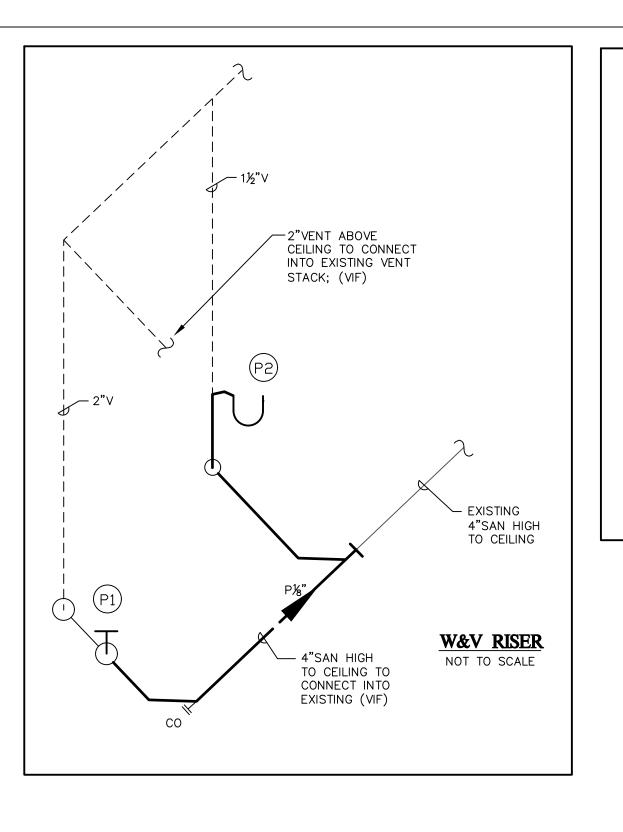


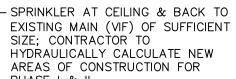
PLUMBING BASEMENT PLAN 1/4" = 1'-0"

EXISTING — 4"SAN DN

BELOW SLAB

00





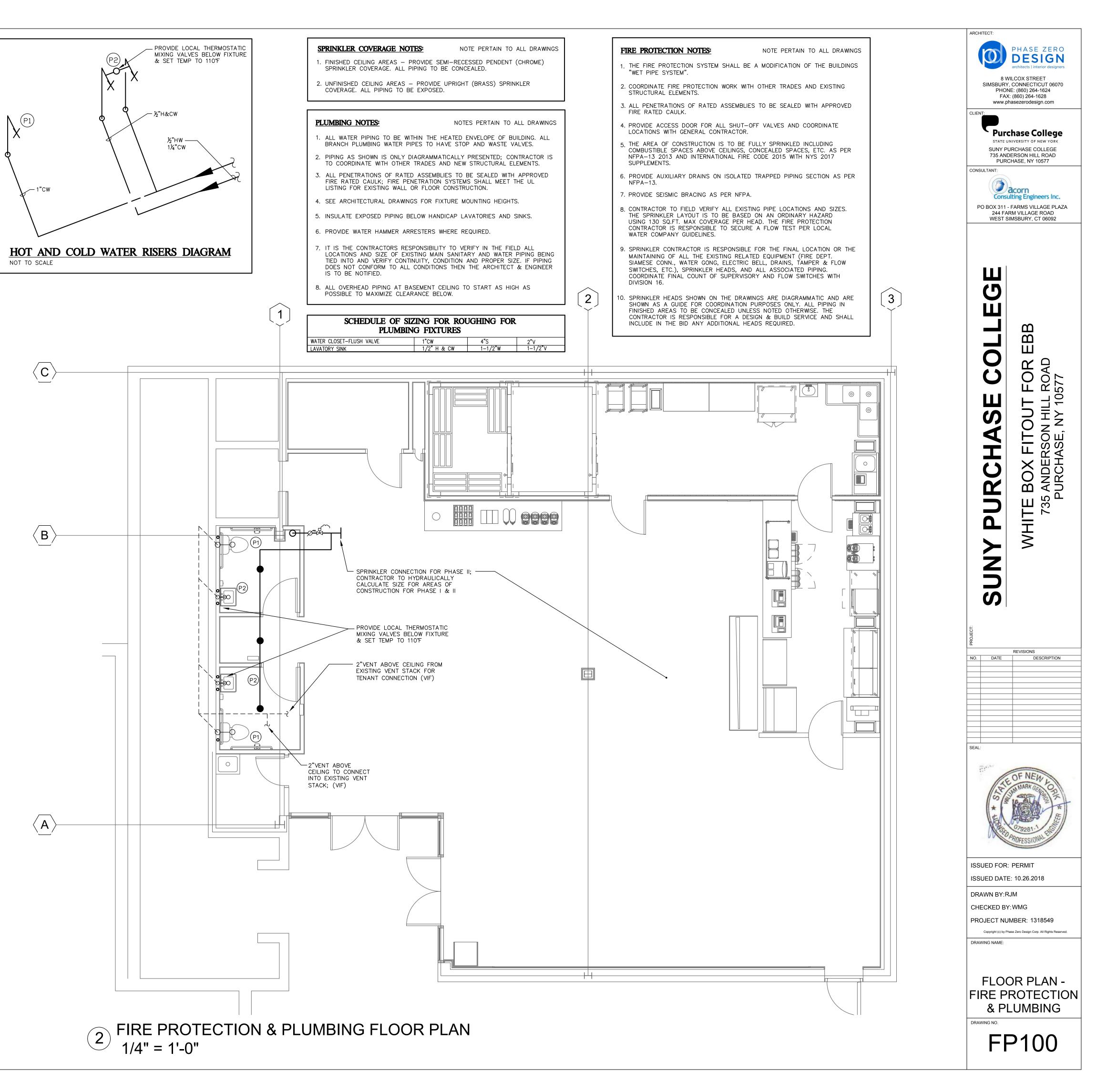
SIZE; CONTRACTOR TO HYDRAULICALLY CALCULATE NEW AREAS OF CONSTRUCTION FOR

- 3"FD W/TRAP SEAL INSERT TO CONNECT INTO EXISTING

1½"CW WITH VALVE &

TENANT CONNECTION POINT

PHASE I & II 4" SANITARY PHASE II



FIRE PROTECTION AND PLUMBING SPECIFICATIONS

PART I. WET-PIPE SPRINKLER SYSTEM

1.00 GENERAL

A. Intent of the specifications is to call for finished work, tested and ready for operation.

B. Material and equipment mentioned in specifications or shown on the drawings shall be furnished new, completely installed and adjusted, and left in a clean, safe, and satisfactory condition ready for operation.

C. Minor details not usually shown or specified, but necessary for the proper installation and operation of the work shall be included as if specified herein. D. Prior to submitting a bid, visit the site of the work, inspect the existing building and conditions so as to determine if these conditions will affect the

work. Bidders are cautioned that they will be held responsible for any assumptions made regarding existing conditions. E. Equipment and materials furnished or required shall be new, without blemish or fault, equipment shall bear labels attesting to approval by Underwriters

Laboratories, AGA, or other recognized testing laboratory where specified or required to have such approval. F. Where no specific indication as to type or quality is indicated, a first-class article shall be furnished.

G. Fully insure all employees, material and furnished work as required by the General Conditions of the contract.

H. Unless otherwise indicated, the work for each section shall include all scaffolding, rigging, hoisting and services necessary to deliver, install, erect in place all items as specified. Remove such handling materials when no longer needed.

1.01 WORK INCLUDED

A. Wet-pipe fire protection system modification.

B. Sprinkler heads.

C. Coordination with existing conditions.

D. Sprinkler system and devices signage.

E. Hangers and supports for sprinkler installation.

1.02 REFERENCES

A. NFPA-13 - Installation of Sprinkler Systems, 2013 Edition.

B. International Fire Code, 2015 Edition with "2017 NY State Fire Code Amendments".

C. International Building Code, 2015 Edition. "With NY State Supplements"

D. NFPA 220 — Types of Building Construction, 2013 Edition.

1.03 SYSTEMS DESCRIPTION

A. Modify existing wet-pipe sprinkler system as indicated.

B. The piping layout and head locations indicated on the Contract Drawings are diagrammatic. The Contractor is responsible for a complete, fully coordinated installation.

C. Coordinate existing structural elements and building construction for adequate coverage.

D. System shall be designed to meet NFPA—13 Standard, Engineer's requirements, Fire Marshal's requirements.

1.04 QUALITY ASSURANCE

A. Design and installation to conform to NFPA-13.

B. Equipment and Components: Bear UL.

C. Additional coverage shall conform to referenced code above.

D. System design and installation shall meet the requirements of the local Fire Marshal.

1.05 SUBMITTALS

A. Submit shop drawings and product data for approval.

B. Submit manufacturer's data, drawings, and installation instructions for all equipment and specialties.

C. Submit installation shop drawings, including major building structural components, detailed pipe layout, elevations, hanger and support locations, seismic brace locations, and components and accessories. Show all changes in ceiling elevation, obstructions. Coordinate these shop drawings with all building elements, including, but not limited to, mechanical system, electrical systems, structural systems, architectural components, reflected ceilings, etc. Provide dimensioning of critical areas.

D. Shop Drawings shall be $\frac{1}{4}$ " equals 1'-0" scale minimum.

E. After successful review by Architect and Engineer, submit shop drawings to Owner's insurance underwriter and local Fire Marshal for approval. Submit proof of approval to Architect/Engineer. Any deviation from approved plans must require approval from the Fire Marshal and Architect/Engineer.

PART 2 PRODUCTS

2.01 SPRINKLER HEADS

A. Coordinate replacements and new head with same manufacturer as existing.

1. Adjustable pendent chrome type.

- 2. Upright brass heads.
- 2.02 PIPING

A. Provide schedule 40 steel piping (threaded).

PART 3 EXECUTION

3.01 PREPARATION

A. Coordinate work of this Section with other affected work.

B. The Contractor shall field verify prior to the installation of the sprinkler system the location of exposed structure and other building elements. The Contractor shall furnish and install the appropriate sprinkler head type and spacing per NFPA for this application.
3.02 INSTALLATION - PIPING

A. Place pipe runs to minimize obstruction to other work and existing construction. Provide pipe offsets to avoid all obstructions and interferences.

B. The Contractor may be allowed to deviate from the design drawings with the permission of the Engineer. The Contractor shall be responsible for any additional expenses that the deviation may require.
 C. Hangers and supports shall be in accordance with the requirements of Section 6–1 of NFPA–13 for Sprinkler piping.

D. Where necessary or directed by the Fire Marshal, provide intermediate pipe support members, connecting these members into existing building structure.

3.03 DELIVERY, STORAGE AND HANDLING

A. Provide temporary caps.

B. Maintain caps in place until installation.

3.04 EXTRA STOCK

A. Provide extra sprinkler heads under provisions of NFPA-13. Provide extra sprinkler heads in proportion to the type of heads installed.

B. Provide suitable wrenches for each head type.

C. Provide sprinkler head cabinets to store the extra supply of heads and wrenches in locations designated.

3.05 CLEANING

A. Flush entire piping system of foreign matter.

3.06 SYSTEM TESTS

A. Hydrostatically test entire refurbished system.

B. Test shall be witnessed by authority having jurisdiction.

II. PLUMBING SPECIFICATIONS

1.01 SCOPE

A. All plumbing equipment, materials and accessories necessary to complete the plumbing system as shown on drawings and described, or as required to put the system in operation, are a part of this Contract.

B. Work shall include furnishing all labor and materials, equipment, and tools necessary to install a complete plumbing system as shown on Drawings and/or called for in the specifications, Including all pipe valves, fittings, fixtures, drains, insulation, miscellaneous specialties and accessories. Contractor, to identify in field all existing sanitary, vent, cold water and hot water in order to connect new plumbing lines.

C. The plumbing system for the building shall consist of, but not be limited to, the following:

1. A complete gravity sanitary system, vent and drain pipes to be connected into existing sanitary/vent system.

2. A complete system of hot and cold water piping system to fixtures.

3. Insulation of piping, as hereinafter described.

1.02 SOIL, WASTE, VENT AND DRAINAGE LINES

A. All offsets shall be made at an angle of not more than 45 degrees, and all horizontal runs shall have a pitch of not less than ½" to the foot (¼" for piping under 3"). Branch, waste and vent connections shall be run to the house drain or vent stacks as shown on the Drawings. Vertical vent pipes may be connected to a stacks as shown on the Drawings. Vertical vent pipes may be connected to a one main vent riser above fixtures serving other fixtures, the vent line shall be extended 3 ft. above the floor on which the fixtures are located vent line before being connected to the other vent lines, so as to prevent the use of any vent line as a waste.

B. All changes in pipe size shall be made with reducing fittings or recessed reducers, Y—fittings, and ½" or ½6" bends or combination Y— and ½" bends shall be used where possible.

C. Sanitary long sweep bends and T's shall be used for connections to branch lines for fixtures and on vertical runs on pipe. Long turn fittings shall be used wherever conditions permit. Long sweep fittings shall be used on all horizontal to vertical runs.

D. Soil, waste, and vent branch piping installed above floor slab shall be Copper Type "L" and fittings. Joints to be 95—5 solder. Soil & waste piping installed below floor slab shall be Cast lron type with fittings. (Contractor to use plenum rated materials as required.)

1.03 CLEANOUTS

A. The plumbing contractor shall provide cleanouts, of same size as line served up to 4", at changes in direction of drain lines of 90 degrees or more, and elsewhere as required by the Plumbing Code.

B. Cleanouts shall have raised heads and shall be located and installed so that they may be readily accessible and removable for cleaning lines.

1.04 WATER PIPING

A. Plumbing contractor shall supply and install valves, a complete system of hot and cold water piping, plumbing fixtures, etc., all as shown on Plumbing Drawings.

B. Hot and cold water piping shall be hard drawn copper tubing Type "L". Joints to be 95-5 solder.

C. Pipe sizes shall be not less than sized indicated on Drawings and specified herein.

1.05 CONNECTIONS TO FIXTURES

A. All branches from mains shall be equipped with stop and waste valves.

B. Connections shall be made from the top of the mains, unless otherwise specified. Branches shall drain toward the mains. The piping installation shall be so arranged that the entire system can be drained through accessible valves at low points. The plumbing contractor shall provide the necessary valves.

A. Where union connections are installed on pipe 1" in diameter and smaller, they shall be of brass composition "B".

B. All piping shall be provided at intervals with unions to permit alterations and repairs.

1.07 VALVES

1.06 UNIONS

A. The entire plumbing system shall be provided with valves, so located that they may be operated, repaired and/or replaced with a minimum of effort.

B. The following list of valves is intended only as a guide to the plumbing contractor:

1. Ball Valves, 1/4" - 4" - WATTS B6000 Series.

2. Gate Valves, ¼" - 4" - WATTS GV Series.

3. Globe Valves, ½" - 2" - WATTS GLV Series.

4. Stop and Waste Valves, 1" and smaller - WATTS Series SWS.

C. Valves shall be Crane, Jenkins, Red & White or Nibco, located as shown on Drawings, and on all branch mains.

1.08 PIPE SUPPORTS

A. Piping shall be supported form the building structure by means of approved hangers and supports. Pipeline shall be supported to maintain required grading and pitching of lines to prevent vibration and to secure piping in place, and shall be so arranged as to provide for expansion and contraction.

B. The spacing of hangers shall not be greater than 4 ft. center to center for pipe smaller than 1".

C. Vertical lines shall be adequately supported at their bases by a suitable hanger in place with the horizontal line near the riser.

D. Hangers for copper tubing shall be copper plated, equal to Grinnell No. 97 CP. All other hangers shall be adjustable clevis hangers. Hanger rods shall have machine threads.

1.09 PIPE SLEEVES AND RECESSES

A. The plumbing contractor shall furnish and install sleeves in connection with all piping passing through masonry. Plumbing contractor shall be responsible for location, setting and anchoring of sleeves in a substantial manner so that they will not be displaced. Plumbing pipes run in sleeves shall be made Fireproof by Contractor. Fire protection system shall meet the UL listing for existing wall or floor construction.

B. Where recesses are required for piping, the plumbing contractor shall instruct the various trades as to sizes and locations required in advance of construction.
 1.10 ESCUTCHEONS

A. Where un-insulated, exposed pipes pass through floors, finished walls, or finished ceilings, they shall be fitted with neat, heavy spun or stamped escutcheons, firmly secured to pipes. Escutcheons shall be of sufficient outside diameter to amply cover the sleeve openings for pipes. Escutcheons shall be nonferrous metal, chromium plated.

1.11 INSULATION OF PIPING

A. All insulation and covering on pipe and tubing to meet the IBC2003 Section 719.7 for flame spread index.

B. Hot Water Lines: All hot water pipes shall be insulated with closed cell elastomeric insulation, ¾" thick, as manufactured by Armstrong Corporation, Johns-Manville, or approved thermal equal.

C. Cold Water Lines: All cold water pipes, including horizontal and vertical runs, shall be insulated with closed cell elastomeric insulation, ½" thick, with factory applied vapor barrier jacket, as manufactured by Armstrong Corporation, Johns-Manville, or approved thermal equal.

1.12 PLUMBING FIXTURES - GENERAL REQUIREMENTS

A. Plumbing contractor shall furnish and install all fixtures in accordance with the Drawings and with the schedule.

B. Where escutcheons are not furnished with plumbing fixtures, the plumbing contractor shall supply them.

C. Each fixture shall be separately trapped, using the type and size of trap required by the Plumbing Code.

D. Unless otherwise specified, faucets and all exposed fittings shall be chromium plated.

E. All low voltage wire for fixtures and or faucets shall be provided and installed by contractor.

F. The Owner and the Architect shall be the final judges as to whether fixtures fulfill the requirements of the specifications and as to whether they are of a suitable quality.

1.13 INSTALLATION

1.14 ACCESS DOORS

A. Plumbing contractor shall furnish, set, seal and connect all fixtures and accessories shown and specified, including all necessary supports, connections, fittings and parts required to fully complete the plumbing installation.

A. Where access doors in walls or ceilings are required for valves, traps, etc., they shall be of flush type with anchor, frame and hinged panel as manufactured by Milcor or Zurn. Access doors shall be furnished by plumbing contractor to the General Contractor who will install them.

ARCHITECT PHASE ZERO DESIGN 8 WILCOX STREET SIMSBURY, CONNECTICUT 06070 PHONE: (860) 264-1624 FAX: (860) 264-1628 www.phasezerodesign.com Purchase College STATE UNIVERSITY OF NEW YO SUNY PURCHASE COLLEGE 735 ANDERSON HILL ROAD PURCHASE NY 10577 CONSULTANT acorn Consulting Engineers Inc. PO BOX 311 - FARMS VILLAGE PLAZA 244 FARM VILLAGE ROAD WEST SIMSBURY, CT 06092 C Ш m Ш 0 OR 0AD C ĽК Ω 10 S S S CHA: C <u>о</u> С Ο ΞŘ Ľ Μ≤⊇ Ω LO D S Ξ \geq REVISIONS NO. DATE DESCRIPTION **ISSUED FOR: PERMIT** ISSUED DATE: 10.26.2018 DRAWN BY:RJM CHECKED BY: WMG PROJECT NUMBER: 1318549 Copyright (c) by Phase Zero Design Corp. All Rights Reserved. DRAWING NAME: **SPECIFICATION & DETAILS - FIRE PROTECTION &** PLUMBING DRAWING NO.

FP200

1.15 TESTING AND START-UP

A. Test all drainage piping, including vents to a minimum of 10 feet head for 2 hours without leakage or any drop in water level.

B. Test all hot and cold water piping hydraulically to 150 psig for 24 hours without leaks or loss of pressure.

C. Flush all piping to remove all dirt and debris before starting up any system.

D. Check the water flow at faucet. Run full flow tests for each system and correct any noise, vibration, or water hammer.

E. Perform disinfection of domestic water piping system, as required by Code.

FIXTURE SCHEDULE

 FIXTURE: "Kohler", Highline, ADA High Efficiency Elongated Toilet, Model #K-4405 Vitreous china. 17%" Rim Height, 1.28 Gal. flush, Elongated bowl, 1½"Top spud, Floor mounted, Floor outlet. Fixture is ADA Compliant.
 Trim: Touchless DC toilet flushometer, Model #K-10956.
 Seat: "Olsonite" #47 elongated bowl, open front seat less cover.

FIXTURE: "Kohler", Soho, Wall mounted lavatory, Model #K-2054, Vitreous china, 4" center holes, concealed arms. Provide with wall carrier, Braided supplies, stops & escutcheons, 1¼" 17ga chrome P-trap, Front overflow, 22"x19¾" size. Undersink protection by "TRUEBRO LAV GUARD" Model #103. Trim: "Symmons" Model #S-6080-G-1, Ultra Sense Battery Faucet with grid drain assembly, single hole, chrome finish, vandal resistant ½GPM aerator. Fixture is ADA Compliant. Provide with symmons local mixing valve below deck.

	S	YMBOL LIST
•		COLD WATER PIPE (CW)
•		HOT WATER PIPE (HW) (110°F)
•		HOT WATER RECIRCULATION PIPE (HWR) (110°F)
•	— s —	SANITARY PIPE (BROKEN LINE IS BELOW FLOOR)
•		VENT PIPE (V)
•	CD	CONDENSATE / DRY PIPE
•		DIRECTION OF FLOW
•	wco	WALL CLEANOUT
•		CHECK VALVE
•	р <mark>в.v</mark> О	BALL VALVE
•	G	GAS PIPE
•	₹	GAS SHUT OFF
•	н.в. ++	HOSE BIBB (NON-FREEZE WHEN INDICATED)
•	F.D. ØG-	FLOOR DRAIN
•	FC0 (C)	FLOOR CLEANOUT
•	(VIF)	VERIFY IN FIELD
•	EX	EXISTING

	FIRE LEGEND
•	PENDENT CHROME SPRINKLER HEAD.
X	UPRIGHT BRASS SPRINKLER HEAD.
	SIDEWALL SPRINKLER HEAD
	EXTENDED COVERAGE SIDEWALL SPRINKLER HEAD
	OS&Y GATE VALVE WIRED BY DIVISION 16
W	WET PIPE SYSTEM
Ø ⁴⁴	FLOW SWITCH WIRED BY DIV. 16.

