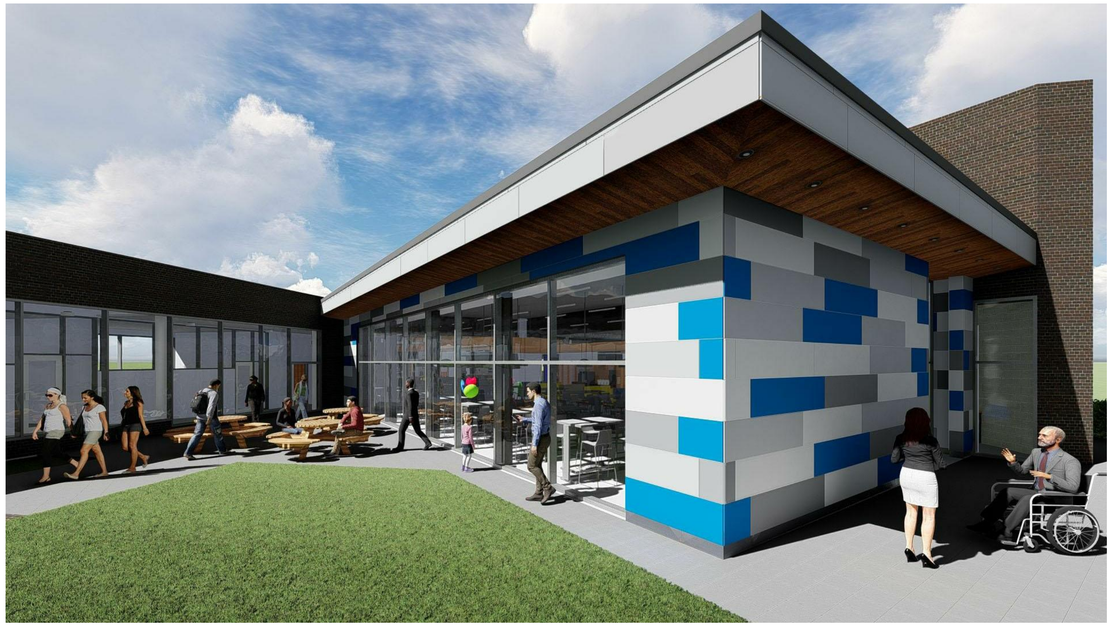
PHASE ZERO DESIGN

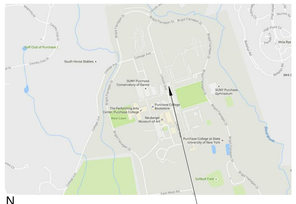
SUNY PURCHASE COLLEGE

CAFE ADDITION AND RENOVATION

735 ANDERSON HILL RD
PURCHASE, NY 10577



ISSUED FOR: BID, 02.16.2018



N

SUNY PURCHASE COLLEGE
735 ANDERSON HILL RD
PURCHASE, NY 10577

LOCUS PLAN

N

PROJECT LOCATION
THE HUB AT PURCHASE COLLEGE

KEY PLAN

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF A NEW ADDITION TO THE STUDENT DINING COMMONS.

THE PROJECT CONSISTS OF THE FOLLOWING WORK:

- LIMITED LOCAL DEMOLITION ONLY AS NEEDED FOR NEW CONSTRUCTION.
- EXISTING DINING SPACE (BUILDING ENVELOPE AND TENANT DEMISING WALLS)
- EXISTING/ MODIFIED ROOF PER NEW HVAC
- EXISTING/ MODIFIED FIRE PROTECTION
- NEW INTERIOR PARTITIONS AND DOORS
- NEW SPECIALITY EQUIPMENT & CONNECTIONS
- NEW PLUMBING AND FLOOR PENETRATIONS
- NEW AIR HANDLING UNITS AND DISTRIBUTION
- NEW ELECTRICAL DISTRIBUTION

PROJECT DESCRIPTION

OWNER

SUNY PURCHASE COLLEGE
735 ANDERSON HILL RD
PURCHASE, NY 10577

ARCHITECT

PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CT 06070
T: 860.264.1624
PROJECT MANAGER: CHRIS MILLIARD
E-MAIL: cmilliard@phasezerodesign.com

CIVIL ENGINEER

DOUCET & ASSOCIATES
136 WEST ST. #103
NORTHAMPTON, MA, 01060
T: 413.208.2349
CONTACT: LARRY RUSIECKI
E-MAIL: lrusiecki@doucetengineers.com

MEP ENGINEER

INNOVATIVE ENGINEERINGS SERVICES
33 NORTH PLAINS INDUSTRIAL ROAD
WALLINGFORD, CT, 06492
T: 732.280.5623
CONTACT: PETER PYCELA
E-MAIL: ppycela@iesllc.biz

STRUCTURAL ENGINEER

SZEWCZAK ASSOCIATES STRUCTURAL ENGINEERS
200 FISHER DRIVE
AVON, CT, 06001
T: 860.677.4570
CONTACT: RICH SZEWCZAK
E-MAIL: richard@szewczakassociates.com

DESIGN CONSULTANT

VISION BUILDERS
305 FOSTER AVE, SUITE 100
CHARLOTTE, NC 28203
T: 704.405.3106
CONTACT: KEITH FENNELLY
E-MAIL: keith@visionbuildersusa.com

PROJECT TEAM

SHEET INDEX

ARCHITECT:

PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:

chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:

Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:

SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID

ISSUED DATE: 02.16.2018

DRAWN BY: JW

CHECKED BY: CM

PROJECT NUMBER: 1517347

DRAWING NAME:

TITLE SHEET

DRAWING NO.

G000

Plot Date: 2/20/2018 5:30:25 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub.j_woodworth.rvt

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO FEDERAL, STATE AND MUNICIPAL CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS. THESE SHALL SUPERSEDE DRAWINGS, NOTES AND DIMENSIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED OF SUCH CHANGES BEFORE WORK IS STARTED. CONTRACTOR SHALL OBTAIN PERMITS BEFORE STARTING WORK, AND OBTAIN APPROVALS OF ALL REGULATORY AGENCIES UPON COMPLETION, AND AS REQUIRED

2. THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, OWNER-CONTRACTOR AGREEMENTS AND ALL ADDENDA ISSUED PRIOR TO AND ALL PLAN CHANGES ISSUED AFTER EXECUTION OF THE PROJECT MANUAL.

3. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING; ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT DEFINED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK SHOWN.

4. GENERAL CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SCHEDULE AND IS SOLELY RESPONSIBLE FOR CONSTRUCTION SEQUENCING, METHODS AND TECHNIQUES.

5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PAYING FOR AND OBTAINING ALL PERMITS, INSPECTIONS, REQUIRED TESTS AND UTILITY CONNECTIONS, TERMINATIONS, AND CAPPING UNLESS OTHERWISE NOTED.

6. ANY WORK INVOLVING ALTERATIONS TO EXISTING BUILDING UTILITIES & WHICH REQUIRE UTILITY SHUT DOWN, SHALL BE COORDINATED WITH THE OWNER AND SHALL REQUIRE A MIN. OF (5) FIVE DAYS NOTICE.

7. IN THE EVENT OF DISCREPANCIES IN THE DRAWINGS, THE COSTLIER OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE STATED IN WRITING, FROM THE OWNER OR OWNER'S REPRESENTATIVE. ANY DISCREPANCIES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

8. GENERAL CONTRACTOR SHALL WARRANT WORK PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

9. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KEEP THE PREMISES CLEAN OF DEBRIS, RUBBISH, EXCESS MATERIALS, ETC. RESULTING FROM THE WORK OF THIS CONTRACT. OFFICE AREAS SHALL BE BROOM CLEAN EACH WORK DAY. AT THE END OF THE JOB THE SPACE SHALL BE BROOM CLEANED ONE LAST TIME WITH ALL LABELS, STICKERS, PAINT AND WRAPPING MATERIALS REMOVED FROM FIXTURES, WINDOWS AND FLOORS AS TO REQUIRE ONLY NORMAL WASHING AND CLEANING PRIOR TO THE TURNOVER OF THE SPACE TO THE TENANT.

10. CHARGES FOR EXTRA WORK DONE BY THE CONTRACTOR WILL NOT BE HONORED UNLESS THE WORK AND THE AMOUNT ARE AGREED TO BY THE OWNER, OR THEIR AGENT, IN WRITING BEFORE THE WORK IS DONE, BASED UPON UNIT PRICING.

11. AS REQUIRED BY CODE, EACH CONTRACTOR AND EACH SUBCONTRACTOR SHALL OBTAIN REQUIRED INSPECTION OF THAT PORTION OF WORK.

12. CONTRACTOR TO COORDINATE WORK WITH THE CITY/OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. COORDINATE WORK WITH OTHER CONTRACTS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AOCCUPANTS, INCLUDING TRASH REMOVAL ACCESS.

13. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. CONTRACTOR TO INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

14. CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

15. CONTRACTOR TO PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE. CONTRACTOR TO COORDINATE TRASH ACCESS.

16. CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH COUNTY TO PROVIDE SECURITY.

17. PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING TO FACE OF FRAMING/MASONRY/ FOUNDATION, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.

18. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION. CONTRACTOR TO RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.

19. CONTRACTOR TO UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, U.O.N.

20. CONTRACTOR SHALL PROVIDE CONSTRUCTION BARRICADES OR FENCING AS REQUIRED AND AS APPROVED BY THE CITY FOR PUBLIC SAFETY PRIOR TO COMMENCING THE WORK.

21. CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.

22. WHERE A TYPICAL CONDITION IS DETAILED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.

23. GENERAL CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL, TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.

24. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.

25. ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES

26. SPECIFICATIONS, BOUND SEPARATELY, ARE PART OF THE CONTRACT DOCUMENTS.

27. THE ORGANIZATION OF THE DRAWINGS AND SPECIFICATIONS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.

28. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. IF CONFLICT IS FOUND BETWEEN DRAWINGS, GENERAL NOTES AND SPECIFICATIONS, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

29. THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND ELECTRICAL WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS THAT WOULD CAUSE AN AWKWARD INSTALLATION, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.

30. NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE DESIGN PROFESSIONAL.

31. G.C. TO PROVIDE LEVEL 4 DRYWALL FINISH THROUGHOUT SPACE U.O.N.

32. ALL DEMOLITION IS AS REQUIRED FOR NEW CONSTRUCTION.

33. ALL MATERIAL TO BE NEW UNLESS OTHERWISE NOTED "EXISTING".

34. MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

35. VERIFY KEYING REQUIREMENTS OF ALL LOCKS, BOTH NEW AND EXISTING, WITH OWNER.

36. IF REQUIRED UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL OBTAIN A CERTIFICATE OF OCCUPANCY FROM THE BUILDING DEPARTMENT.

DEMOLITION NOTES

1. THE TERM "PATCH AND REPAIR" SHALL BE DEFINED AS: THE PROCESS OF REPAIRING FLOOR, WALL, OR CEILING SURFACES THAT HAVE BEEN DAMAGED OR ARE ADJACENT TO DEMOLISHED CONSTRUCTION. THE REPAIR SHALL INCLUDE, BUT NOT BE LIMITED TO: FILLING VOIDS SOLID WITH CONCRETE, PREPARING SURFACES FOR NEW FINISH MATERIAL PER MANUFACTURER'S RECOMMENDATIONS, MATCH EXISTING FINISHES AND MATERIALS WHERE NO NEW FINISHES ARE CALLED FOR, CLOSING WALL, FLOOR OR ROOF PENETRATIONS AS DIRECTED BY ARCHITECT.

2. THE TERM "SALVAGE" SHALL BE DEFINED AS: THE PROCESS OF THE CONTRACTOR CAREFULLY REMOVING THE MENTIONED ITEM, SUCH THAT IT IS IN A USABLE CONDITION, AND STORING IT (IN LOCATION DETERMINED BY OWNER) UNTIL NEEDED FOR THE CONSTRUCTION PHASE. IF THE CLIENT DOES NOT NEED SAID ITEM CONTRACTOR SHALL DISPOSE OF PROPERLY AT NO ADDITIONAL COST.

3. DEMOLITION CONTRACTOR TO COORDINATE ALL PHASES OF DEMOLITION FOR PROJECT AND NOTIFY ARCHITECT AND AT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF CONSTRUCTION.

4. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.

5. GC TO VERIFY WITH PROPERTY MANAGER REQUIREMENTS FOR CONSTRUCTION BARRIER. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.

6. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.

7. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.

8. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. AND LEAVE ALL AREAS BROOM CLEAN DAILY.

9. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK. RETURN ALL F.F.& E. ITERMS TO THE OWNER.

10. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, U.O.N.

12. REF. ARCHITECTURAL AND MEP DRAWINGS. COORDINATE SCOPE OF DEMOLITION WITH ARCH AND MEP.

13. REMOVE ALL CEILING, GRID, LIGHTS FIXTURES, SUPPORTS AND BRACING THROUGHOUT, U.O.N.

14. DEMO ALL EXISTING FINISHES THROUGHOUT. PREP SLAB AS REQUIRED FOR NEW FINISHES.

15.GC TO VERIFY THE REMOVAL OF ELECTRICAL, MECHANICAL, AND PLUMBING ELEMENTS DO NOT IMPACT THE REMAINING AREAS OUTSIDE OF CONSTRUCTION SCOPE.

HVAC

16. COORDINATE REMOVAL AND / OR RELOCATION OF MECHANICAL UNITS IN PLENUM SPACE WITH MEP DRAWINGS. RELOCATION OF UNITS REQUIRED BY NEW CONSTRUCTION SHALL BE COORDINATED WITH DEMOLITION WORK.

17. REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK. DEMO EXISTING MECHANICAL DUCTS BACK TO MAIN TRUNK, VERIFY WITH MEP PRIOR TO THE START OF ANY MECHANICAL DEMO WORK.

18. REMOVE ALL ABANDONED SMOKE FIRE DAMPERS AS REQUIRED BY NEW CONSTRUCTION, INCLUDING ALL ELECTRICAL AND CONNECTIONS.

19. CONTRACTOR SHALL MAINTAIN THE INTEGRITY AND CONTINUITY OF THE EXIST. BASE BUILDING SYSTEMS AND SHALL EXERCISE CARE BY NOT DEMOLISHING, OR DISRUPTING ANY BASE BUILDING SYSTEMS. ANY DAMAGED AND/OR DISCONNECTED SERVICE SHALL BE RESTORED AT CONTRACTOR'S COST.

ELECTRICAL

20. REMOVE ALL LIGHT FIXTURES, EXIT SIGNS, LIGHT SWITCHES, POWER AND TELE/DATA OUTLETS. REMOVE ALL BRANCH CIRCUIT FEEDERS, INCLUDING CONDUITS, BOXES AND WIRING BACK TO ELECTRICAL PANELBOARDS. CONTRACTOR SHALL SWITCH ALL SPARE BREAKERS TO OFF POSITION FOR FUTURE REFERENCE. ALL ABANDONED CONDUIT AND CABLING SHALL BE COMPLETELY REMOVED BACK TO ORIGIN.

21. MAINTAIN CIRCUIT CONTINUITY TO AREAS NOT AFFECTED BY WORK. CONTRACTOR SHALL REWORK BRANCH FEEDER HOME-RUNS AS REQUIRED TO KEEP CONTINUITY TO EXISTING LIGHT FIXTURES, EXIT SIGNS AND DEVICES IN AREAS NOT BE DEMOLISHED.

22.GC TO MAINTAIN CLEAR PATHWAY TO EXISTING ELECTRICAL PANELS. PANELS MAY NEED TO BE ACCESSED BY COLLEGE.

23. GC TO GIVE A MINUMUM OF 72 HOUR NOTICE TO COLLEGE PRIOR TO ANY SHUTDOWNS.

PLUMBING

24. IN DEMOLITION AREAS, UNUSED PIPING SHALL NOT BE ABANDONED "IN PLACE". PIPING SHALL BE REMOVED BACK TO SOURCE OR POINT OF DISCHARGE, AND THE RESULTING OPENINGS PLUGGED U.N.O.

25. EXISTING PLUMBING FIXTURES AND EQUIPMENT TO BE REMOVED SHALL BE DISPOSED OF BY THIS CONTRACTOR AS DIRECTED BY THE OWNER.

26. DISCONNECT AND REMOVE EXISTING UNUSED PIPING AND FIXTURES WITHOUT INTERRUPTING EXISTING REQUIRED FUNCTIONING SYSTEMS.

27. UNUSED PIPING AND RELATED ITEMS CONCEALED IN WALLS, FLOORS AND CEILING WITHIN THE STRUCTURE SHALL BE ABANDONED.

28. WASTE AND SANITARY DRAINAGE PIPING NOT TO BE USED SHALL BE REMOVED AND PLUGGED AT ACTIVE MAIN OR RISER. NO DEAD ENDS SHALL REMAIN LONGER THAN TWO (2) FEET.

FIRE ALARM

29. ALL EXISTING FIRE ALARM EQUIPMENT TO REMAIN. WALL MOUNTED EQUIPMENT (I.E. HORN/STROBE) SHALL BE REMOVED PRIOR TO DEMOLITION OF WALL FINISH MATERIALS AN SALVAGED FOR REINSTALLATION AFTER THE NEW WALL FINISH MATERIAL HAVE BEEN INSTALLED.

TURNOVER NOTES

1. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS AND FURNISH OWNER'S REPRESENTATIVE WITH THE CERTIFICATE OF OCCUPANCY. G.C. IS ALSO TO PROVIDE A TYPE-WRITTEN LIST OF NAMES, ADDRESSES AND PHONE NUMBERS OF ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE ENTIRE SPACE CLEANED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE TIME OF TURNOVER.

3. PRIOR TO OPENING OF SPACE, CONTRACTOR IS TO ARRANGE FOR A NEBB CERTIFIED INDEPENDENT BALANCING CONTRACTOR TO BALANCE THE HVAC SYSTEM AND PROVIDE A COPY OF THE BALANCING REPORT TO THE OWNER AND LANDLORD'S REPRESENTATIVE IN A FORMAT ACCEPTABLE TO THE LANDLORD.

4. CONTRACTOR TO TURN OVER ALL KEYS TO THE OWNER'S REPRESENTATIVES AND MARK EACH KEY FOR IDENTIFICATION.

5. THE CONTRACTOR SHALL SET ALL THE TIME CLOCKS, THERMOSTATS, ETC. PER THE REQUIREMENTS OF THE OWNER'S REPRESENTATIVE.

6. THE CONTRACTOR SHALL EXPLAIN THE OPERATION OF ALL MECHANICAL SYSTEMS TO THE OWNER'S REPRESENTATIVE AND PROVIDE COPIES OF OPERATION, MAINTENANCE AND WARRANTY MANUALS.

7. GENERAL CONTRACTOR SHALL SUBMIT ONE COMPLETE SET OF REPRODUCIBLE DRAWINGS INDICATING ALL DISCREPANCIES, CHANGES, ETC. AND ACTUAL LOCATIONS OF CONCEALED WORK (I.E., UNDERGROUND CONDUIT) TO THE OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A PHOTOCOPY OF THE ACTUAL PANEL DIAGRAM.

8. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL WARRANTY THE WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY TENANT OF FINISHED WORK.

9. THE GENERAL CONTRACTOR SHALL INSTALL NEW FILTERS IN THE HVAC UNITS ONE WEEK PRIOR TO TURNOVER OF THE PROJECT.

ACCESSIBILITY NOTES

1. IN ALL BUILDINGS, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS OR SPECIAL ACCESS LIFTS.

2. FLOOR SURFACES SHALL BE SLIP-RESISTANT.

3. ALL CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NOT LESS THAN 44" IN WIDTH.

4. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. BEVEL OTHERS W/ A SLOPE NO GREATER THAN 1:2

5. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. MOUNT DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE FLOOR FINISH.

6. CENTER HAND ACTIVATED DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE THE FLOOR.

7. MAXIMUM PULL OR PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. CORRESPONDING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. MAXIMUM EFFORT TO OPERATE REQUIRED FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.

8. THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. PROVIDE A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF NARROW FRAME DOORS.

9. EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32".

10. WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.

11. IDENTIFY ACCESSIBLE ENTRANCES WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.

12. THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 44" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION.

13. FLOORS OR LANDINGS SHALL BE NO MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.

14. PROVIDE A CLEAR FLOOR SPACE 30" X 48" IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH.

15. MOUNT LAVATORIES WITH A MINIMUM CLEARANCE OF 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON. PROVIDE KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30" IN WIDTH WITH 8" MINIMUM WIDTH, AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR A MINIMUM OF 17" DEEP FROM THE FRONT OF THE LAVATORY.

16. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF CLOSING ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

17. INSULATE OR OTHERWISE COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES.

18. IF APPLICABLE, LOW DRINKING FOUNTAIN BUBBLER SHALL BE ACTIVATED BY ANNUALLY OPERATED SYSTEM NOT REQUIRING A FORCE GREATER THAN 5lbf THAT IS LOCATED WITHIN 6 INCHES OF THE FRONT EDGE OF THE FOUNTAIN OR AN ELECTRONICALLY CONTROLLED DEVICE.

19. IF APPLICABLE, THE BUBBLER OUTLET ORIFICE SHALL BE LOCATED WITHIN 6" OF THE FRONT OF THE LOW DRINKING FOUNTAIN AND SHALL BE WITHIN 36" OF THE FLOOR. THE WATER STREAM FROM THE BUBBLER SHALL BE SUBSTANTIALLY PARALLEL TO THE FRONT EDGE OF THE DRINKING FOUNTAIN.

QUALITY ASSURANCE/ QUALITY CONTROL NOTES

1. THE G.C. SHALL REVIEW ALL DOCUMENTS AND CONFIRM THAT THE WORK CAN BE BUILT AS SHOWN. IN THE EVENT OF ANY CONFLICTS OR OMISSIONS WITHIN THE DRAWINGS, G.C. TO CONTACT TENANT'S PROJECT MANAGER & ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.

2. UPON POSSESSION OF THE TENANT'S SPACE, THE G.C. IS TO FIELD VERIFY ALL DIMENSIONS USING THE CONSTRUCTION DOCUMENTS. DO NOT SCALE THE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS. IF ANY DISCREPANCIES EXIST, G.C. TO MARK UP THE DRAWINGS TO REFLECT THE ACTUAL CONDITION. FORWARD THEM TO THE ARCHITECT WITHIN (3) DAYS FOR REVIEW & CLARIFICATION AS REQUIRED.

3. UPON POSSESSION OF THE TENANT'S SPACE AND PRIOR TO SUBMITTING BIDS, THE G.C. IS TO VERIFY THE EXISTING CONDITIONS OF THE SPACE INCLUDING BUT NOT LIMITED TO SLAB CONDITION AND ANY ISSUES THAT MAY EFFECT TENANT'S NEW FINISH FLOOR, CONDITION OF LANDLORD'S DEMISING WALL AND ANY OBSTRUCTIONS THAT MAY EXIST AND BE OF ISSUE. IF ANY ISSUES EXIST, CONTACT ARCHITECT AND TENANT'S PROJECT MANAGER.

4. DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTOR AND/OR FABRICATOR SHALL HAVE SOLE RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK TO PRODUCE THE INTENT OF THE DRAWINGS. CONTRACTOR/FABRICATOR IS SOLELY RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS.

5. ANY DEVIATION FROM THE INTENT OF THE DRAWINGS MUST BE APPROVED BY ARCHITECT & TENANT'S CONSTRUCTION MANAGER.

6. CONTRACTOR TO CONDUCT SITE MEETINGS AND WRITE MEETING MINUTES AT FREQUENCY AS DIRECTED BY OWNER, UNLESS OTHERWISE DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE. CONTRACTOR AND ALL SUB-CONTRACTORS MUST BE PRESENT, UNLESS WAIVED BY OWNER.

7. CONTRACTOR TO SUBMIT WEEKLY PROGRESS REPORTS THAT INCLUDE A SUMMARY OF THAT WEEK'S WORK, A ONE WEEK LOOK AHEAD FORECAST OF WORK TO BE DONE (INCLUDING INSPECTION IF APPLICABLE), AND GENERAL PHOTOS DEPICTING THE CURRENT STATE OF WORK.

8. EXCEPT AS MORE STRINGENT REQUIREMENTS ARE INDICATED ON THESE DRAWINGS AND IN THESE NOTES, COMPLY WITH GENERALLY ACCEPTED INDUSTRY STANDARDS AND INSTALL PRODUCTS IN STRICT COMPLIANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.

9. WHEN EVALUATING APPEARANCE OR CONFORMANCE WITH DESIGN INTENT, THE WORDS "ACCEPTABLE", "VISIBLE", "INVISIBLE", "MATCHING", "ALIGNED", AND SIMILAR TERMS OF JUDGMENT SHALL MEAN "ACCEPTABLE, ETC., IN THE OPINION OF THE ARCHITECT OR OWNER".

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING AND FAMILIARIZING THEMSELVES WITH ALL DOCUMENTATION RELATED TO OR PERTAINING TO THIS PROJECT INCLUDING BUT NOT LIMITED TO: CONSTRUCTION DRAWINGS (STARTING WITH THE FIRST ISSUE AS WELL AS ALL SUBSEQUENT REVISIONS), SPECIFICATIONS, BULLETINS, ADDENDA AND/OR SKETCHES, SHOP DRAWINGS AND CUT SHEETS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ALL OF THE BEFORE MENTIONED DOCUMENTATION TO ALL SUB-CONTRACTOR TRADES INVOLVED WITH THIS PROJECT AND TO MAKE SURE THEY ARE FAMILIAR WITH ALL CONDITIONS AND SCOPE OF WORK AS THEY RELATE TO THIS JOB. THE BEFORE MENTIONED PROJECT DOCUMENTATION, IN ITS ENTIRETY, REPRESENTS THE FULL SCOPE OF WORK ASSOCIATED WITH THIS PROJECT. AS SUCH, SCOPE OF WORK OR INFORMATION RELATIVE TO A PARTICULAR SUB-CONTRACTOR THAT IS NOT SHOWN ON SPECIFIC TRADE DOCUMENTS (BUT SHOWN ELSEWHERE WITHIN THE PROJECT DOCUMENTATION) DOES NOT RELIEVE THAT SUB-CONTRACTOR OF RESPONSIBILITY FOR INCLUSION OF THAT SCOPE OF WORK OR INFORMATION WITHIN THE SUB CONTRACTOR'S BID.

FINISH NOTES

1. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

2. REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.

3. ANY REQUEST FOR MATERIAL SUBSTITUTIONS ARE TO BE SENT TO ARCHITECT AND/OR CLIENT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. SAMPLES OF ALL FINISHES MUST BE SUBMITTED AND MUST BE APPROVED BY ARCHITECT & TENANT'S CONSTRUCTION MANAGER.

4. WIPE CLEAN ALL SURFACES WITH DAMP CLOTH.

5. RETOUCH OR REFINISH SURFACES DAMAGED BY SUBSEQUENT WORK AS DIRECTED BY GC. THE COST OF SUCH RESTORATION WORK SHALL BE BORNE BY SUB CONTRACTOR.

6. THE GC SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL FINISHES IN THE SPACE PRIOR TO TURNOVER. G.C. SHALL TOUCH UP ALL CORNER BEADS, WALLS, CEILING AND FLOORING AS REQUIRED PRIOR TO TURNOVER AND ANY DAMAGE CAUSED BY OTHER TRADES INCLUDING MILLWORK VENDOR.

7. EXAMINE ALL SURFACES TO BE PAINTED UNDER THIS CONTRACT TO VERIFY THAT WORK OF OTHER TRADES IS IN SATISFACTORY CONDITION TO RECEIVE SPECIFIED FINISH.

8. USE CLEAR CAULK BETWEEN MILLWORK AND GWB IF REQUIRED TO CREATE A SMOOTH FINISH.

9. GYPSUM WALL BOARD SURFACES SHALL BE WIPED WITH A DAMP CLOTH JUST PRIOR TO APPLICATION OF THE FIRST COAT OF PAINT IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING.

10. PAINTING SUBCONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OR REMOVAL & REINSTALLATION OF HARDWARE, SWITCH / OUTLET COVERS, ETC. TO PROTECT FROM PAINTING.

11. ALL PAINTED SURFACES TO RECEIVE (1) COAT PRIMER & (2) COATS FINISH PAINT (MINIMUM) WITH ADDITIONAL COATS AS REQUIRED FOR PROPER COVERAGE.

12. AT COMPLETION OF PAINTING, ALL PAINT MATERIALS & EQUIPMENT SHALL BE REMOVED, ALL PAINT SPOTS REMOVED AND ALL AREAS THOROUGHLY CLEANED. ANY DIRT OR DEBRIS CAUSED BY WORK SHALL BE CLEANED UP AS WORK PROGRESSES.

13. ALL FINISHED FLOORING TO BE PROTECTED BY G.C. FOLLOWING INSTALLATION.

14. ALL INTERIOR FINISHES (WALL, FLOOR, AND CEILING), FURNISHINGS, AND MILLWORK ARE TO BE CLASS 'A' FIRE-RATED AND ARE TO COMPLY WITH CODE-REQUIRED (INTERIOR FLAME SPREAD) RATINGS.

FIRE / LIFE SAFETY NOTES

1. FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE PROVIDED DURING THE CONSTRUCTION PERIOD AS REQUIRED BY THE COUNTY.

2. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY CAMPUS CODE ENFORCEMENT OFFICER.

3. ALL FIRE-RATED ASSEMBLES SHALL BE INSTALLED, LABELED, AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE WHEN REQUIRED.

4. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITH ONE MOTION THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.

5. DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.

6. 20-MINUTE DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.

7. PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE-RATED WALLS OR CEILINGS.

8. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH NEW YORK STATE CODE FIRE CODE REGULATIONS.

9. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

10. EXTEND OR MODIFY EXISTING FIRE / LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE / LIFE SAFETY SYSTEM FOLLOWING COLLEGE APPROVAL. SUBMIT PLANS TO COLLEGE WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.

11. LOCATE THE CENTER OF FIRE ALARM INITIATING DEVICES 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK, IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

REFLECTED CEILING NOTES

1. SUPPORT LIGHT FIXTURES AND AIR DIFFUSERS DIRECTLY BY WIRES TO THE STRUCTURE ABOVE.

2. LOCATE REGISTERS AND LIGHTING FIXTURES WITHIN GRID LINES. CENTER SPRINKLER HEADS, SPEAKERS, RECESSED FIXTURES, AND SIMILAR CEILING ELEMENTS IN ACOUSTICAL UNITS, U.O.N.

3. FINISH HVAC DIFFUSERS, TRIM PIECES, AND SPEAKER GRILLES TO MATCH ADJACENT FINISH, U.O.N.

4. ALL LIGHT FIXTURES SHALL BEAR UL LABELS.

5. CONTRACTOR TO USE LASER FOR LEVELING OF ALL SOFFITS, CEILINGS AND SUSPENDED GRIDS.

6. ALL FIXTURES TO BE INSTALLED IN ACOUSTIC CEILINGS TO BE CENTERED IN CEILING GRID, U.O.N.

7. HANGER WIRE AT SUSPENDED GYP BD CEILINGS TO BE 8 GA.; HANGER WIRE AT SUSPENDED ACOUSTICAL CEILINGS TO BE 10 GA.

8. HANGER WIRES SHALL BE ATTACHED TO STRUCTURAL STEEL ONLY W/ U.L. LISTED CLAMPS. DO NOT HANG SUPPORT WIRES FROM MECHANICAL EQUIPMENT OR PIPING. NO SCREWS PERMITTED IN METAL DECKING.

9. ALL SUSPENDED CEILING SYSTEMS TO BE INSTALLED PER INDUSTRY STANDARDS, ALL CODE REQUIREMENTS, AND ALL RECOMMENDATIONS OF THE MANUFACTURER OF THE SYSTEM.

10. ALL LIGHT FIXTURES, HVAC EQUIPMENT AND DIFFUSERS SHALL BE SUPPORTED FROM THE TOP CHORD OF THE JOIST AND/OR STRUCTURAL MEMBERS ABOVE.

11. GC SHALL VERIFY ALL CEILING HEIGHTS, AND CONFIRM THAT THE WORK CAN BE BUILT AS SHOWN. IN THE EVENT OF ANY CONFLICTS OR OMISSIONS WITHIN THE DRAWINGS, GC TO CONTACT ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.

12. CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES.

13. IF THE SPACE ABOVE THE SUSPENDED CEILING IS USED AS A RETURN AIR PLENUM, THEN ALL EQUIPMENT AND WIRING (COMMUNICATION, POWER ETC) SHALL BE LISTED FOR INSTALLATION IN A PLENUM.

ARCHITECT:

PHASE ZERO DESIGN

8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:

chartwells
where hungry minds gather

www.chartwellshighered.com

OWNER:

Purchase College
STATE UNIVERSITY OF NEW YORK

www.purchase.edu

CONSULTANT:

PROJECT:

SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID

ISSUED DATE: 02.16.2018

DRAWN BY: JW

CHECKED BY: CM

PROJECT NUMBER: 1517347

DRAWING NAME:

GENERAL NOTES

DRAWING NO.

G001

Plot Date: 2/20/2018 5:30:26 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

MILLWORK NOTES

1. ALL MILLWORK SHALL BE PROVIDED BY OTHERS (N.I.C.), HOWEVER THE GC SHALL BE RESPONSIBLE FOR SCHEDULING, PREPING, BLOCKING, AND CONNECTING ALL REQUIRED UTILITIES AND EQUIPMENT TO MILLWORK.

2. MILLWORK CONTRACTOR TO SITE VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

3. TOP OF MILLWORK COUNTERS SHALL NOT EXCEED 34" ON THE PUBLIC SIDE, TYP.

4. G.C. IS RESPONSIBLE FOR SUPPLYING & INSTALLING ALL SITE REQUIREMENTS (IN WALL BLOCKING, ETC.) FOR MILLWORK. COORDINATE ALL REQUIREMENTS WITH VENDOR(S).

5. SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BY ARCHITECT & TENANT'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO FABRICATION WHEN REQUIRED.

6. ALL MILLWORK IS TO CONFORM TO A.W.I./A.W.M.A.C. PREMIUM STANDARDS.

7. MILLWORK VENDOR TO COORDINATE WITH OTHER TRADES AND PROVIDE CONCEALED GROUNDS & OR BLOCKING AS REQUIRED. PROVIDE CUTOUTS FOR OUTLETS AND EQUIPMENT AS REQUIRED. VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.

8. G.C. TO PROVIDE ADDITIONAL CUTOUTS AS REQUIRED IN VENDOR SUPPLIED MILLWORK. ALL MODIFICATIONS TO BE PERFORMED BY A QUALIFIED FINISH CARPENTER. ALL CUTS TO BE PLACED TO MINIMIZE VISIBILITY. NO ADDITIONAL MODIFICATION TO MILLWORK WILL ABE ALLOWED WITHOUT PRIOR APPROVAL FROM TENANT'S PROJECT MANAGER.

9. ALL FINISHED VENEERED WOOD SHALL BE FREE FROM KNOTS, SHAKES AND OTHER DEFECTS AFFECTING EITHER DURABILITY OR APPEARANCE, & SHALL BE CAREFULLY SELECTED FOR GRAIN & COLOR FOR MARKED VARIATIONS AT JOINTS BETWEEN VENEERS.

10. NO FIELD FINISHING OTHER THAN MINOR TOUCH-UPS OF MILLWORK WILL BE PERMITTED.

11. ALL MILLWORK HARDWARE TO BE FURNISHED & INSTALLED BY MILLWORK VENDOR.

12. MILLWORK VENDOR TO FURNISH & INSTALL RUBBER BUMPERS ON ALL DOORS AND DRAWERS.

13. ALL BLOCKING TO BE FRT

14. ALL SURFACES TO BE FINISHED. NO EXPOSED SURFACES WILL BE ACCEPTED.

15. MILLWORK CONTRACTOR TO SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS, CREVICES AND ANY OTHER OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS.

16. MILLWORK CONTRACTOR TO ENSURE COUNTER FITS SNUG WITH SURROUNDING SITE AND MILLWORK CONDITIONS. IF NECESSARY SCRIBE COUNTER ON SITE.

17. MILLWORK CONTRACTOR TO ENSURE ALL SPECIFIED EQUIPMENT FITS INTO COUNTER AS NOTED. CHECK ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO FABRICATION.

18. COORDINATE ALL CUTOUTS & FINAL LOCATIONS WITH KITCHEN EQUIPMENT CONTRACTOR, TYP.

19. 1/2" X 1/2" STAINLESS STEEL CORNER GUARDS ALL EXPOSED MILLWORK CORNERS, TYP.

20. FIXED EQUIPMENT AND MILLWORK TO BE SEALED, USING APPROVED CLEAR SILICONE SEALANT, TO FLOORS, WALLS AND COUNTER TOPS AS REQUIRED.

21. INSTALLATION OF EQUIPMENT AND MILLWORK TO INCLUDE PROPER SPACING TO ALLOW FOR CLEANING.

22. AFTER WORK IS COMPLETED ALL MILLWORK AND/OR EQUIPMENT WILL BE CLEANED AND SANITIZED BEFORE OPERATIONS COMMENCE.

EQUIPMENT NOTES

BE PERMITTED WITHOUT PRIOR AUTHORIZATION FROM ARCHITECT.

1. ALL EQUIPMENT SHALL BE PROVIDED BY OTHERS (N.I.C.), HOWEVER, THE GC SHALL BE RESPONSIBLE FOR SCHEDULING, PREPARING, BLOCKING, & ROUGH IN UTLITIES TO ALL EQUIPMENT.

2. ALL MOUNTING HEIGHTS TO BE VERIFIED WITH EQUIPMENT SPECIFICATIONS PRIOR TO INSTALLATION OF SERVICES.

3. GENERAL CONTRACTOR TO PRE-WIRE ALL COUNTERS PRIOR TO INSTALLATION AND FINAL CONNECTIONS MADE ON SITE BY G.C.

4. ALL EXPOSED UTILITY LINES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILING AREA. MINIMUM 6" OFF FLOORS.

5. ELECTRICAL ENGINEER TO BE RESPONSIBLE FOR ALL CONCERNS AND ARRANGEMENTS REGARDING PENETRATIONS INTO THE FLOOR AND WALL. BUILDING OWNER TO APPROVE PRIOR TO CONSTRUCTION.

6. ELECTRICAL ENGINEER TO PROVIDE G.F.I. RECEPTACLES AS REQUIRED BY THE LOCAL BUILDING CODE.

7. ALL EQUIPMENT REQUIRING HOT/COLD WATER CONNECTION C/W SHUT OFF VALVES.

8. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH LOCAL BUILDING CODES.

9. ALL ITEMS OF FOOD SERVICE EQUIPMENT SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE LATEST STANDARDS PUBLISHED BY THE NATIONAL SANITATION FOUNDATION (NSF), OR THE EQUIVALENT; AND IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE AND/OR LOCAL CODES AND STANDARDS.

10. ALL PLUMBING AND ELECTRICAL WORK, LABOR AND MATERIAL, REQUIRED TO CONNECT THIS EQUIPMENT IS TO BE FURNISHED BY THE GENERAL CONTRACTOR UNLESS SPECIFICALLY CALLED FOR IN "ITEMIZED SPECIFICATIONS". THE WORK DONE BY CONTRACTOR IS TO INCLUDE ROUGHING-IN TO POINTS INDICATED ON ROUGHING-IN PLANS, FINAL CONNECTIONS FROM ROUGH-IN POINT TO VARIOUS PIECES OF EQUIPMENT REQUIRING SUCH CONNECTIONS, AND THE SUPPLYING OF ALL NECESSARY MATERIALS AND LABOR FOR THIS WORK EXCEPT AS NOTED OTHERWISE.

11. ALL EXISTING HVAC, SPRINKLERS AND OTHER SERVICES TO BE RELOCATED AS REQUIRED BY MECHANICAL AND ELECTRICAL ENGINEER TO MEET ALL STANDARDS, CODES AND BYLAWS SET FORTH BY LOCAL GOVERNING AUTHORITIES.

12. GENERAL CONTRACTOR TO SITE VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

13. THE GENERAL CONTRACTOR SHALL SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS, CREVICES AND ANY OTHER OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS.

14. IT SHALL BE THE RESPONSIBILITY OF THE FOOD SERVICE EQUIPMENT BIDDERS TO INFORM THE FOOD SERVICE CONSULTANT OF ANY DISCREPANCIES FOUND WITHIN THESE DOCUMENTS TO INCLUDE: WRITTEN SPECIFICATIONS, DRAWINGS OR SCHEDULES, TO ALLOW AN OPPORTUNITY FOR THE CONSULTANT TO PREPARE AN ADDENDUM TO CORRECT SUCH DISCREPANCIES. BIDDING ON A KNOWN DISCREPANCY WITH THE INTENTION OF EQUIPMENT SUBSTITUTION OR PRICE GOUGING THROUGH CHANGE ORDERS WILL NOT BE TOLERATED.

15. MECHANICAL AND ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR ALL CONCERNS AND ARRANGEMENTS REGARDING PENETRATIONS INTO THE CEILING.

16. GENERAL CONTRACTOR TO LIAISE WITH STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT OF DEMOLITIONS

17. ENSURE THE SAFETY OF THE WORKS AND OF THE PUBLIC DURING DEMOLITION WORK.

18. BEFORE STARTING DEMOLITION WORK ARRANGE FOR THE APPROPRIATE AUTHORITIES TO REMOVE ALL SERVICES FROM THE AREA

19. CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL SERVICES PRIOR TO COMMENCEMENT OF THE DEMOLITION PHASE.

20. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH LOCAL BUILDING CODE

21. CONSTRUCTION DOCUMENTS INCLUDE DRAWINGS AND WRITTEN SPECIFICATIONS, WHICH SHOULD BE REASONABLY CORRECT, HOWEVER THEIR ACCURACY IS NOT GUARANTEED. SDISCREPANCIES OCCUR THEY SHALL BE BROUGHT TO THE ATTENTION OF THE FOOD SERVICE CONSULTANT AND/OR PROJECT ARCHITECT IN ORDER FOR THE CONFLICT TO BE CLARIFIED IN AN OFFICIAL REQUEST FOR INFORMATION.

HEALTH/ HUMAN SERVICES NOTES

1. ALL WALL SURFACES IN FOOD SERVICE AREAS OR AROUND 3 COMPARTMENT SINK AND THE MOP SINK WHERE WATER, GREASE, STEAM, HEAT OR SPLASH/FOOD SPLATTER ARE PRESENT SHALL BE SMOOTH, DURABLE, EASILY CLEANABLE AND NON-ABSORBANT.

2. THE CEILING FINISHES FOR AREAS SUBJECT TO MOISTURE SUCH AS FOOD PREPARATION, DISHWASHING, FOOD ITEMS STORAGE AREAS AND TOILET ROOMS SHOULD BE SMOOTH, DURABLE, EASILY CLEANABLE, AND NON-ABSORBANT.

3. THE FLOOR FINISH IN ALL FOOD PREPARATION OR WAREWASHING AREAS SHALL BE SMOOTH, DURABLE, NON-ABSORBANT, AND EASILY CLEANABLE.

4. ALL EQUIPMENT SHALL MEET NSF DESIGN STANDARDS.

5. GENERAL CONTRACTOR TO SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS, CREVICES AND ANY OTHER OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS.

6. PROVIDE STORAGE FOR CLEANING EQUIPMENT AND SUPPLIES (MOPS, BROOMS, BUCKETS). AFTER USE, MOPS SHALL BE PLACED IN A POSITION THAT ALLOWS THEM TO AIR-DRY WITHOUT SOILING WALLS, EQUIPMENT, OR SUPPLIES. INSTALL A MOP RACK AT THE MOP SINK AREA.

7. POISONOUS OR TOXIC MATERIALS SHALL BE STORED SO THEY CANNOT CONTAMINATE FOOD, EQUIPMENT, UTENSILS, LINENS, AND SINGLE-SERVICE AND SINGLE-USE ARTICLES. DEDICATED RACK/SHELF SHALL BE PROVIDED FOR THESE ITEMS.

8. EMPLOYEE BELONGINGS AND CLOTHING SHALL NOT BE STORED IN FOOD PREP, FOOD STORAGE, AND COOKING AREAS. HOOKS AND/OR LOCKERS FOR EMPLOYEE CLOTHING AND BELONGINGS (I.E. PURSE, COATS, BOOTS, UMBRELLAS, ETC.) SHALL BE PROVIDED BY TENANT.

9. THE LIGHT INTENSITY SHALL BE AT LEAST 50 FOOT CANDLES (540 LUX) AT ANY SURFACE WHERE AN EMPLOYEE IS WORKING WITH FOOD OR WORKING WITH UTENSILS WHERE EMPLOYEE SAFETY IS A FACTOR.

10. ALL FOOD SERVICE EQUIPMENT THAT IS DIRECTLY CONNECTED TO THE POTABLE WATER SUPPLY SYSTEM MUST BE EQUIPPED WITH AN APPROPRIATE BACKFLOW PREVENTION DEVICE TO PREVENT CONTAMINATION OF THE WATER SUPPLY.

11. ALL LIGHTING IN FOOD SERVICE AREAS MUST BE SHIELDED, ROUGH-SKIN COATED OR SHATTERPROOF TO PROTECT FOOD FROM CONTAMINATION. THIS INCLUDES PENDANTS, TRACK, AND RECESS LIGHTS.

ELECTRICAL/ TELEPHONE NOTES

1. ALL ELECTRICAL WORK, LABOR AND MATERIAL, REQUIRED TO CONNECT THIS EQUIPMENT IS TO BE FURNISHED BY CONTRACTOR UNLESS SPECIFICALLY CALLED FOR IN "ITEMIZED SPECIFICATIONS". THE WORK DONE BY CONTRACTOR IS TO INCLUDE ROUGHING-IN TO POINTS INDICATED ON ROUGHING-IN PLANS, FINAL CONNECTING FROM ROUGH-IN POINT TO VARIOUS PIECES OF EQUIPMENT REQUIRING SUCH CONNECTIONS, AND THE SUPPLYING OF ALL NECESSARY MATERIALS AND LABOR FOR THIS WORK EXCEPT AS HEREINAFTER NOTED.

2. UTILITIES SHOWN ON ARCHITECT'S DRAWINGS ARE FOR REFERENCE ONLY. SEE ELECTRICAL ENGINEERS' DRAWINGS FOR ANY ADDITIONAL INFORMATION. FINAL CONNECTIONS OF EQUIPMENT TO BUILDING'S UTILITY SYSTEMS TO BE BY APPROPRIATE ELECTRICAL TRADES.

3. FINAL CONNECTIONS TO ALL EQUIPMENT SHALL BE BY THE ELECTRICAL CONTRACTOR, INCLUDING ALL REQUIRED MATERIALS SUCH AS DISCONNECTS, BOXES, OUTLETS (EXCEPT AS FURNISHED AS PART OF THE EQUIPMENT), RIGID CONDUIT, FLEXIBLE CONDUIT, WIRING, ETC.

4. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL THE FOLLOWING:

a. ALL JUNCTION BOXES, ELECTRICAL OUTLETS, COVER PLATES, SWITCHES, ETC. NOT BUILT INTO FIXTURES OR EQUIPMENT. ALL OUTLETS, JUNCTION BOXES, COVER PLATES, ETC. IN FOOD SERVICE AREAS MUST BE MOISTURE PROOF.

b. ALL PLUGS AND CORDS SHALL BE N.E.M.A. RATED AND U.L. APPROVED FOR MANUFACTURED AND FABRICATED EQUIPMENT.

c. DISCONNECTS OR OTHER DEVICES AS MAY BE REQUIRED BY LOCAL/STATE/NATIONAL CODES.

5. PROVIDE COMPUTER GRADE, CLEAN GROUND SERVICE FOR ELECTRONIC CASH REGISTERS. PROVIDE EMPTY CONDUIT BETWEEN CASH REGISTER LOCATIONS TO ALLOW UNITS TO BE TIED TOGETHER. REFER TO ARCHITECTURAL PLANS FOR CLOCKS, INTERCOM, TIME CLOCKS, POINT OF SALE (POS), CASH MACHINERY AND OTHER ITEMS LOCATED IN FOOD SERVICE AREA BUT NOT INCLUDED IN THE FOOD SERVICE EQUIPMENT CONTRACT. PRIOR TO INSTALLATION, VERIFY CASH REGISTER POWER REQUIREMENTS WITH WNER/OPERATOR.

6. ELECTRICAL COMPONENTS MUST NOT INTERFERE WITH THE OPERATION OF THE EQUIPMENT IT SERVICES.
7. ALL LINE AND DISCONNECT SWITCHES, SAFETY CUT-OUTS, CONTROL PANELS, FUSE BOXES, OR OTHER ELECTRICAL CONTROLS, FITTINGS, AND CONNECTIONS NOT FURNISHED AS A STANDARD PART OF THE FIXTURE BY THE MANUFACTURER TO BE FURNISHED AND INSTALLED UNDER ELECTRICAL CONTRACT. STARTING SWITCHES PROVIDED BY EQUIPMENT CONTRACTOR AND FURNISHED LOOSE AS STANDARD BY FOOD SERVICE EQUIPMENT MANUFACTURERS (OTHER THAN CUSTOM FABRICATED ITEMS) IS TO BE MOUNTED AND WIRED COMPLETE UNDER ELECTRICAL CONTRACT.

8. ELECTRICAL SUB TO VERIFY SERVICE PROVIDED IS ADEQUATE. IF NOT, NOTIFY ARCHITECT IMMEDIATELY.

9. PRIOR TO CORING SLAB, REVIEW LOCATIONS WITH ARCHITECT AND COORDINATE LOCATIONS WITH OWNER. ALL LOCATIONS SHALL BE MARKED FOR LANDLORD APPROVAL PRIOR TO CORING.

10. CONTRACTOR TO COORDINATE INSTALLATION OF TELECOMMUNICATIONS, DATA AND SECURITY SYSTEMS.

11. VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.

12. VERIFY MOUNTING REQUIREMENTS OF ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT. PROVIDE NON-COMBUSTIBLE BLOCKING WITHIN WALLS AS REQUIRED FOR PROPER EQUIPMENT INSTALLATION.

13. GANG ADJACENT LIGHT SWITCHES AND COVER WITH A SINGLE PLATE.

14. INDICATED DIMENSIONS ARE TO THE CENTER LINE OF OUTLET OR SWITCH, OR CLUSTER OF OUTLETS OR SWITCHES, UNLESS OTHERWISE NOTED.

15. INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES. DO NOT INSTALL BACK-TO-BACK.

16. PROVIDE MATCHING COVER PLATES, RECEPTACLES AND RELATED ITEMS. PROVIDE ONE-PIECE TYPE GANG COVER PLATES, UNLESS OTHERWISE NOTED.

17. IDENTIFY DEDICATED OR ISOLATED GROUND ELECTRICAL OUTLETS WITH A RED DOT.

18. MOUNT STANDARD WALL OUTLETS, SWITCHES AND THERMOSTATS AT HEIGHTS REQUIRED BY TITLE 24 AND ADA GUIDELINES, UNLESS OTHERWISE NOTED. WHEN THERMOSTATS AND LIGHT SWITCH OCCUR TOGETHER, INSTALL BOTH ALIGNED HORIZONTALLY WITH CENTER LINE AT +3'-2" ABOVE FINISHED FLOOR.

19. ALL OUTLETS TO BE INSTALLED AS DIMENSIONED ON THIS PLAN. ANY DISCREPANCIES BETWEEN PLAN AND EXISTING FIELD CONDITIONS TO BE CLARIFIED WITH THE ARCHITECT BEFORE COMMENCEMENT OF WORK.

20. ALL ELECTRICAL AND TELEPHONE WORK TO BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL ELECTRICAL CODES, NATIONAL BOARD OF FIRE UNDERWRITERS, UTILITY COMPANIES, TELEPHONE COMPANIES, THE LANDLORD, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

21. THE GC SHALL PROVIDE ALL CUTTING AND PATCHING OF FLOORS, WALLS AND CEILING AS REQUIRED.

22. U.O.N. ALL DEVICES (TELEPHONE, DATA, ELECTRIC, SWITCH) SHALL BE WHITE WITH WHITE COVER PLATES AND ALL EXISTING OUTLETS TO REMAIN TO RECEIVE NEW WHITE DEVICES WITH WHITE COVER PLATES.

23. ALL SURFACES WITH EXISTING OUTLETS BEING REMOVED SHALL BE PATCHED FLUSH WITH ADJACENT WALL SURFACES.

24. PROVIDE BREAKER LOCKS FOR A.C. UNITS AND POS/PHONE SYSTEMS.

25. ALL TELEPHONE OUTLETS SHALL BE PROVIDED WITH TWO (2) PULL STRINGS BACK TO THE TELEPHONE EQUIPMENT.

26. U.O.N, ALL ELECTRICAL, TELEPHONE, AND DATA OUTLETS ARE TO BE MOUNTED 15" A.F.F.

27. CENTERLINE TO CENTERLINE DIMENSIONS OF ANY OUTLET PAIR OR GROUP SHALL NOT EXCEED 6".

28. ALL CERCUIT BREAKER PANELS SHALL BE LABELED TO SHOW WHAT EACH BREAKER ACTIVATES.

PLUMBING NOTES

1. THE WORK DONE BY CONTRACTOR IS TO INCLUDE ROUGHING-IN TO POINTS INDICATED ON ROUGHING-IN PLANS, FINAL CONNECTING FROM ROUGH-IN POINT TO VARIOUS PIECES OF EQUIPMENT REQUIRING SUCH CONNECTIONS, AND THE SUPPLYING OF ALL NECESSARY MATERIALS AND LABOR FOR THIS WORK EXCEPT AS HEREINAFTER NOTED.

2. UTILITIES SHOWN ON ARCHITECT'S DRAWINGS ARE FOR REFERENCE ONLY. SEE PLUMBING ENGINEERS' DRAWINGS FOR ANY ADDITIONAL INFORMATION. FINAL CONNECTIONS OF EQUIPMENT TO BUILDING'S UTILITY SYSTEMS TO BE BY APPROPRIATE PLUMBING TRADES.

3. ALL TRAPS, GREASE TRAPS, TAIL PIECES, VALVES, STOPS, SHUT-OFFS, AND FITTINGS NECESSARY ARE TO BE FURNISHED AND INSTALLED UNDER PLUMBING CONTRACT, UNLESS SPECIFICALLY CALLED FOR UNDER ITEMIZED SPECIFICATIONS.

4. FINAL CONNECTIONS TO ALL EQUIPMENT SHALL BE BY THE PLUMBING CONTRACTOR, INCLUDING ALL REQUIRED MATERIALS SUCH AS STOPS, VALVES FILTERS, TRAPS, CHECK VALVES, PIPING, TUBING, ETC.

5. THE PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL THE FOLLOWING:

a. ALL WATER AND WASTE SERVICE TO POINT OF ROUGH-IN AS SHOWN ON PLAN. ROUGH-IN OUTLETS TO STUB 4"OUT OF WALLS AT HEIGHT INDICATED FROM FINISHED FLOOR TO CENTERLINE OF SERVICE LINE. FLOOR ROUGH-INS TO STUB UP 3" ABOVE FINISHED FLOOR OR CURBS. ALL FLOOR OPENINGS OR PENETRATIONS TO BE SEALED WATERTIGHT.

b. ALL FLOOR SINKS, COMPLETE WITH TOP GRATES (AS INDICATED) AND REMOVABLE SEDIMENT BUCKETS. ALL FIXTURES TO BE SET FLUSH WITH FINISHED FLOOR, EXCEPT AS OTHERWISE NOTED.

c. ALL WASTE LINES, DIRECT OR INDIRECT, EXCEPT AS OTHERWISE NOTED. MINIMUM DIAMETER OF LINE SHALL BE AS INDICATED ON PLAN REGARDLESS OF CONNECTION, AND SHALL BE PITCHED DOWNWARD. MAINTAIN DRAIN LINES AS HIGH AS POSSIBLE (MINIMUM 6" CLEAR ABOVE FINISHEDFLOOR) ABOVE FLOOR FOR SANITATION AND CLEANING. ALL WASTE LINES SHALL HAVE ADEQUATE CLEAN-OUT PROVISIONS PER LOCAL CODES.

d. ALL REQUIRED GREASE TRAPS, OUTSIDE THE BUILDING WHERE POSSIBLE, OTHERWISE BELOW OISET FLUSH WITH THE FINISHED FLOOR. STRICT COORDINATION WITH EQUIPMENT AND LOCAL CODES REQUIRED IF GREASE TRAP IS TO BE SET ABOVE THE FLOOR OR UNDER EQUIPMENT

6. INSULATION ON ALL HOT WATER LINES WITHIN THE FOOD SERVICE AREAS. ALL SUCH LINES ARE TO BE COLOR-CODED ACCORDING TO LOCAL CODES.

7. WHERE POSSIBLE, UTILITIES SHALL BE CONCEALED WITHIN BUILDING WALLS OR COLUMN CHASES, NOT RUN ALONG WALL FACE. DO NOT STUB OUT OF FLOOR AND RUN ON THE FACE OF THE WALL.

8. ANY AND ALL EXPOSED PIPING OR FITTINGS TO BE STAINLESS STEEL, CHROME PLATED OR ENCLOSED IN A CONCEALED, MOUNTED STAINLESS STEEL CHASE.

9. ALL HORIZONTAL PIPING RUNS EXTENDED TO AND CONNECTED TO EQUIPMENT ITEMS SHALL BE AT THE HIGHEST PRACTICAL ELEVATION AND NOT LESS THAN 6" ABOVE FINISHED FLOOR SO AS TO PROVIDE CLEARANCE FOR CLEANING.

10. ALL LINES ROUTED THROUGH EQUIPMENT SHALL NOT INTERFERE WITH THE INTENDED USE OF, OR SERVICING OF THE EQUIPMENT.

11. DRINKING FOUNTAINS ARE BY MECHANICAL TRADES. VERIFY UTILITY REQUIREMENTS WITH MECHANICAL ENGINEER.

12. INDOOR GREASE TRAPS ARE TO BE RECESSED, FLUSH WITH TOP OF FINISHED FLOOR (UNLESS SPECIFIED OTHERWISE) AND REMOVAL OF COVER SHALL NOT INTERFERE WITH THE OPERATION OF EQUIPMENT ITEMS.

13. INDIRECT WASTES TO BE EXTENDED OVER BUILDING DRAINS BY PLUMBING TRADE.

MECHANICAL NOTES

1. ALL MECHANICAL WORK, LABOR AND MATERIAL, REQUIRED TO CONNECT THIS EQUIPMENT IS TO BE FURNISHED BYCONTRACTOR UNLESS SPECIFICALLY CALLED FOR IN "ITEMIZED SPECIFICATIONS". THE WORK DONE BY CONTRACTOR IS TO INCLUDE ROUGHING-IN TO POINTS INDICATED ON ROUGHING-IN PLANS, FINAL CONNECTING FROM ROUGH-IN POINT TO VARIOUS PIECES OF EQUIPMENT REQUIRING SUCH CONNECTIONS, AND THE SUPPLYING OF ALL NECESSARY MATERIALS AND LABOR FOR THIS WORK EXCEPT AS HEREINAFTER NOTED.

2. EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, THE LOCATIONS OF MECHANICAL EQUIPMENT, DUCTS, PIPING, AND FITTING ARE ONLY APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR, SUBJECT TO APPROVAL BY THE ARCHITECT.

3. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.

4. MECHANICAL SUPPLY AND RETURN AIR SHAFTS SHALL BE AIRTIGHT AND SEALED.

5. ALL FLEXIBLE AIRDUCTS, IF USED, SHALL MEET THE REQUIREMENTS OF NFPA 90A, 2-3-2 IN CONSTRUCTION AND INSTALLATION.

ARCHITECT:

PHASE ZERO DESIGN

8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:

chartwells
where hungry minds gather

www.chartwellshighered.com

OWNER:

Purchase College
STATE UNIVERSITY OF NEW YORK

www.purchase.edu

CONSULTANT:

PROJECT:

SUNY PURCHASE COLLEGE

CAFE ADDITION AND RENOVATION

735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID

ISSUED DATE: 02.16.2018

DRAWN BY: JW

CHECKED BY: CM

PROJECT NUMBER: 1517347

DRAWING NAME:

GENERAL NOTES

DRAWING NO.

G002

Plot Date: 2/20/2018 5:30:27 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub.j_woodworth.rvt

ABBREVIATIONS

A
A.B ANCHOR BOLT
ABV ABOVE
AVC AIR CONDITIONING
ACC ACCESS
A.C.T ACOUSTICAL TILE (CLG)
AFF ABOVE FINISH FLOOR
A.D AREA DRAIN
ADD ADDENDUM
ADH ADHESIVE
ADJ ADJUSTABLE
AGG AGGREGATE
A.H.U. AIR HANDLING UNIT
ALT ALTERNATE
ALUM ALUMINUM
A.P. ACCESS PANEL
APX APPROXIMATE
ARCH. ARCHITECT(URAL)
ASPH ASPHALT
A.T. ASPHALT TILE
AUTO AUTOMATIC
AVG AVERAGE
AWNG AWNING

B
B36 36" WIDE BASE CAB.
BD BOARD
BF BI-FOLD (DOOR)
BIT. BITUMINOUS
BLDG BUILDING
BLK BLOCK (CMUs)
BLKG BLOCKING
BM BEAM
B.M. BENCH MARK
BP BI-PASS (DOOR)
BRG BEARING
BRK BRICK
B.S. BOTH SIDES
BSMT BASEMENT
B.O. BOTTOM
BTWN BETWEEN
BVL BEVELED
B.W. BOTH WAYS

C
CAB CABINET
C.B. CATCH BASIN
CEM CEMENT
CER CERAMIC
CF CUBIC FOOT
CHAM CHAMFER
C.I. CAST IRON
C.I.P. CONC. CAST-IN-PLACE CONC.
CIR CIRCLE
CIRC CIRCUMFERENCE
C.J. CONTROL JOINT
CK CALK(ING) CAULK(ING)
CL CLOSET OR CENTER LINE
CLG CEILING
CLR CLEAR(ANCE)
CLS CLOSURE OR CLOSER
CM CENTIMETER(S)
CMU CONCRETE MASONRY UNIT
C.O. CASED OPENING
COL COLUMN
COMB COMBINATION
CONC CONCRETE
COND (AC) CONDENSER
CONST CONSTRUCTION
CONT CONTINUOUS
CONTR CONTRACTOR
CORR CORRUGATED
CPR COPPER
C/CPT CARPET
CRS COURSE(S)
CSMT CASEMENT
C.ST. CAST STONE
C.T. CERAMIC TILE
CTR CENTER OR COUNTER
CX CONNECTION
CY CUBIC YARD

D
12"D12" DEEP
D DRYER OR DRAIN
DBL DOUBLE
DECO DECORATIVE
DEMO DEMOLISH, DEMOLITION
DEP DEPRESSED
DET DETAIL
D.F. DRINKING FOUNTAIN
DH DOUBLE HUNG
DIAM DIAMETER
DIM DIMENSION
D.L. DEAD LOAD
DN DOWN
D.P. DAMP-PROOFING
DR DOOR
DRY DRYER MACHINE
DS DOWNSPOUT
D/S DRAWER STACK
D.T. DRAIN TILE
DTL DETAIL
DW DISH WASHER
DWG DRAWING
DWR DRAWER

E
EA EACH
EB EYEBROW
E.F. EACH FACE
E.J. EXPANSION JOINT
EL ELEVATION
ELEC ELECTRIC(AL)
E.P. ELECTRICAL PANEL
EQ EQUAL
EST ESTIMATE
E.W.C. ELECTRICAL WATER COOLER
EXG EXISTING
EXH EXHAUST
EXT EXTERIOR

F
FAS FASTEN(ER)
F.B. FACE BRICK
F.B.O. FURNISHED BY OTHERS
F.D. FLOOR DRAIN
F.E. FIRE EXTINGUISHER
F.F. FINISH FLOOR
F.G FIXED GLASS
FGL FIBERGLASS
FIN FINISH
FLG FLASHING
FLR FLOOR
FLUR FLOURESCENT
FN FENCE
FND FOUNDATION
F.O FACE OF
FP FIRE PROOF
FPHB FIRE PROOF HOSE BIBB
FP FIREPLACE
FR FRAME
FS FULL SIZE
FTG FOOTING
FUR FURRED(ING)
F.V. FIELD VERIFY

G
GA GAUGE
GWB GYPSUM WALL BOARD
G.C. GENERAL CONTRACTOR
GD GRADE OR GRADING
G.D.O GARAGE DOOR OPENER
GFI GROUND FAULT INTERRUPTER
GL GLASS OR GLAZING
GL BK. GLASS BLOCK
G.I. GALVANIZED IRON
GT GROUT

H
H HIGH
HB HOSE BIBB
H.C. HOLLOW CORE
HD HEAD OR HARD
H.D. HEAT DETECTOR OR HEAVY DUTY
HDR HEADER
HDW HARDWARE
HT HEIGHT
H.M. HOLLOW METAL
HORZ HORIZONTAL
HR HOUR
H.R. HALF ROUND
HS HORIZONTAL SLIDER
HTG HEATING
HVAC HEATING/VENTILATION/AIR COND.
HWD HARDWOOD

I
I.B. IRONING BOARD
I.D. INSIDE DIAMETER
I.L.O. IN LIEU OF
I.M. INSULATED METAL
INS/INSUINSULATED(TION)
INT INTERIOR

J
JIST JOIST
JT JOINT

K
KD KNOCKDOWN
KIT KITCHEN
KO KNOCKOUT
KPL KICKPLATE
K/S KNEE SPACE

L
LAM. LAMINATE(D)
LAV LAVATORY
L.B.O. LOCATION BY OTHERS
LIV LIVING
L.L. LIVE LOAD
L.P. LAMINATED PLASTIC
LT LIGHT
L.T. LAUNDRY TUB
LTL LINTEL
LVL VENEER LUMBER
LVR LOUVER

M
M METER(S)
MAX MAXIMUM
MASM ASONRY
MATL MATERIAL
MC MEDICINE CABINET
MECH MECHANICAL
MFR. MANUFACTURER
MH MANHOLE
MIN MINIMUM
MIR MIRROR
MISC MISCELLANEOUS
MLD MOULDING
MM MILLIMETER
MMEMB MEMBRANE
M.O. MASONRY OPENING
MOD MODULAR
MRB MARBLE
MTL METAL
MT MOUNTED(ING)
MULL MULLION OR MULLED

N
N.A. NOT APPLICABLE
N.I.C. NOT IN CONTRACT
NL NAILABLE
NOM NOMINAL
N.T.S. NOT TO SCALE
N.G.V.D NAT. GEODETIC VERTICAL DATOM

O
OA OVERALL
OBS OBSCURE (GLASS)
O.C. ON CENTER
OHC OVERHEAD CABINET
O.D. OUTSIDE DIAMETER
O.G. DOVERHEAD GARAGE DOOR
OH OVERHEAD
OPNG OPENING
OPT OPTIONAL
OSB ORIENTED STRAND BOARD

P
PAR PARALLEL
P.BD. PARTICLE BOARD
PCC. PRECAST CONCRETE
P.E. PORCELAIN ENAMEL
PED PEDISTAL (SINK)
PERI PERIMETER
PKG PARKING
PL PLATE
P.LAM. PLASTIC LAMINATE
PLAS PLASTER
PNL PANEL
PNT PAINT
PR PAIR
PREF ABPREFABRICATED
PSF POUNDS PER SQUARE FOOT
PSI POUNDS PER SQUARE INCHES
PTN PARTITION
P.T. PRESSURE TREATED
PV PAVE(D) OR PAVING
PVC POLYVINYL CHLORIDE (PIPE)
PVMT PAVEMENT
PWD PLYWOOD

Q
Q.T. QUARRY TILE

R
R RISER
R/A RETURN AIR
R.B. RUBBER BASE
RAD RADIUS
RBL RUBBLE
R.D. ROOF DRAIN
REF REFRIDGERATOR
REQ REQUIRED
RES RESILIENT
REV REVISION, REVISED
REINF REINFORCED(ING)
RFG ROOFING
R.J.B. REINFORCED JUNCTION BOX
RLG RAILING
R&M RANGE W/ MICROWAVE
RWL ROOF WATER LEADER
R.O. ROUGH OPENING
R.O.W. RIGHT OF WAY
R&S ROD AND SHELF(S)

S
SC SOLID CORE
SCH SCHEDULE
SD SMOKE DETECTOR
SEC SECTION
S.F. SQUARE FEET
SF.GL. SAFETY GLASS
S.G.D. SLIDING GLASS DOOR
SH SINGLE HUNG OR SHELF
SHT (DRAWING) SHEET
SHTHG SHEATHING
SIM SIMILAR
SKL SKYLIGHT
SL SIDELIGHT OR SLEEVE
SNT SEALANT
SPC SPACER
SPEC SPECIFICATIONS
SPK SPEAKER
S.ST. STAINLESS STELL
STD STANDARD
STOR STORAGE
STL STEEL
STR STRUCTURAL
SQ SQUARE
SUS SUSPENDED
S.W. SHEAR WALL

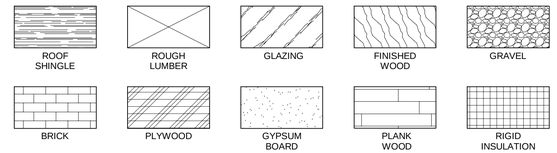
T
T TREAD
T.B. TOWEL BAR
T.B.D. TO BE DETERMINED
TC TERRA COTTA
T.C.J. TROWELED CONTROL JOINT
TEMP TEMPERATURE
T&G TONGUE &GROOVE
TEL TELEPHONE
THK THICK(NESS)
THR THRESHOLD
T.O.C. TOP OF COUNTER
T.O.F. TOP OF FOUNDATION
T.O.M. TOP OF MASONRY
T.O.W. TOP OF WINDOW
TR TRANSOM
TP TOILET PAPER HOLDER
TV TELEVISION OUTLET
TYP TYPICAL

U
UC UNDERCUT
UNF UNFINISHED
U.N.O. UNLESS NOTED OTHERWISE

V
VB VANITY BASE
V.B. VAPOR BARRIER
VBr VANITY BASE WIDTH
VERT VERTICAL
VIN VINYL (SHEET)
V.S. VEGTABLE SINK
V.C.T. VINYL COMPOSITION TILE

W
W## WALL CAB DIMENSIONS
W WIDE OR WASHING MACHINE
WC WATER CLOSET
WD WOOD
WF WIDE FLANGE
WH WATER HEATER
W.H. WALL HUNG
WI WROUGHT IRON
WIC WALK-IN-CLOSET
WIN WINDOW
W/W/O WITH OR WITHOUT
WP WATERPROOF
W.R. WATER RESISTANT
W.S. WATER SOFTENER
WSCT WAINSCOT
W.T.W. WALL TO WALL
WWM WELDED WIRE MESH

MATERIALS LEGEND

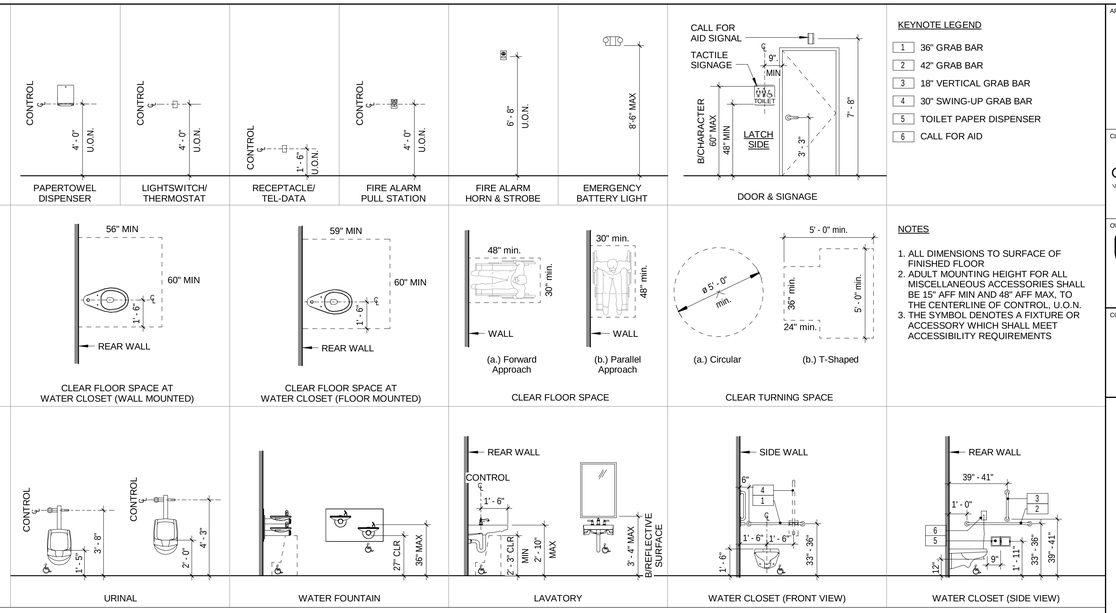


DIMENSIONING NOTES

(TYPICAL UNLESS OTHERWISE NOTED)
ALL DIMENSIONS SHOWN AS FOLLOWS:

- FRAMED CONSTRUCTION
  - WALLS: FACE OF STUD TO FACE OF STUD
  - DOORS/WINDOWS: ROUGH OPENING
- MASONRY/CONCRETE CONSTRUCTION
  - WALLS: FACE OF MASONRY TO FACE OF MASONRY
  - DOORS/WINDOWS: MASONRY OPENING
- ALL ANGLES ARE 45 DEGREES OR 90 DEGREES, U.O.N.

WALL LEGEND

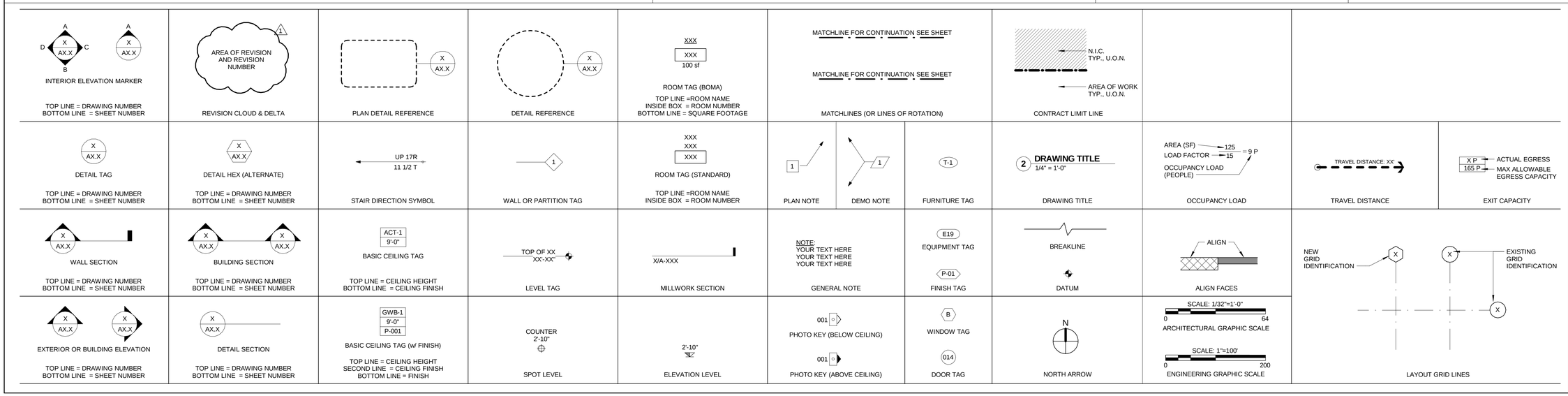


KEYNOTE LEGEND

1	36" GRAB BAR
2	42" GRAB BAR
3	18" VERTICAL GRAB BAR
4	30" SWING-UP GRAB BAR
5	TOILET PAPER DISPENSER
6	CALL FOR AID

NOTES

1. ALL DIMENSIONS TO SURFACE OF FINISHED FLOOR
2. ADULT MOUNTING HEIGHT FOR ALL MISCELLANEOUS ACCESSORIES SHALL BE 15" AFF MIN AND 48" AFF MAX, TO THE CENTERLINE OF CONTROL. U.O.N.
3. THE SYMBOL DENOTES A FIXTURE OR ACCESSORY WHICH SHALL MEET ACCESSIBILITY REQUIREMENTS



ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
ADA STANDARDS, SYMBOLS & ABBREVATIONS

DRAWING NO.
G003

Plot Date: 2/20/2018 5:30:29 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub.j_woodworth.rvt

PROJECT DATA

ITEM	CODE SECTION(S)	
CONSTRUCTION TYPE	IBC: 602	2B
USE & OCCUPANCY CLASSIFICATION	IBC: 302	SEPERATED MIXED USE: (A-2) / (S-2) / (B) / (R-2)
INCIDENTAL ACCESSORY	IBC: 509	MECHANICAL ROOM
ACCESSORY USE AREA	IBC: 508.2	N/A
TABULAR ALLOWABLE BUILDING HEIGHT	IBC: TABLE 504.3 & 504.4	(A-2) = 75'-0", 3 STORY(S) SPRINKLERED
		(S-2) = 55'-0", 3 STORY(S) NON - SPRINKLERED
		(B) = 55'-0", 3 STORY(S) NON - SPRINKLERED
		(R-2) = 55'-0", 3 STORY(S) NON - SPRINKLERED
ACTUAL BUILDING HEIGHT	--	3 STORY(S), 53'-0"
TABULAR ALLOWABLE BUILDING AREA	IBC: TABLE 506.2	(A-2) = 28,500 SF., NON SPRINKLERED
		(S-2) = 26,000 SF, NON SPRINKLERED
		(B) = 23,000 NON SPRINKLERED
		(R-2) = 16,000 SF, NON SPRINKLERED
		SEE KEY PLANS FOR MIXED AREA CALCULATIONS
ACTUAL BUILDING AREA (SEE PLANS FOR USE SEPERATION S.F.)	IBC: TABLE 506.2	BASEMENT = 17,220 SF
		FIRST FLOOR = 19,839 SF
		SECOND FLOOR = 4,000 SF
		THIRD FLOOR = 4,000 SF
		TOTAL BUILDING = 45,059 SF
FIRE SURPRESSION	IBC: 903.2.1.2	PARTIAL - (A-2) & (S-2) FIRE AREA WILL BE PROVIDED WITH AUTOMATIC SPRINKLER SYSTEM
FIRE DETECTION	IBC: 907	PROVIDED
TOTAL BUILDING OCCUPANT LOAD	IBC: TABLE 1004.1.2	SEE CODE PLAN
AREA OF REFUGE	IBC: 1009.3 - EXCEPTION 5	NOT REQUIRED WHERE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. (A-2) FIRE AREA ONLY WILL BE PROVED WITH AUTOMATIC SPRINKLER SYSTEM
STAIR WIDTH	IBC: 1009.3 - EXCEPTION 2 & 1011.2	CLEAR WIDTH OF 48" IS NOT REQUIRED WHERE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. (A-2) FIRE AREA ONLY WILL BE PROVIDED WITH AUTOMATIC SPRINKLER SYSTEM. 44" MINIMUM
MAX TRAVEL DISTANCE	IBC: TABLE 1017.2	(A-2) 250' WITH AUTOMATIC SPRINKLER SYSTEM
		(S-2) 300' W/OUT AUTOMATIC SPRINKLER SYSTEM
		(B) 200' W/OUT AUTOMATIC SPRINKLER SYSTEM
		(R-2) 200' W/OUT AUTOMATIC SPRINKLER SYSTEM
CORRIDOR WIDTH	IBC: TABLE 1020.2	44", MINIMUM
DEAD END CORRIDOR	IBC: TABLE 1020.4	(A-2) = 20' W/OUT AUTOMATIC SPRINKLER SYSTEM
		(S-2) = 20' W/OUT AUTOMATIC SPRINKLER SYSTEM
		(B) = 20' W/OUT AUTOMATIC SPRINKLER SYSTEM
		(R-2) = 20' W/OUT AUTOMATIC SPRINKLER SYSTEM
NUMBER OF EXITS	IBC: 1006.2.11 & IBC: TABLE 1006.2.1	(A-2) = 2 WHEN 500 OR LESS OCCUPANTS
		(S-2) = 2 WHEN GREATER THAN 75' TRAVEL DISTANCE & 30 OCCUPANTS
		(B) = 2 WHEN GREATER THAN 75' DISTANCE TRAVEL & 30 OCCUPANTS
		(R-2) = 2 MINIMUM

PLUMBING FIXTURE COUNT

ASSEMBLY TOTAL OCCUPANTS = 493.47 / BUSINESS TOTAL OCCUPANTS = 98.33 / STORAGE TOTAL OCCUPANTS = 10.93

		REQUIRED FIXTURE COUNT		CALCULATED FIXTURE COUNT		TOTAL FIXTURES REQUIRED		TOTAL FIXTURES PROVIDED	
OCCUPANCY CLASS		MALE	FEMALE	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE
A-2, ASSEMBLY	WATER CLOSETS	1 PER 75	1 PER 75	3.29	3.29	5.31 (6)	5.31 (6)	2 WC* 3 URINALS*	4*
B, BUSINESS	WATER CLOSETS	1 PER 25	1 PER 25	1.97	1.97				
S-2, STORAGE	WATER CLOSETS	1 PER 100	1 PER 100	.05	.05				
A-2, ASSEMBLY	LAVATORIES	1 PER 200	1 PER 200	1.23	1.23	2.51 (3)	2.51 (3)	2*	5
B, BUSINESS	LAVATORIES	1 PER 40	1 PER 40	1.23	1.23				
S-2, STORAGE	LAVATORIES	1 PER 100	1 PER 100	.05	.05				
A-2, ASSEMBLY	DRINKING FOUNTAIN	1 PER 500		.98		1.18 (2)		2	
B, BUSINESS	DRINKING FOUNTAIN	1 PER 500		.19					
S-2, STORAGE	DRINKING FOUNTAIN	1 PER 1000		.01					
A-2, ASSEMBLY	SERVICE SINK	1 SERVICE SINK		1 SERVICE SINK		1		1	
B, BUSINESS	SERVICE SINK	1 SERVICE SINK		1 SERVICE SINK					
S-2, STORAGE	SERVICE SINK	1 SERVICE SINK		1 SERVICE SINK					

*** ADDITIONAL BATHROOM FIXTURES TO BE ADDED UNDER SEPARATE PROJECT BY THE UNIVERSITY**

FIRE RESISTANCE RATINGS

ITEM	CODE SECTION(S)	
PRIMARY STRUCTURE FRAME	IBC: TABLE 601	0 HOUR(S)
BEARING WALLS		EXTERIOR: 0 HOUR(S)
		INTERIOR: 0 HOUR(S)
NON - BEARING WALLS		EXERIOR: 0 HOUR(S)
		INTERIOR: 0 HOUR(S)
FLOOR CONSTRUCTION		0 HOUR(S)
ROOF CONSTRUCTION		0 HOUR(S)
SHAFT ENCLOSURES	IBC: 713.4	2 HOUR(S) - CONNECTING 4 STORIES OR MORE, OR WHERE PENETRATING 2 HR FLOOR CONSTRUCTION
EXIT ENCLOSURES	IBC: 1023.2	2 HOUR(S) - CONNECTING 4 STORIES OR MORE, OR WHERE PENETRATING 2 HR FLOOR CONSTRUCTION
CORRIDORS	IBC: TABLE 1020.1	1 HOUR(S) WITHOUT SPRINKLER SYSTEM
		0 HOUR(S) WITH SPRINKLER SYSTEM
DOOR RATING	IBC: TABLE 716.5	1 HOUR(S) EXIT ENCLOSURE = 1 HOUR(S) DOOR
		1 HOUR(S) CORDDIDOR WALL = 1/3 HOUR(S) DOOR
USE GROUPS	IBC: 302	A-2: DINING & KITCHEN
		B: EDUCATIONAL
		R-2 DORMITORY
		S-2: STORAGE
USE GROUPS	IBC: 508.4, TABLE 508.4	2 HOUR(S): A-2 / B
		1 HOUR(S) - A-2 / S-2
		2 HOUR(S) S-2 / B
		2 HOUR(S) R-2 / B (NOT IN RENOVATION SCOPE)
VERTICAL DWELLING UNIT SEPARATION	IBC: 420.2, 708.1	1 HOUR(S) (NOT IN SCOPE)
HORIZONTAL DWELLING UNIT SEPARATION	IBC: 420.3, 711.2.4.3	1 HOUR(S) (NOT IN SCOPE)

APPLICABLE CODE

CODE	CODE SECTION(S)
BUILDING CODE	2015 INTERNATIONAL BUILDING CODE
	2015 INTERNATIONAL RESIDENTIAL BUILDING CODE
	2017 UNIFORM CODE SUPPLEMENT
PLUMBING CODE	2015 INTERNATIONAL PLUMBING CODE
MECHANICAL CODE	2015 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE	2014 NATIONAL ELECTRICAL CODE (NFPA 70)
FUEL & GAS	2015 INTERNATIONAL FUEL & GAS CODE
ACCESSIBILITY	ACESSIBILITY
ENERGY CODE COMPLIANCE	2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2016 SUPPLEMENT

CODE INFORMATION KEY

AREA / LOAD = OCC	CALCULATED OCCUPANT LOAD		
	MAXIMUM TRAVEL DISTANCE		DIRECTION OF EGRESS TRAVEL
	ACTUAL DOOR/STAIR OCC. LOAD / ALLOWED DOOR/STAIR CAPACITY.	NSO	NON SIMULTANEOUS OCCUPANCY
	HC ACCESSIBLE ROUTE	##	OCCUPANT LOAD
	1 HOUR RATED WALL ASSEMBLY		2 HOUR RATED VERTICAL SHAFT ASSEMBLY
	2 HOUR RATED WALL ASSEMBLY		

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
CODE DATA

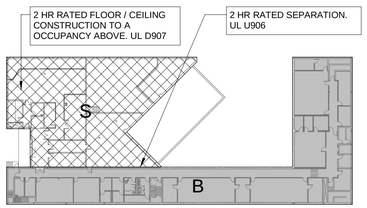
DRAWING NO.
G004

Plot Date: 2/20/2018 5:30:30 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

OCCUPANCY LEGEND

ACCESSORY	EDUCATIONAL
ASSEMBLY (TABLES & CHAIRS)	STORAGE
BUSINESS	RESIDENTIAL
COMMERCIAL KITCHEN	

USE GROUP KEY PLAN

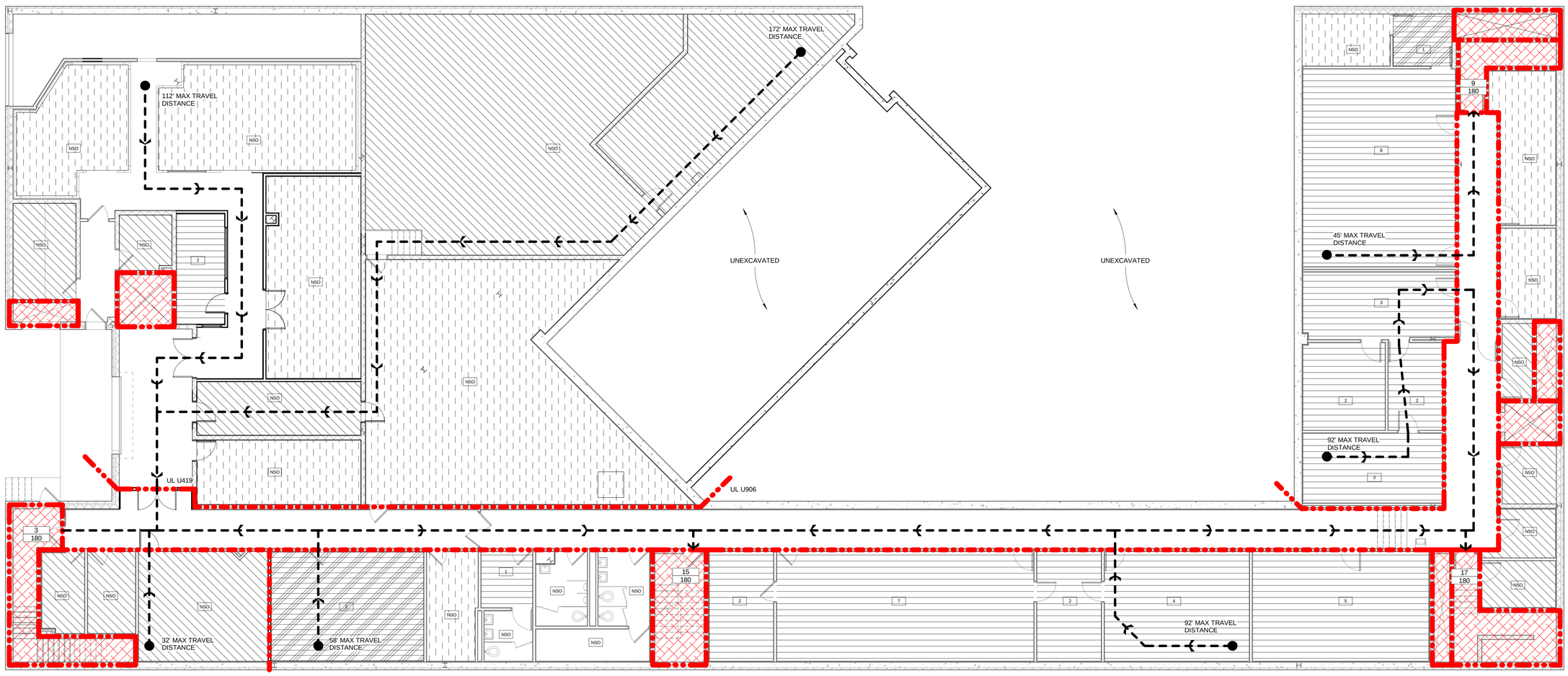


STORAGE
ACTUAL = 7,679 SF
ALLOWABLE = 26,000 SF

BUSINESS
ACTUAL = 9,543 SF
ALLOWABLE = 23,000 SF

CODE INFORMATION KEY

AREA / LOAD = OCC	CALCULATED OCCUPANT LOAD		
	MAXIMUM TRAVEL DISTANCE		DIRECTION OF EGRESS TRAVEL
	ACTUAL DOOR/STAIR OCC. LOAD / ALLOWED DOOR/STAIR CAPACITY.	NSO	NON SIMULTANEOUS OCCUPANCY
	HC ACCESSIBLE ROUTE	##	OCCUPANT LOAD
	1 HOUR RATED WALL ASSEMBLY		2 HOUR RATED VERTICAL SHAFT ASSEMBLY
	2 HOUR RATED WALL ASSEMBLY		



1 BASEMENT CODE PLAN
1/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
CODE PLAN & ANALYSIS BASEMENT

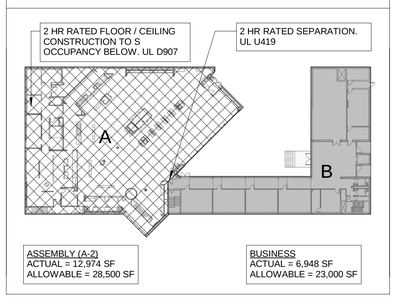
DRAWING NO.
G100

Plot Date: 2/20/2018 5:30:35 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

OCCUPANCY LEGEND

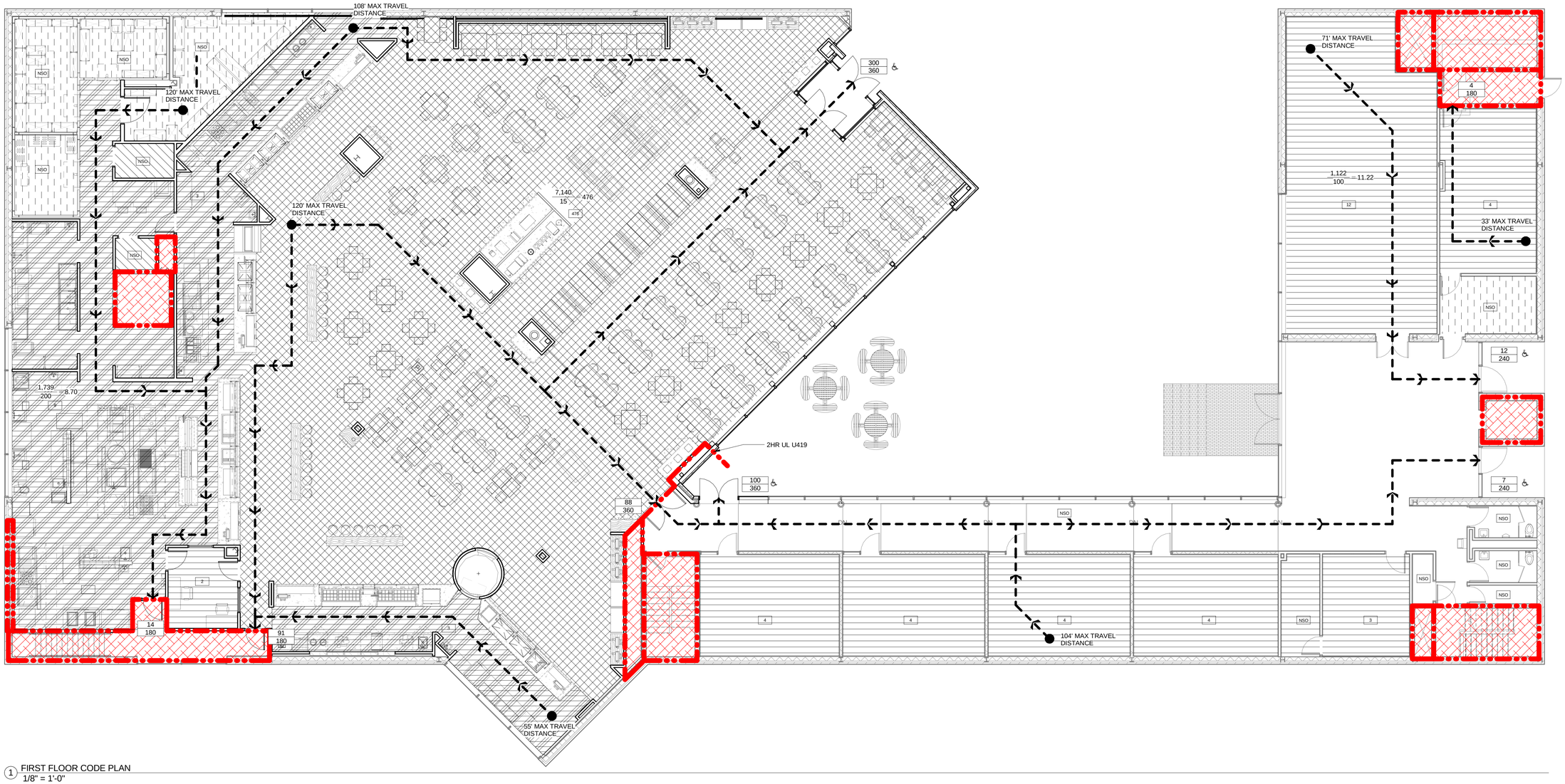
ACCESSORY
EDUCATIONAL
ASSEMBLY (TABLES & CHAIRS)
STORAGE
BUSINESS
RESIDENTIAL
COMMERCIAL KITCHEN

USE GROUP KEY PLAN



CODE INFORMATION KEY

AREA / LOAD = OCC	CALCULATED OCCUPANT LOAD		
	MAXIMUM TRAVEL DISTANCE		DIRECTION OF EGRESS TRAVEL
	ACTUAL DOOR/STAIR OCC. LOAD ALLOWED DOOR/STAIR CAPACITY.	NSO	NON SIMULTANEOUS OCCUPANCY
	HC ACCESSIBLE ROUTE	##	OCCUPANT LOAD
	1 HOUR RATED WALL ASSEMBLY		2 HOUR RATED VERTICAL SHAFT ASSEMBLY
	2 HOUR RATED WALL ASSEMBLY		



1 FIRST FLOOR CODE PLAN
1/8" = 1'-0"

Plot Date: 2/20/2018 5:30:42 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
CODE PLAN & ANALYSIS FIRST FLOOR

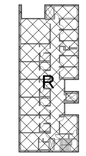
DRAWING NO.
G101

CODE INFORMATION KEY

AREA / LOAD = OCC	CALCULATED OCCUPANT LOAD		
	MAXIMUM TRAVEL DISTANCE		DIRECTION OF EGRESS TRAVEL
	ACTUAL DOOR/STAIR OCC. LOAD / ALLOWED DOOR/STAIR CAPACITY.	NSO	NON SIMULTANEOUS OCCUPANCY
	HC ACCESSIBLE ROUTE	##	OCCUPANT LOAD
	1 HOUR RATED WALL ASSEMBLY		2 HOUR RATED VERTICAL SHAFT ASSEMBLY
	2 HOUR RATED WALL ASSEMBLY		

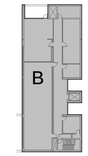
USE GROUP KEY PLAN

THIRD FLOOR



RESIDENTIAL (R-2)
ACTUAL = 4,000 SF
ALLOWABLE = 16,000 SF

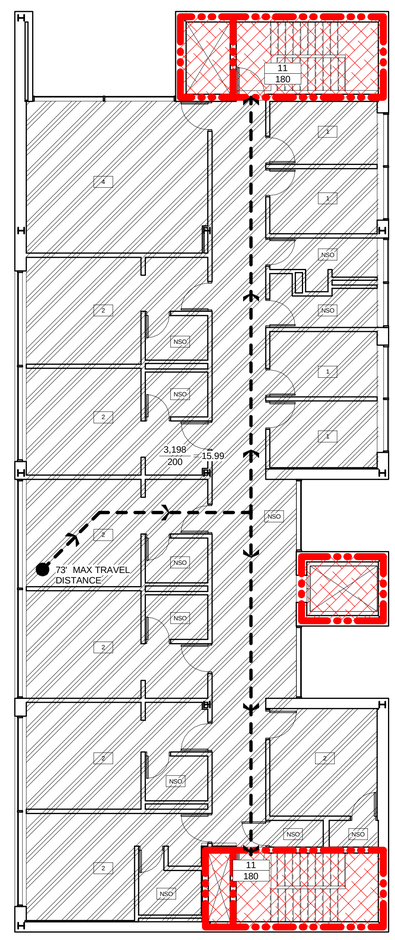
SECOND FLOOR



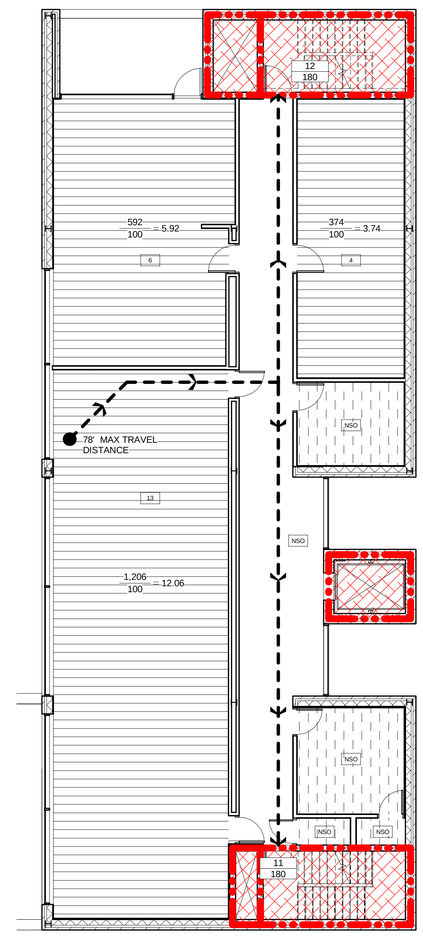
BUSINESS
ACTUAL = 4,000 SF
ALLOWABLE = 23,000 SF

OCCUPANCY LEGEND

ACCESSORY	EDUCATIONAL
ASSEMBLY (TABLES & CHAIRS)	STORAGE
BUSINESS	RESIDENTIAL
COMMERCIAL KITCHEN	



2 THIRD LEVEL - CODE PLAN
1/8" = 1'-0"



1 SECOND LEVEL - CODE PLAN
1/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
CODE PLAN & ANALYSIS SECOND AND THIRD FLOOR

DRAWING NO.
G102

Plot Date: 2/20/2018 5:42:14 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

DESIGN DEVELOPMENT PLANS

for

Cafe Addition and Remodel

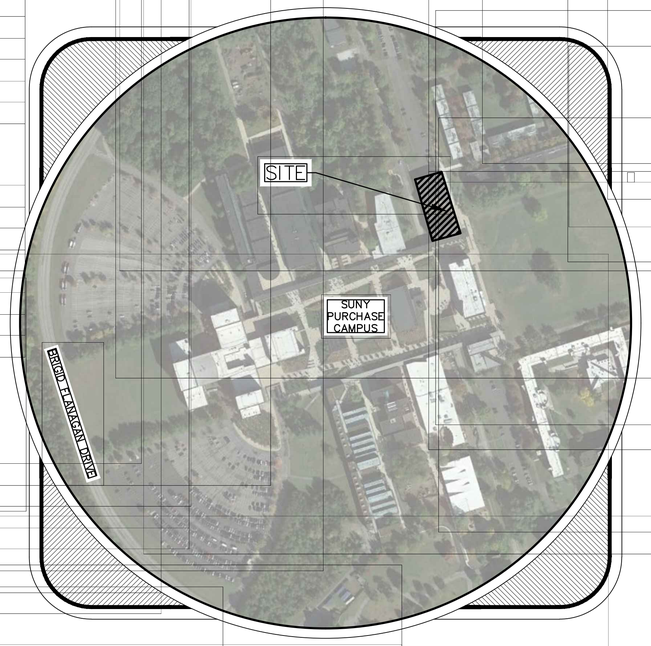
Purchase, NY 10577

SITE INDEX

NO.	DRAWING TITLE	LATEST ISSUE
C-1	Cover Sheet	2/16/2018
C-2	General Notes	2/16/2018
C-3	Site Layout & Materials Plan	2/16/2018
C-4	Site Grading Plan	2/16/2018
C-5a	Site Utilities Plan	2/16/2018
C-5b	Site Utilities Plan	2/16/2018
C-6	Site Demolition & Erosion Control	2/16/2018
C-7	Site Details	2/16/2018
C-8	Site Details	2/16/2018

SURVEY INDEX

NO.	DRAWING TITLE	LATEST ISSUE
TS105	Topographic Survey 5 Prepared by Badey & Watson	1/18/2012



VICINITY MAP

1" = 400'

UTILITY CONTACTS

UTILITY	UTILITY CO.	CONTACT	TELEPHONE
ELECTRIC	CON EDISON	Bayly Tyler	PH. (800) 752-6633
	511 Theodore Fremd Aven	WORK REQUEST	PH. 914-925-6036
	Rye, NY 10580		
WATER	WESTCHESTER JOINT WATER WORKS		PH. (914) 698-3500
	1625 Mamaroneck Ave.	COMMISSIONER	EMGCY. (914) 424-4371
	Mamaroneck NY 10543		
SEWER	WESTCHESTER SEWER DISTRICT #1B		PH. (914) 995-8353
	1 FERNBROOK ST.		
	YONKERS, NY 10705		
GAS	CON EDISON	Bayly Tyler	PH. (800) 752-6633
	511 Theodore Fremd Aven	WORK REQUEST	PH. 914-925-6036
	Rye, NY 10580		
TELEPHONE	VERIZON		PH. (212) 890-0200
	BUSINESS SERVICES		FAX
	NEW YORK, NY 10001		
FIRE CHIEF	PURCHASE FIRE DEPARTMENT	MARTIN GOTTE	PH. (914) 253-9044
	614 ANDERSON HILL ROAD	CHIEF	
	PURCHASE, NY 01105		
BUILDING OFFICIAL	HARRISON BUILDING DEPARTMENT	ROCCO GERMANI	PH. (914) 670-3053
	1 HEINEMAN PLACE	BUILDING INSPECTOR	
	HARRISON, NY 10528		

OWNER: State University of New York Purchase College
735 Anderson Hill Road
Purchase, NY 10577

APPLICANT: State University of New York Purchase College
735 Anderson Hill Road
Purchase, NY 10577

DOUCET & ASSOCIATES
Austin, Texas - Gonzales, Texas - Northampton, Massachusetts
www.doucetandassociates.com

REVISIONS:

NO.	DESCRIPTION	REVISION DATE

ARCHITECT
phase zero design
EIGHT WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT
Purchase College
STATE UNIVERSITY OF NEW YORK
SUNY PURCHASE COLLEGE
735 ANDERSON HILL ROAD,
PURCHASE, NY 10577

CONSULTANT
DOUCET & ASSOCIATES
Civil Engineering & Planning
123 Union Street - Suite 302
Easthampton, MA 01027
Phone: (413) 203-2349
www.doucetandassociates.com

PROJECT
SUNY PURCHASE COLLEGE
CAFE ADDITION AND REMODEL
735 ANDERSON HILL ROAD
PURCHASE, NY 10577

REVISIONS

REV	DATE	DESCRIPTION / COMMENTS

SEAL

ISSUED FOR: OUT-TO-BID
ISSUED DATE: 2.16.2018

DRAWN BY: JBB
CHECKED BY: LAR
PROJECT NUMBER:

DRAWING NAME
COVER SHEET

DRAWING NO.
C-1

LEGEND

EXISTING	PROPOSED	
		– LOCUS PROPERTY LINE
		– ABUTTER PROPERTY LINE
X	X	– CHAIN LINK FENCE
		– STOCKADE FENCE
10+00	10+00	– BASELINE
100	100	– MAJOR CONTOUR (5 FEET)
100	100	– MINOR CONTOUR (1 FOOT)
		– TREE LINE
W	W	– UNDERGROUND WATER LINE
S	S	– UNDERGROUND SEWER LINE
T	T	– UNDERGROUND TELEPHONE LINE
D		– UNDERGROUND DRAIN LINE
E	E	– UNDERGROUND ELECTRIC LINE
G		– UNDERGROUND GAS LINE
OHW	OHW	– OVERHEAD WIRE
		– BOLLARD
		– SIGN
		– DOUBLE SIGN
		– IRON PIPE
		– PULL BOX
		– UTILITY POLE
B-80	B-1	– BORING LOCATION
		– CATCH BASIN
		– DOUBLE CATCH BASIN
D		– DRAIN MANHOLE
S		– SEWER MANHOLE
HYD		– HYDRANT
WV		– WATER VALVE
		– PLUG/STUB
		– LAMP POST
TBM	TBM	– TEMPORARY BENCHMARK
		– GUARDRAIL
		– TREE (DECIDUOUS)
		– TREE (CONIFEROUS)
	8	– PARKING COUNT
		– HANDICAP RAMP
		– HANDICAP PARKING
VAN	VAN	– VAN-ACCESSIBLE HANDICAP PARKING

ABBREVIATIONS

GENERAL

ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BB	BITUMINOUS BERM
BC	BITUMINOUS CURB
BOS	BOTTOM OF SLOPE
BS	BOTTOM OF SLOP
CC	CONCRETE CURB
CCB	CAPE COD BERM
CC&G	CONCRETE CURB & GUTTER
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
GC	GRANITE CURB
GE	GRANITE EDGING
MAX	MAXIMUM
MCC	MONOLITHIC CONCRETE CURB
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PCC	PRECAST CONCRETE CURB
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
REMOD	REMODEL
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
SGE	SLOPED GRANITE EDGING
SKF	STOCKADE FENCE
TOS	TOP OF SLOPE
TS	TOP OF SLOPE
TYP	TYPICAL
VGC	VERTICAL GRANITE CURB

UTILITY

ACCCMP	ASPHALT COATED CORRUGATED METAL PIPE
CAP	CORRUGATED ALUMINUM PIPE
C&C	CUT AND CAPPED
CIP	CAST IRON PIPE
CIT	CHANGE IN TYPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	ELECTRIC HANDHOLE
HYD	HYDRANT
INV	INVERT ELEVATION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
TSV&B	TAPPING SLEEVE, VALVE AND BOX
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE

SITE PLAN NOTES

1. EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A SURVEY PERFORMED BY NORTHEAST SURVEY CONSULTANTS. DATED NOVEMBER 13, 2014 AND COMPILED FROM INFRASTRUCTURE CONSTRUCTION PLANS.
2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS AND ALL OTHER O.S.H.A. STANDARDS.
3. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, STAIRWAYS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
4. ALL DISTURBED AREAS ARE TO RECEIVE MINIMUM FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
5. ALL EDGES OF PAVEMENT TO BE CURBED. BACK OF CURB SHALL BE FLUSH WITH GRADE UNLESS NOTED OTHERWISE. ALL CURBING AS NOTED ON THE DRAWNGS.
6. ALL PAVED RADII ARE TO BE 2' UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS AND RADII ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
8. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, REMODELED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
9. EXISTING PAVED AREAS ON SITE (SITE DRIVE, SIDEWALKS, PARKING AREAS) SHALL RECEIVE A SURFACE COURSE AS SPECIFIED IN THE PAVING DETAILS. ADJUST STRUCTURE FRAMES TO MATCH FINISHED GRADE.
10. ALL CONSTRUCTION IN TOWN RIGHT-OF-WAYS AND/OR EASEMENTS SHALL BE IN ACCORDANCE WITH THE TOWN OF PURCHASE STANDARD SPECIFICATIONS.
11. IN THE EVENT OF DISCREPANCIES BETWEEN LOCAL SPECIFICATIONS & STATE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
12. CONTRACTOR SHALL REFER TO ARCHITECTURAL DETAILS AND SPECIFICATIONS FOR REQUIREMENTS OF CONSTRUCTION AND JOINT SPACING OF SIDEWALKS, RAMPS, AND CURBING ADJACENT TO BUILDING.
13. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
14. THE CONTRACTOR SHALL PROTECT ALL BENCHMARKS AND PROPERTY MONUMENTATION. BENCHMARKS AND MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY A LICENSED SURVEYOR AT THE CONTRACTORS EXPENSE.
15. ALL STRIPING, PAVEMENT MARKINGS, AND TRAFFIC SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, UNLESS OTHERWISE NOTED ON THE PLANS. STRIPED AREAS SHALL BE 2 FEET O.C. UNLESS OTHERWISE NOTED..

GENERAL NOTES:

SITE ADDRESS:	735 ANDERSON HILL ROAD PURCHASE, NEW YORK 10577
PARCEL ID:	11110-0454
1. TOTAL PARCEL AREA:	479,595 SF. (11.0 AC.)
2. DEED REFERENCES:	Plan 211 Page 97
3. CURRENT ZONING:	R-2 ONE – FAMILY RESIDENCE
4. PROPOSED USES:	EDUCATIONAL
5. PROPOSED STRUCTURES:	+/-1,400 SF EXPANSION

6. FLOOD CERTIFICATION: THIS SITE IS ZONED 'X' AS PER FIRM, FLOOD INSURANCE RATE MAP,
7. TOPOGRAPHIC & BOUNDARY SURVEY, INCLUDING PROPERTY LINES, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY & WAS DATED DECEMBER 23, 2014:

   BADEY & WATSON
   3043 ROUTE 9
   COLD SPRING, NY 10516

   PRIOR TO RECORDING THE FINAL APPROVED SITE PLAN, AN AS-BUILT PLAN SHALL BE PROVIDED TO THE OWNER AND DOUCET & ASSOCIATES, INC.
8. DISPOSAL OF MATERIALS SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
9. ALL CONSTRUCTION IN TOWN RIGHT-OF-WAY SHALL BE COORDINATED WITH THE PURCHASE DPW AND PURCHASE WATER & SEWER COMMISSION.
10. ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION IS SUBJECT TO LOCAL, STATE, AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/APPLICANT, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
11. CONSTRUCTION OF BUILDING, AND UTILITY ENTRANCES SHALL BE IN ACCORDANCE WITH ASSOCIATED ARCHITECTS PLANS PREPARED BY PHASE ZERO DESIGN..
12. THE AREA SHALL BE KEPT CLEAN AND FREE FROM DEBRIS AT ALL TIMES DURING CONSTRUCTION.
13. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED AND GRADED TO ORIGINAL GRADES UNLESS OTHERWISE SHOWN ON THE THE CONSTRUCTION DRAWINGS.
14. A STORMWATER POLLUTION PREVENTION PLAN SHALL BE PREPARED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THIS PLAN AT THE JOB SITE.
15. THE CONTRACTOR SHALL NOTIFY DIG SAFE @ 1-888-DIG-SAFE OR 811 PRIOR TO COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITY.

SPECIAL CONSTRUCTION NOTES

1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE BETWEEN THE TOWN OF PURCHASE REPRESENTATIVES, ENGINEER, ARCHITECT, UTILITY COMPANY REPRESENTATIVES, A.I.C. REPRESENTATIVE AND ANY OTHER AFFECTED PARTIES.
2. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED AND GRADED TO ORIGINAL GRADES UNLESS OTHERWISE SHOWN ON THE THE CONSTRUCTION DRAWINGS.
3. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE STORMWATER POLLUTION PREVENTION PLAN AT THE JOB SITE. CONTRACTOR SHALL PROVIDE INLET PROTECTION TO ADJACENT SITE DRAINS AND/OR CATCH BASINS.
4. THE CONTRACTOR SHALL NOTIFY DIG SAFE @ 1-888-344-7233 PRIOR TO COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITY.
5. CONTRACTOR SHALL PROVIDE TWO SETS OF AS-BUILT DRAWINGS, PRIOR TO FINAL PAYMENT. AS-BUILT DRAWINGS SHALL INCLUDE ALL INSTALLED UTILITIES WITH VERTICAL AND HORIZONTAL LOCATIONS AND BE SATISFACTORY TO THE BUILDING OFFICIAL FOR ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE AS-BUILT DRAWINGS SHALL ALSO INCLUDE PIPE INVERTS, SPOT GRADES AND CONTOUR ELEVATIONS. THE FINAL PLAN SHALL BE STAMPED AND SIGNED BY A MASSACHSETTS REGISTERED PROFESSIONAL LAND SURVEYOR.
6. PRIOR TO SUBMITTING THE NOTICE OF TERMINATION, CONTRACT SHALL CLEAN ALL STORMWATER DRAINAGE STRUCTURES, CATCH BASINS, OUTLET CONTROL STRUCTURES AND SUBSURFACE STORMWATER INFILTRATION ACCESS PORTS.
7. CONTACT THE PURCHASE WATER AND SEWER COMMISSION & DPW FOR REVIEW & APPROVAL OF ANY MODIFICATIONS TO THE APPROVED SITE PLANS PRIOR TO THE WORK BEING PERFORMED.
8. ANY WORK & MATERIAL WITHIN THE TOWN RIGHT-OF-WAY SHALL CONFORM TO THE TOWN OF PURCHASE STANDARD SPECIFICATIONS AND REQUIREMENTS.
9. THE PURCHASE WATER AND SEWER COMMISSION IS NOT PART OF DIGSAFE. FOR ANY UNDERGROUND UTILITY MARK OUT OF WATER OR SANITARY SEWER STRUCTURES, CONTACT THE COMMISSION'S FIELD SERVICES OFFICE AT 413-787-6206 A MINIMUM OF 72 HOURS BEFORE ANY EXCAVATION OCCURS.
10. CONSTRUCTION UPGRADES TO THE WATER AND SEWER SERVICES MAY ONLY BE PERFORMED BY COMMISSION APPROVED CONTRACTORS.
11. CONTRACTOR SHALL COORDINATE WITH THE COLLEGE AND ALL OTHER APPLICABLE AGENCIES FOR TEMPORARY LANE CLOSURES OR SHUT-DOWN OF LINCOLN AVENUE. CONTRACTOR SHALL PROVIDE SAFETY MEASURES INCLUDING FLAG MEN IF NEEDED.

SITE GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE COLLEGE AN DIG SAFE @ 1-888-DIG-SAFE AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
4. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED: HIGH DENSITY POLYETHYLENE PIPE (HDPE) SMOOTH INTERIOR/ANNULAR EXTERIOR. PIPE JOINTS AND FITTINGS SHALL CONFORM TO AASHTO M252 AND M294.
5. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
6. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
7. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
9. ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING (H20) RING & COVER MANHOLES
11. CONTRACTOR SHALL ADJUST AND/OR SAWCUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
13. EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A SURVEY PERFORMED BY NORTHEAST SURVEY CONSULTANTS. DATED NOVEMBER 13, 2014 AND COMPILED FROM INFRASTRUCTURE DESIGN PLANS.
14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
15. ALL STORM MANHOLES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
16. IF CONTRACTOR RELOCATES OR SETS NEW BENCHMARKS, THE VERTICAL ELEVATIONS OF THE BENCHMARKS SHALL BE SET, BY A LICENSED SURVEYOR, WITHIN A TOLERANCE OF 0.010 FT.
17. ALL UTILITY ADJUSTMENTS SHALL BE COMPLETED PRIOR TO FINAL PAVING CONSTRUCTION.

SITE UTILITY NOTES

1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE COLLEGE AND APPLICABLE UTILITY AUTHORITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
   SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
   SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
4. WATER LINES SHALL BE AS FOLLOWS: ALL WATER SYSTEM COMPONENTS AND WATER LINES SHALL COMPLY WITH TOWN OF PURCHASE WATER & SEWER COMMISSION GUIDELINES & POLICIES AND ANY OTHER PUBLISHED TOWN SPECIFICATIONS OR REQUIREMENTS.
5. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5' COVER ON ALL WATERLINES.
6. WATER AND SANITARY SEWER SEPARATION SHALL BE 10' MIN. HORIZONTAL FROM OUTSIDE EDGE OF PIPES. IF HORIZONTAL SEPARATION CAN NOT BE OBTAINED, THE WATER LINE MUST BE INSTALLED A MIN. OF 18" ABOVE SANITARY SEWER LINE. THE SANITARY SEWER LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 52).
7. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
8. TOPS OF EXISTING MANHOLES AND OTHER STRUCTURES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS. ALL UTILITY ADJUSTMENTS SHALL BE COMPLETED PRIOR TO FINAL PAVING CONSTRUCTION.
9. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
10. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
11. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
12. REFER TO ARCHITECTURAL INTERIOR DRAWINGS FOR TIE-IN OF ALL UTILITIES.
13. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE TOWN OF PURCHASE WITH REGARDS TO MATERIALS OF THE WATER AND SEWER LINES.
14. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE @ 1-888-DIG-SAFE AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
15. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
16. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
17. REFER TO ARCHITECT PLANS FOR SITE LIGHTING ELECTRICAL PLAN
18. CONTRACTOR SHALL COMPLY WITH THE LATEST OSHA STANDARDS & TOWN OF PURCHASE DPW SPECIFICATIONS FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND MAINTENANCE OF ALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION.
19. CONTRACTOR SHALL ENSURE UNINTERRUPTED SERVICE OF ALL EXISTING UTILITIES ON THE SITE INCLUDING BUT NOT LIMITED TO SEWER, WATER, ELECTRIC, GAS, TELEPHONE, CATV AND OTHERS.
20. SITE LIGHT POLES ARE TO REMAIN AND BE RELOCATED AS INDICATED ON THE PLAN.

The University of the State of New York
THE STATE EDUCATION DEPARTMENT
State Board for Engineering, Land Surveying, and Geology
Education Building, 89 Washington Avenue
2nd Floor, Mezzanine East-Wing
Albany, NY 12234
Email: enginbd@nysed.gov
Website: www.op.nysed.gov/prof/pels

LIMITED PERMIT TO PRACTICE PROFESSIONAL ENGINEERING

This permit shall entitle the holder to practice Professional Engineering in New York only in connection with the specific project listed below

Permit Number 467
Issue Date 01/13/2017
Expiration Date 01/12/2020

This is to certify that Lawrence A Rusiecki
having applied for a limited permit to practice professional engineering in the State of New York and having submitted satisfactory evidence of established and recognized professional standing in in the State of Massachusetts
and holds license number
47864
and the State Board for Engineering having recommended the issuance of such limited permit; therefore, in accordance with the provisions of section 7207, subdivision 1, of the Education Law, the individual,
Lawrence A Rusiecki
is hereby granted this limited permit to practice professional engineering in this state but only in connection with a specific project, viz.,
Purchase College State University of New York
735 Anderson Hill Road Purchase NY 10577
and is authorized to file plans, specifications and reports using his/her State of Massachusetts seal as provided in Section 7207 of the Education Law. A copy of this permit shall accompany all documents filed with building officials or others in conjunction with this project.

Jane W. Blair, P.E.
Executive Secretary

NON-TRANSFERABLE
VALID ONLY FOR PROJECT LISTED ABOVE

Professional Engineers must register triennially with the department to practice the profession in New York State. Limited Permit holders whose projects may take longer to complete than the 3 year registration period must renew their NYS registration to practice the profession in New York State

ARCHITECT
phase zero design
EIGHT WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT
Purchase College
STATE UNIVERSITY OF NEW YORK
SUNY PURCHASE COLLEGE
735 ANDERSON HILL ROAD,
PURCHASE, NY 10577

CONSULTANT
DOUCET & ASSOCIATES
Civil Engineering & Planning
123 Union Street - Suite 302
Easthampton, MA 01027
Phone: (413) 203-2349
www.doucetandassociates.com

PROJECT
SUNY PURCHASE COLLEGE
CAFE ADDITION AND REMODEL
735 ANDERSON HILL ROAD
PURCHASE, NY 10577

REVISIONS

REV	DATE	DESCRIPTION / COMMENTS

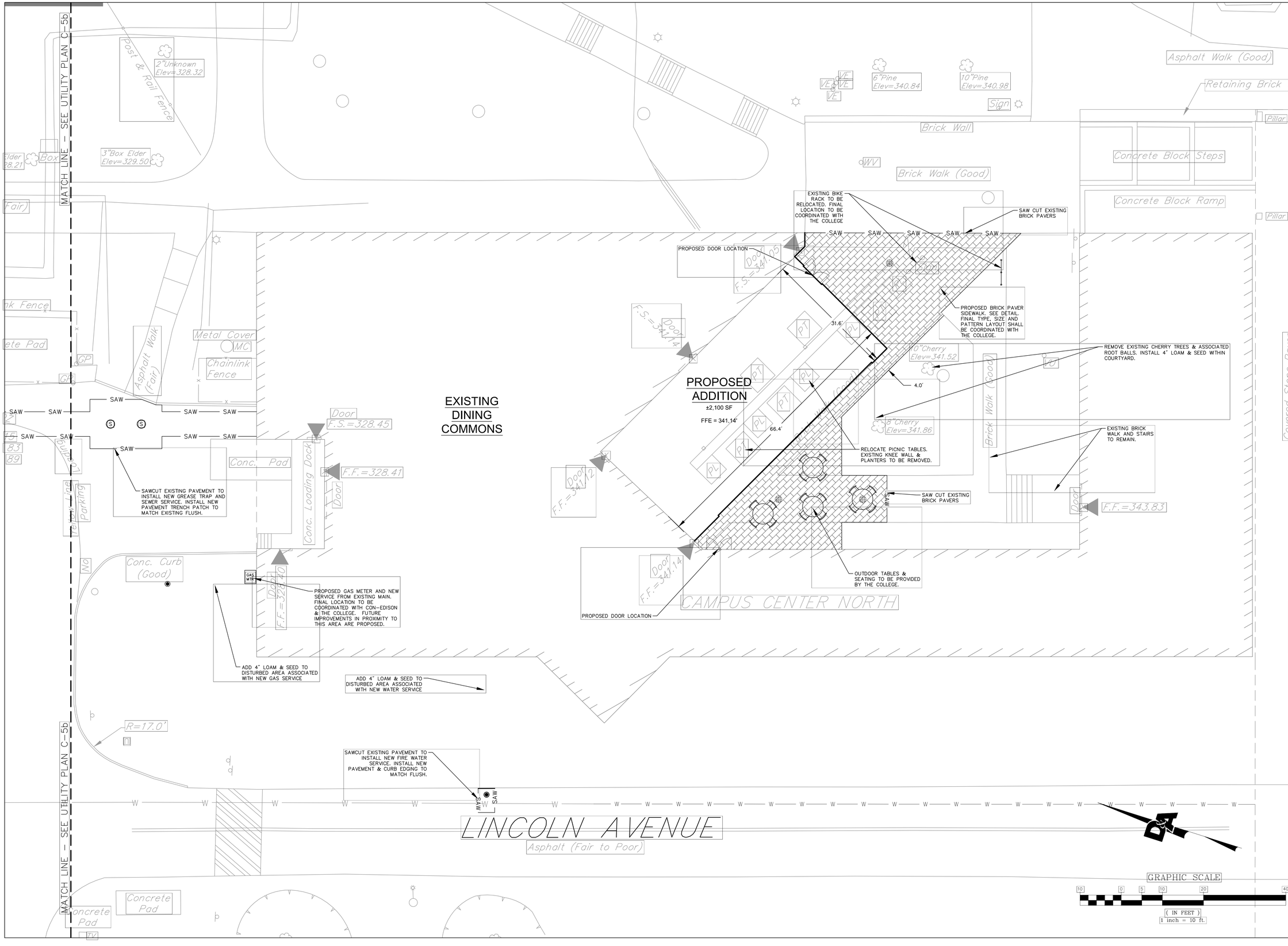
SEAL

ISSUED FOR: OUT-TO-BID
ISSUED DATE: 2.16.2018

DRAWN BY: JBB
CHECKED BY: LAR
PROJECT NUMBER:

DRAWING NAME
LEGEND & GENERAL NOTES

DRAWING NO.
C-2



ARCHITECT
phase zero design
EIGHT WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT
Purchase College
STATE UNIVERSITY OF NEW YORK
SUNY PURCHASE COLLEGE
735 ANDERSON HILL ROAD,
PURCHASE, NY 10577

CONSULTANT
DOUCET & ASSOCIATES
Civil Engineering & Planning
123 Union Street - Suite 302
Easthampton, MA 01027
Phone: (413) 203-2349
www.doucetandassociates.com

SUNY PURCHASE COLLEGE

CAFE ADDITION AND REMODEL

735 ANDERSON HILL ROAD
PURCHASE, NY 10577

PROJECT

REVISIONS

REV	DATE	DESCRIPTION / COMMENTS
1	1-26-2018	ADD NEW WATER & GAS SERVICES TO D/C

SEAL

ISSUED FOR: OUT-TO-BID

ISSUED DATE: 2.16.2018

DRAWN BY: JBB

CHECKED BY: LAR

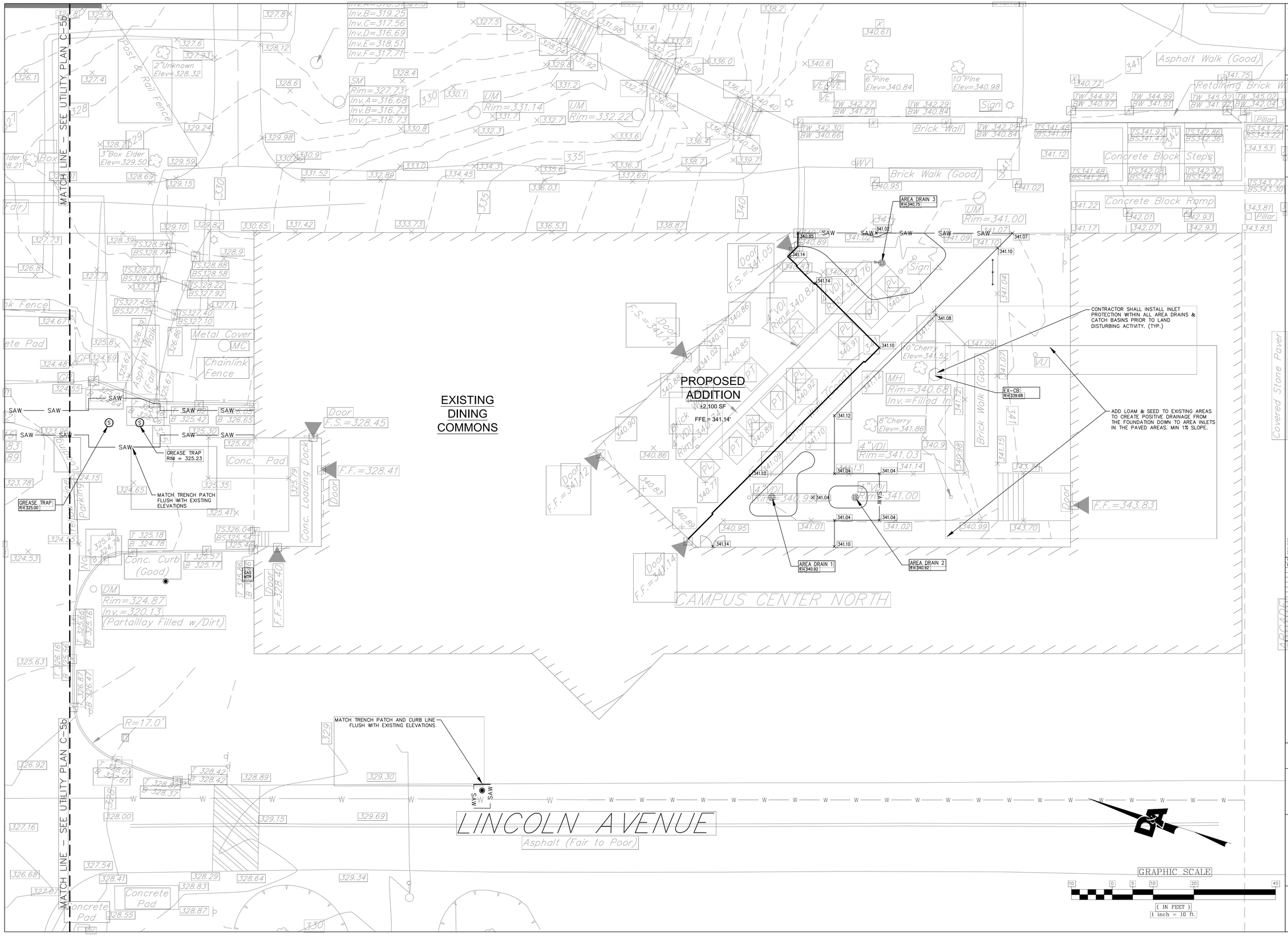
PROJECT NUMBER:

DRAWING NAME

SITE LAYOUT & MATERIALS PLAN

DRAWING NO.

C-3



ARCHITECT

phase zero design

EIGHT WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT

Purchase College
STATE UNIVERSITY OF NEW YORK

SUNY PURCHASE COLLEGE
735 ANDERSON HILL ROAD,
PURCHASE, NY 10577

CONSULT ANT

DOUCET & ASSOCIATES

Civil Engineering & Planning
123 Union Street - Suite 302
Easthampton, MA 01027
Phone: (413) 203-2349
www.doucetandassociates.com

SUNY PURCHASE COLLEGE

CAFE ADDITION AND REMODEL

735 ANDERSON HILL ROAD
PURCHASE, NY 10577

PROJECT

REVISIONS

REV	DATE	DESCRIPTION / COMMENTS
1	1-26-2018	ADD NEW WATER & DAS SERVICES TO DC

SEAL

ISSUED FOR: OUT-TO-BID

ISSUED DATE: 2.16.2018

DRAWN BY: JBB

CHECKED BY: LAR

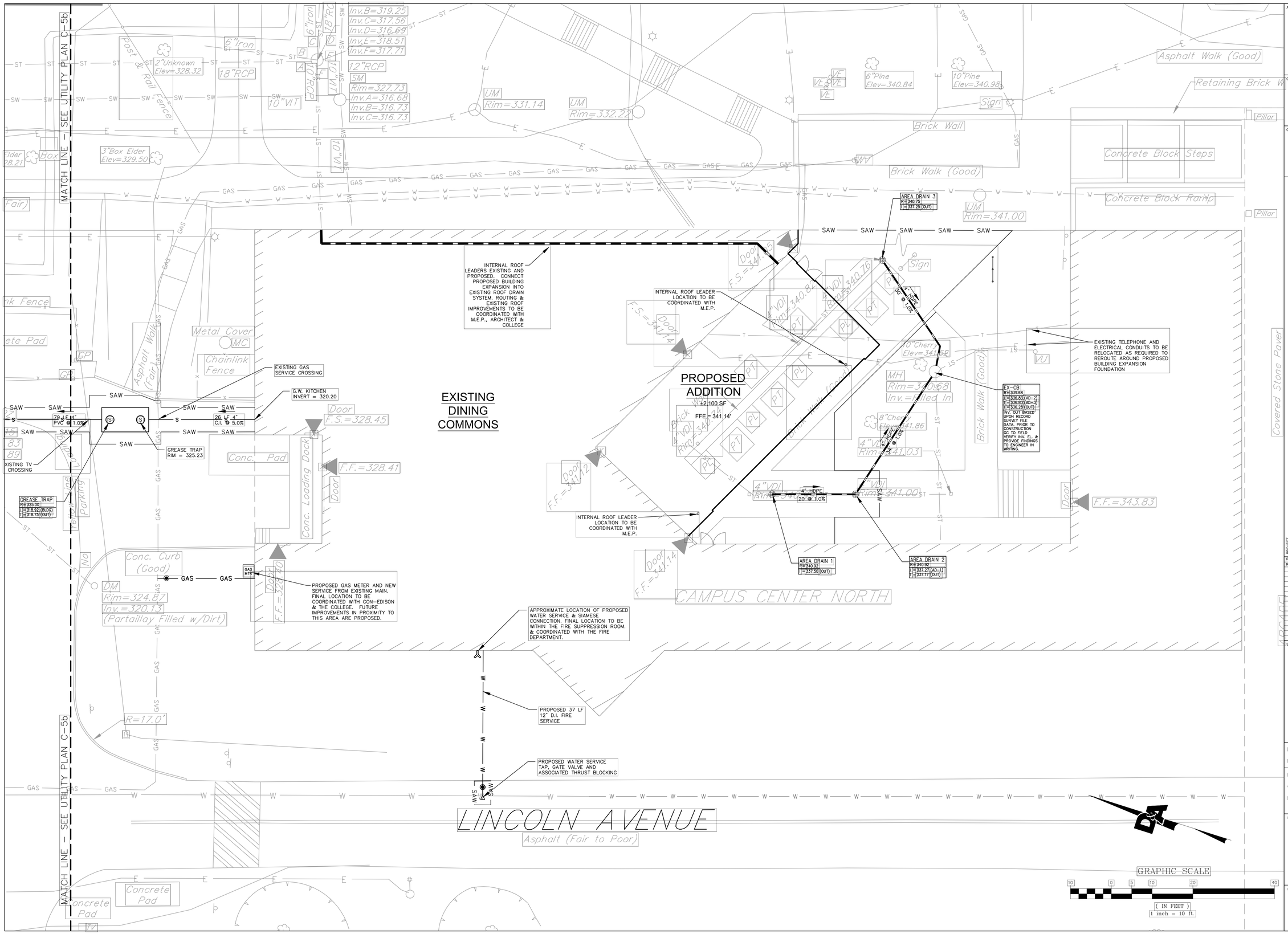
PROJECT NUMBER:

DRAWING NAME

SITE GRADING & SURFACE DRAINAGE PLAN

DRAWING NO.

C-4



ARCHITECT

phase zero design

EIGHT WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT

Purchase College
STATE UNIVERSITY OF NEW YORK

SUNY PURCHASE COLLEGE
735 ANDERSON HILL ROAD,
PURCHASE, NY 10577

CONSULTANT

DOUCET & ASSOCIATES

Civil Engineering & Planning
123 Union Street - Suite 302
Easthampton, MA 01027
Phone: (413) 203-2349
www.doucetandassociates.com

SUNY PURCHASE COLLEGE

CAFE ADDITION AND REMODEL

735 ANDERSON HILL ROAD
PURCHASE, NY 10577

PROJECT

REVISIONS

REV	DATE	DESCRIPTION / COMMENTS
1	1-26-2018	ADD NEW WATER & GAS SERVICES TO DC

SEAL

ISSUED FOR: OUT-TO-BID

ISSUED DATE: 2.16.2018

DRAWN BY: JBB

CHECKED BY: LAR

PROJECT NUMBER:

DRAWING NAME

SITE UTILITY PLAN

DRAWING NO.

C-5a

EX-SMH
N=321.01
I1=315.51 (EX-IN)
I2=317.04 (SMH-1)
I3=315.51 (OUT)
CONSTRUCT 4" PVC INTERNAL DROP TO MATCH FLOW LINE INVERT = 315.51'

Rim=321.01
Inv.A=315.51
Inv.B=315.51

ADD 4" LOAM & SEED TO DISTURBED AREA ASSOCIATED WITH NEW SEWER SERVICES

EXISTING TV & ELECTRICAL CONDUIT CROSSINGS

REMOVE & REPLACE 3" CALIPER BOX ELDER TREE

SAWCUT EXISTING ASPHALT SIDEWALK PAVEMENT TO INSTALL NEW SEWER SERVICE. INSTALL NEW PAVEMENT TO MATCH EXISTING FLUSH

EXISTING HOT WATER / STEAM CONDUIT CROSSINGS

EXISTING SITE LIGHTING ELECTRICAL CONDUIT CROSSING

ADD 4" LOAM & SEED TO DISTURBED AREA ASSOCIATED WITH NEW SEWER SERVICES

REMOVE & RESET EXISTING CONCRETE CURBING. MATCH EXISTING GRADES AND REVEAL

REMOVE & RESET EXISTING ADA SIGNS. REPAINT ADA PAVEMENT PARKING STALLS TO MATCH EXISTING LAYOUT AND CODE REQUIREMENTS

CONSTRUCTION STAGING & MATERIALS LAYDOWN AREA SHALL BE LOCATED WITHIN THE NORTHERN CORNER OF PARKING LOT. OVERALL AREA, FENCING LIMITS, TEMPORARY ACCESS ROUTES TO CONSTRUCTION AREA & DAILY CONTRACTOR PARKING SPACES SHALL BE COORDINATED WITH OWNER.

EXISTING 12" CMP DRAINAGE PIPE CROSSING. TOP OF PIPE EL. = +/- 317.1'

SMH-1
N=322.37
I1=318.00 (GI)
I2=317.90 (OUT)

EXISTING HOT WATER / STEAM CONDUIT CROSSINGS

EXISTING SITE LIGHTING ELECTRICAL CONDUIT CROSSING

EXISTING 10" CMP DRAINAGE PIPE CROSSING. TOP OF PIPE EL. = +/- 320.0'

INSTALL FILTER SACKS IN EXISTING AREA DRAIN DURING CONSTRUCTION

DM
Rim=323.80
Inv.=316.83

Rim=323.15
Inv.A=318.83
Inv.B=318.89

29 LF 4" PVC @ 1.0%

EXISTING TV CONDUIT CROSSING

GREASE TRAP
N=325.00
I1=318.92 (BLDG)
I2=318.75 (OUT)

GREASE TRAP RIM = 325.23

26 LF 4" C.I. @ 5.0%

EXISTING GAS SERVICE CROSSING

G.W. KITCHEN INVERT = 320.20

Rim=327.66
Inv.A=316.51
Inv.B=319.25
Inv.C=317.56
Inv.D=316.69
Inv.E=318.51
Inv.F=317.71

Rim=327.73
Inv.A=316.68
Inv.B=316.73
Inv.C=316.73

Rim=324.87
Inv.=320.13
(Partailay Filled w/Dirt)

PROPOSED GAS METER AND NEW SERVICE FROM EXISTING MAIN. FINAL LOCATION TO BE COORDINATED WITH CON-EDISON & THE COLLEGE. FUTURE IMPROVEMENTS IN PROXIMITY TO THIS AREA ARE PROPOSED.

INTERNAL ROOF LEADERS EXISTING AND PROPOSED. CONNECT PROPOSED BUILDING EXPANSION INTO EXISTING ROOF DRAIN SYSTEM. ROUTING & EXISTING ROOF IMPROVEMENTS TO BE COORDINATED WITH M.E.P., ARCHITECT & COLLEGE

INTERNAL ROOF LEADER LOCATION TO BE COORDINATED WITH M.E.P.

APPROXIMATE LOCATION OF PROPOSED WATER SERVICE & SIAMESE CONNECTION. FINAL LOCATION TO BE WITHIN THE FIRE SUPPRESSION ROOM. & COORDINATED WITH THE FIRE DEPARTMENT.

PROPOSED 37 LF 12" D.I. FIRE SERVICE

PROPOSED WATER SERVICE TAP, GATE VALVE AND ASSOCIATED THRUST BLOCKING

EXISTING DINING COMMONS

MATCH LINE - SEE UTILITY PLAN C-5b

LINCOLN AVENUE

Asphalt (Fair to Poor)

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

ARCHITECT
phase zero design
EIGHT WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT
Purchase College
STATE UNIVERSITY OF NEW YORK
SUNY PURCHASE COLLEGE
735 ANDERSON HILL ROAD,
PURCHASE, NY 10577

CONSULT ANT
DOUCET & ASSOCIATES
Civil Engineering & Planning
123 Union Street - Suite 302
Easthampton, MA 01027
Phone: (413) 203-2349
www.doucetandassociates.com

SUNY PURCHASE COLLEGE

CAFE ADDITION AND REMODEL

735 ANDERSON HILL ROAD
PURCHASE, NY 10577

PROJECT

REVISIONS

REV	DATE	DESCRIPTION / COMMENTS
1	1-26-2018	ADD NEW WATER & GAS SERVICES TO DC

SEAL

ISSUED FOR: OUT-TO-BID

ISSUED DATE: 2.16.2018

DRAWN BY: JBB

CHECKED BY: LAR

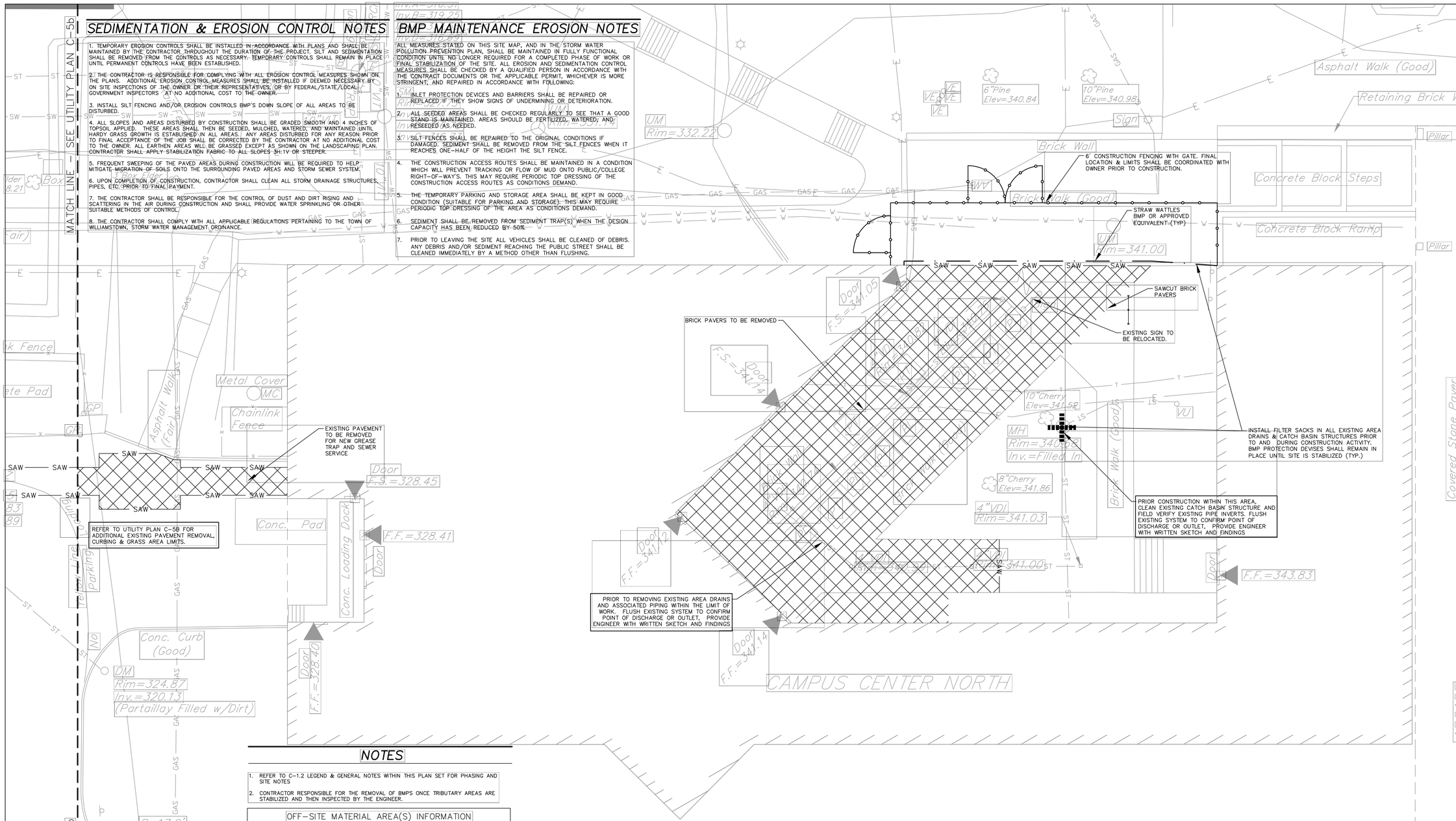
PROJECT NUMBER:

DRAWING NAME

SITE UTILITY PLAN

DRAWING NO.

C-5b



SEDIMENTATION & EROSION CONTROL NOTES

1. TEMPORARY EROSION CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH PLANS AND SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT. SILT AND SEDIMENTATION SHALL BE REMOVED FROM THE CONTROLS AS NECESSARY. TEMPORARY CONTROLS SHALL REMAIN IN PLACE UNTIL PERMANENT CONTROLS HAVE BEEN ESTABLISHED.

2. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES, OR BY FEDERAL/STATE/LOCAL GOVERNMENT INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.

3. INSTALL SILT FENCING AND/OR EROSION CONTROLS BMP'S DOWN SLOPE OF ALL AREAS TO BE DISTURBED.

4. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4 INCHES OF TOPSOIL APPLIED. THESE AREAS SHALL THEN BE SEEDED, MULCHED, WATERED, AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE GRASSED EXCEPT AS SHOWN ON THE LANDSCAPING PLAN. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER.

5. FREQUENT SWEEPING OF THE PAVED AREAS DURING CONSTRUCTION WILL BE REQUIRED TO HELP MITIGATE MIGRATION OF SOILS ONTO THE SURROUNDING PAVED AREAS AND STORM SEWER SYSTEM.

6. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL CLEAN ALL STORM DRAINAGE STRUCTURES, PIPES, ETC. PRIOR TO FINAL PAYMENT.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL.

8. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS PERTAINING TO THE TOWN OF WILLIAMSTOWN, STORM WATER MANAGEMENT ORDINANCE.

BMP MAINTENANCE EROSION NOTES

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THE ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF OF THE HEIGHT THE SILT FENCE.
4. THE CONSTRUCTION ACCESS ROUTES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC/COLLEGE RIGHT-OF-WAY'S. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ACCESS ROUTES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE AREA AS CONDITIONS DEMAND.
6. SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAP(S) WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
7. PRIOR TO LEAVING THE SITE ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

NOTES

1. REFER TO C-1.2 LEGEND & GENERAL NOTES WITHIN THIS PLAN SET FOR PHASING AND SITE NOTES
2. CONTRACTOR RESPONSIBLE FOR THE REMOVAL OF BMPS ONCE TRIBUTARY AREAS ARE STABILIZED AND THEN INSPECTED BY THE ENGINEER.

OFF-SITE MATERIAL AREA(S) INFORMATION

BORROW SITE NAME:	DISPOSAL SITE NAME:
BORROW SITE ADDRESS:	DISPOSAL SITE ADDRESS:
BORROW SITE PERMIT HOLDER:	DISPOSAL SITE PERMIT HOLDER:
BORROW SITE PERMIT NO:	DISPOSAL SITE PERMIT NO:
BORROW SITE PERMITTING AGENCY:	DISPOSAL SITE PERMITTING AGENCY:

1) CONSTRACTOR SHALL FILL IN BORROW AND DISPOSAL INFORMATION ABOVE.
2) BORROW AND DISPOSAL INFROMATION IS NEEDED FOR SOIL FILL AND SPOIL MATERIALS ONLY.
3) CONTRACTOR SHALL STATE "NOT REQUIRED FOR THIS PROJECT" IF ONE OR BOTH ARE NOT REQUIRED FOR PROJECT.

CHECK LIST FOR EROSION CONTROL PLAN

RESPONSIBLE PERSONNEL- SITE CONTRACTORS

WORK DESCRIPTION	LOCATION	DATE INSTALLED	INITIALS	DATE INSPECTED	INITIALS	DATE REMOVED	INITIALS
SILT FENCE/ STRAW WATTLES	DOWNSLOPE OF ALL PROP. CONSTRUCTION						
CONSTRUCTION STAGING AREA BMP'S	MAIN PARKING AREA						
TOPSOIL, SEED, & MULCH	AS SHOWN ON PLAN						
FILTER SILT SACKS	AS SHOWN ON PLAN						
TEMPORARY ACCESS DRIVE BMP'S TO LIMIT OF WORK	ON-SITE FROM STAGING AREA TO WORK AREA						

LEGEND

- 962 PROPOSED GRADE
- SILT FENCE
- TEMPORARY FILTER SACK (GRATED INLET)
- SLOPE AREA TO RECIEVE SLOPE STABILIZATION FABRIC, LOAM & SEED

EARLY WORK

- INSTALL TEMPORARY CONSTRUCTION FENCING AND INSTALL SWPPP SIGN AND ALL BMP'S IN WORK ZONE
- PREP AREA FOR TRAILERS, CONSTRUCTION PARKING, PORTA JOHNS AND CONSTRUCTION STAGING.
- INSTALL PROTECTED STUDENT EGRESS AND TEMPORARY STUDENT ENTRANCSES.
- STRIP AND STOCKPILE EXISTING COURTYARD LOAM AND REMOVE EXISTING BRICK PAVERS.
- INSTALL/PROTECT EXISTING UTILITIES TO REMAIN.

PHASE I:

- SECURE BUILDING AREA TO BE DEMOLISHED.
- ABATE AND DEMO BUILDING AREA.
- BEGIN BUILDING CONSTRUCTION.
- STABILIZE EXPOSED AREA BEFORE PROCEEDING TO NEXT PHASE.

PHASE II:

- GRADE SITE, INSTALL LANDSCAPING AND OUTSIDE FEATURES.
- INSTALL SITE UTILITIES
- INSTALL NEW PAVERS AND WALKWAYS.
- LOAM AND SEED ALL DISTURBED AREAS NOT PAVED.

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

ARCHITECT
phase zero design
EIGHT WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT
Purchase College
STATE UNIVERSITY OF NEW YORK
SUNY PURCHASE COLLEGE
735 ANDERSON HILL ROAD,
PURCHASE, NY 10577

CONSULTANT
DOUCET & ASSOCIATES
Civil Engineering & Planning
123 Union Street - Suite 302
Easthampton, MA 01027
Phone: (413) 203-2349
www.doucetandassociates.com

SUNY PURCHASE COLLEGE

CAFE ADDITION AND REMODEL

735 ANDERSON HILL ROAD
PURCHASE, NY 10577

PROJECT

REVISIONS

REV	DATE	DESCRIPTION / COMMENTS
1	1-26-2018	ADD NEW WATER & GAS SERVICES TO DC

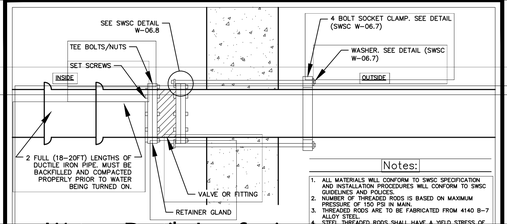
SEAL

ISSUED FOR: OUT-TO-BID
ISSUED DATE: 2.16.2018

DRAWN BY: JBB
CHECKED BY: LAR
PROJECT NUMBER:

DRAWING NAME
SITE DEMOLITION & EROSION CONTROL

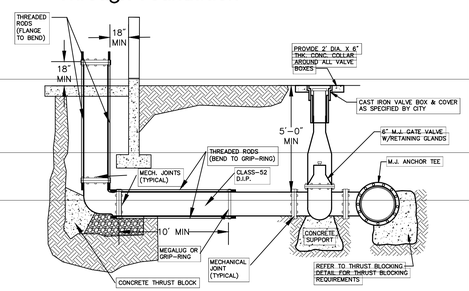
DRAWING NO.
C-6



Notes:

1. ALL MATERIALS WILL CONFORM TO SWSC SPECIFICATION AND INSTALLATION PROCEDURES WILL CONFORM TO SWSC GUIDELINES AND POLICIES.
2. THE SIZE OF THREADED RODS IS BASED ON MAXIMUM PRESSURE OF 150 PSI IN MAIN.
3. THREADED RODS ARE TO BE FABRICATED FROM 4140 B-7 ALLOY STEEL.
4. STEEL THREADED RODS SHALL HAVE A YIELD STRESS OF NOT LESS THAN 105,000 PSI.
5. EYE BOLTS SHALL HAVE A MINIMUM TENSILE STRENGTH OF 50,000 PSI EACH.
6. ALL COMPONENTS TO BE PROTECTIVE COASTED WITH PROTECTIVE COATINGS AND TAPE.

Water - Ductile Iron Service Through Foundation

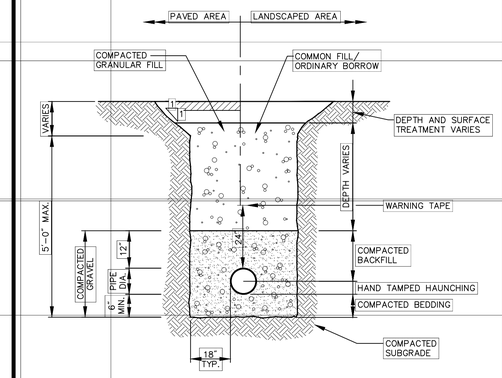


Water - Ductile Iron Service Below Foundation

Notes:

1. RISERS MUST ENTER THE BUILDING NEAR AN OUTSIDE WALL ENTERING IN THE MIDDLE OF THE BUILDING WILL NOT BE ALLOWED
2. ALL MATERIALS ARE SUBJECT TO THE CITY'S APPROVAL AND SHOULD MEET WATER DEPARTMENT SPECIFICATIONS AND MATERIALS SPECIFICATIONS I.E. WATER MAINS SHALL BE CLASS 52 DUCTILE IRON. ALL MATERIALS SHALL BE NEW AND OF THE TYPE CURRENTLY BEING USED BY THE HOLYOKE WATER DEPARTMENT.

Water Service Details



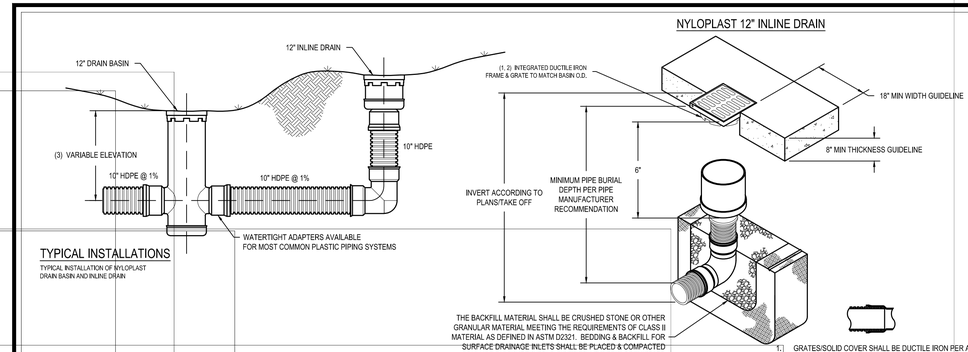
Notes:

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

SCALE: NOT TO SCALE

Utility Trench

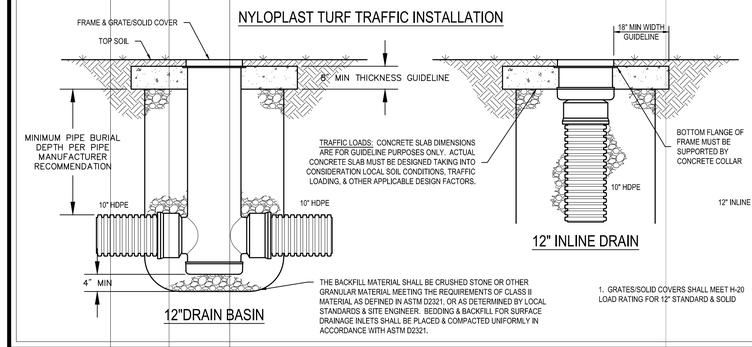
2/6/03 GU-2



TYPICAL INSTALLATIONS

TYPICAL INSTALLATION OF NYLOPLAST DRAIN BASIN AND INLINE DRAIN

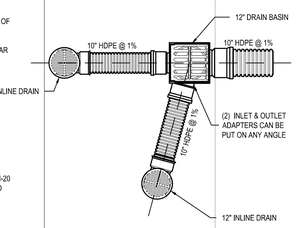
1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
3. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
4. DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY.
5. DIMENSIONS ARE IN INCHES
6. SEE DRAWING NO. 7001-110-275 FOR ADS N-12 & HANCOR DUAL WALL BELL INFORMATION & DRAWING NO. 7001-110-364 FOR N-12 HP BELL INFORMATION.



12"DRAIN BASIN

12" INLINE DRAIN

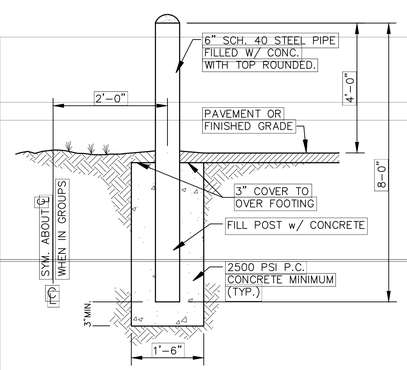
1. GRATES/SOLID COVERS SHALL MEET H-20 LOAD RATING FOR 12" STANDARD & SOLID



SCALE: NOT TO SCALE

Nyloplast Area Drain and Basin Detail

DATE: 6/27/2013



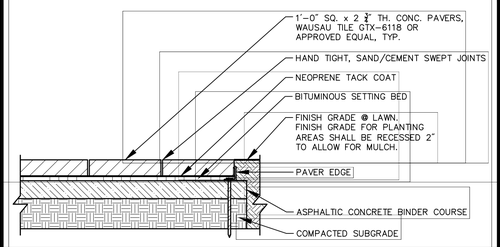
Notes:

1. ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW

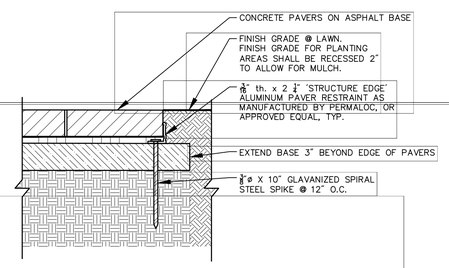
SCALE: NOT TO SCALE

Pipe Bollard

6/24/04 BOL-1



Concrete Pavers on Asphalt Base

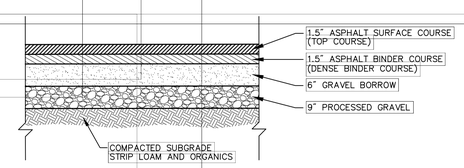


Paver Edge

SCALE:

Concrete Pavers on Asphalt Base

2/6/03 GU-2



Notes:

1. SEE SITE LAYOUT PLAN FOR PAVEMENT WIDTH AND LOCATION.
2. SEE GRADING PLAN FOR PAVEMENT SLOPE

STANDARD DUTY ASPHALT PAVING

SCALE: NOT TO SCALE

Paving Details

2/6/03 PAVE-A-1

ARCHITECT
phase zero design
EIGHT WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT
Purchase College
STATE UNIVERSITY OF NEW YORK
SUNY PURCHASE COLLEGE
735 ANDERSON HILL ROAD,
PURCHASE, NY 10577

CONSULTANT
DOUCET & ASSOCIATES
Civil Engineering & Planning
123 Union Street - Suite 302
Easthampton, MA 01027
Phone: (413) 203-2349
www.doucetandassociates.com

PROJECT

SUNY PURCHASE COLLEGE
CAFE ADDITION AND REMODEL
735 ANDERSON HILL ROAD
PURCHASE, NY 10577

REVISIONS

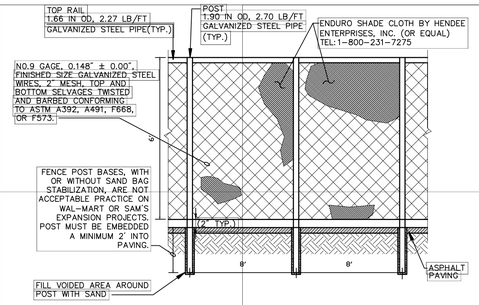
REV	DATE	DESCRIPTION / COMMENTS

SEAL

ISSUED FOR: OUT-TO-BID
ISSUED DATE: 2.16.2018
DRAWN BY: JBB
CHECKED BY: LAR
PROJECT NUMBER:

DRAWING NAME
DETAILS

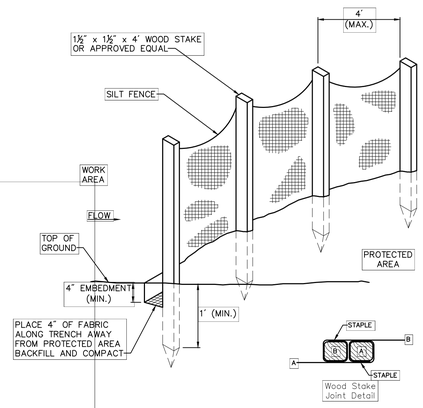
DRAWING NO.
C-7



SCALE: NOT TO SCALE

Temporary Fence

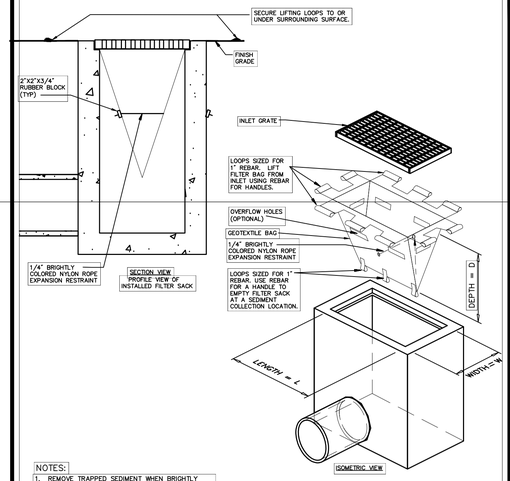
9/17/07 FNC-2



SCALE: NOT TO SCALE

Silt Fence Barrier

2/6/03 SED-1



NOTES:

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

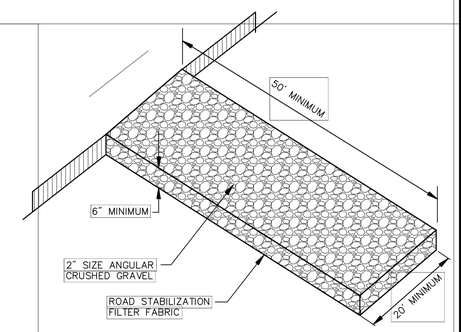
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

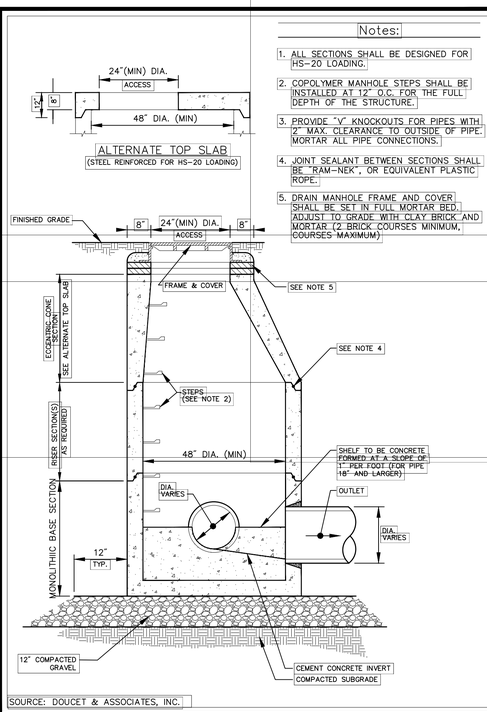
SCALE: NOT TO SCALE

Filter Sacks for Grated Inlets

11/07/07 SED-7



2/6/03



Notes:

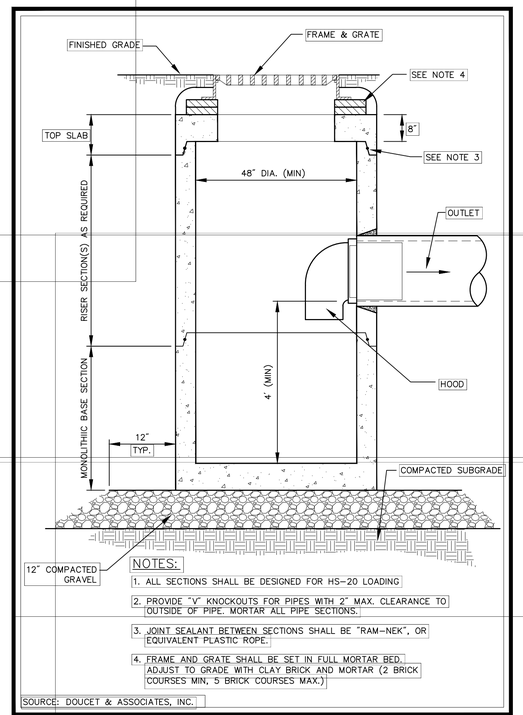
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
4. JOINT SEALANT BETWEEN SECTIONS SHALL BE "RAM-NEK", OR EQUIVALENT PLASTIC ROPE.
5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES MINIMUM, COURSES MAXIMUM).

SOURCE: DOUCET & ASSOCIATES, INC.

SCALE: NOT TO SCALE

Drain Manhole (DMH)

2/6/03 D-8



NOTES:

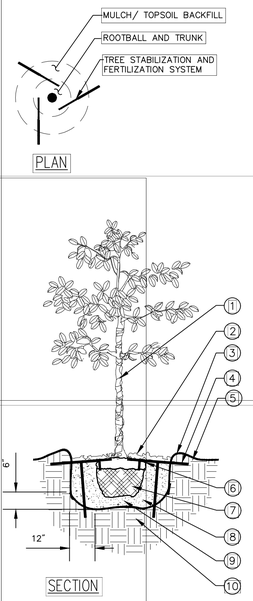
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING
2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE SECTIONS.
3. JOINT SEALANT BETWEEN SECTIONS SHALL BE "RAM-NEK", OR EQUIVALENT PLASTIC ROPE.
4. FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES MIN, 5 BRICK COURSES MAX.)

SOURCE: DOUCET & ASSOCIATES, INC.

SCALE: NOT TO SCALE

Catch Basin with Hood (CB)

2/6/03 D-2



1. TREE WRAP
2. 4" MINIMUM OF HARDWOOD BARK MULCH COMPACTED OR AS SPECIFIED.
4. STAKE SIZE SHALL BE ONE SIZE HIGHER THAN REQUIRED FOR SIZE OF TREE. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
5. FINISHED GRADE (SEE GRADING PLAN)
6. TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE
7. B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
8. PREPARED PLANTING SOIL AS SPECIFIED.
9. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
10. UNDISTURBED SUBSOIL

A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.

C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

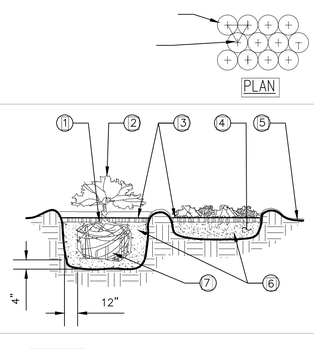
D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.

E. BRANCHING HEIGHT TO A.A.N. STANDARDS.

SCALE: NOT TO SCALE

Small Tree Planting (14' or Less)

6/7/10 LA-8



1. TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" – 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
2. WHEN USED IN MASSES– PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT
3. 4" MINIMUM OF HARDWOOD BARK MULCH COMPACTED OR AS SPECIFIED.
4. EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
5. 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
6. PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN GROUND– COVERS AND SHRUBS USED IN MASSES ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.
7. SCARIFY ROOTBALL SIDES AND BOTTOM.

SCALE: NOT TO SCALE

Shrub / Groundcover Planting

5/30/08 LA-11

ARCHITECT

phase zero design

EIGHT WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT

Purchase College
STATE UNIVERSITY OF NEW YORK

SUNY PURCHASE COLLEGE
735 ANDERSON HILL ROAD,
PURCHASE, NY 10577

CONSULTANT

DOUCET & ASSOCIATES
Civil Engineering & Planning
123 Union Street - Suite 302
Easthampton, MA 01027
Phone: (413) 203-2349
www.doucetandassociates.com

SUNY PURCHASE COLLEGE

CAFE ADDITION AND REMODEL

735 ANDERSON HILL ROAD
PURCHASE, NY 10577

PROJECT

REVISIONS

REV	DATE	DESCRIPTION / COMMENTS

SEAL

ISSUED FOR: OUT-TO-BID

ISSUED DATE: 2.16.2018

DRAWN BY: JBB

CHECKED BY: LAR

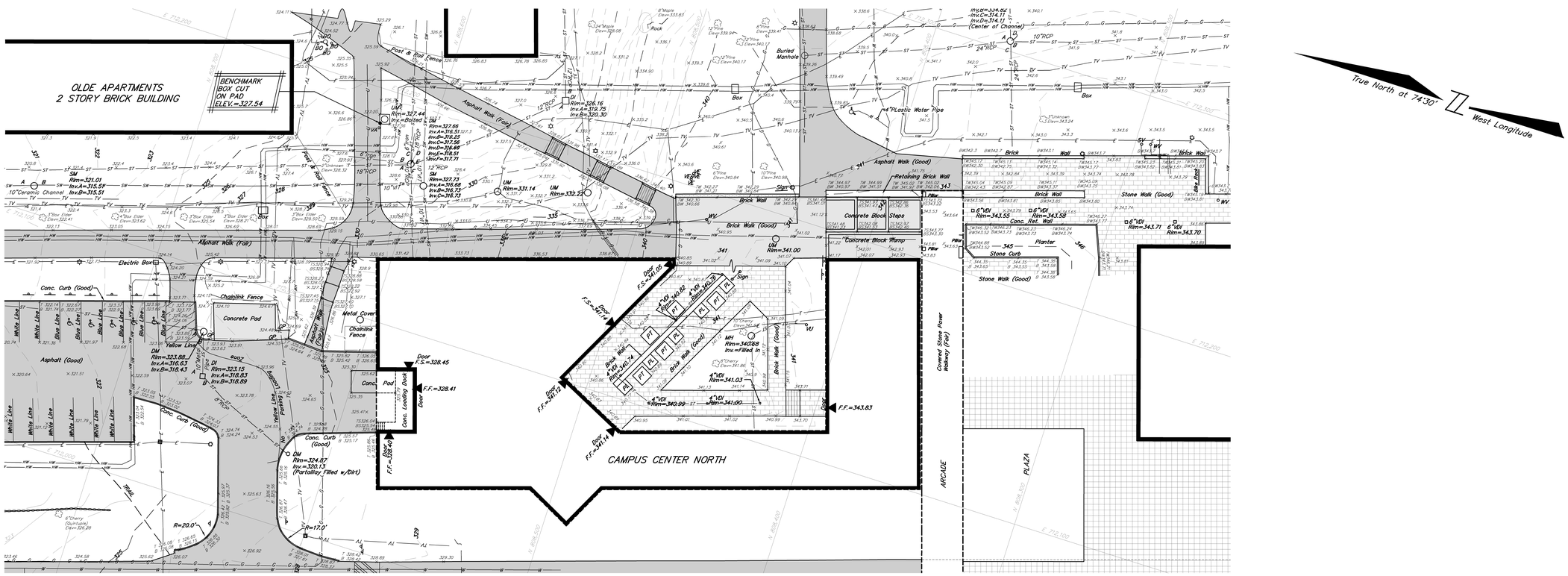
PROJECT NUMBER:

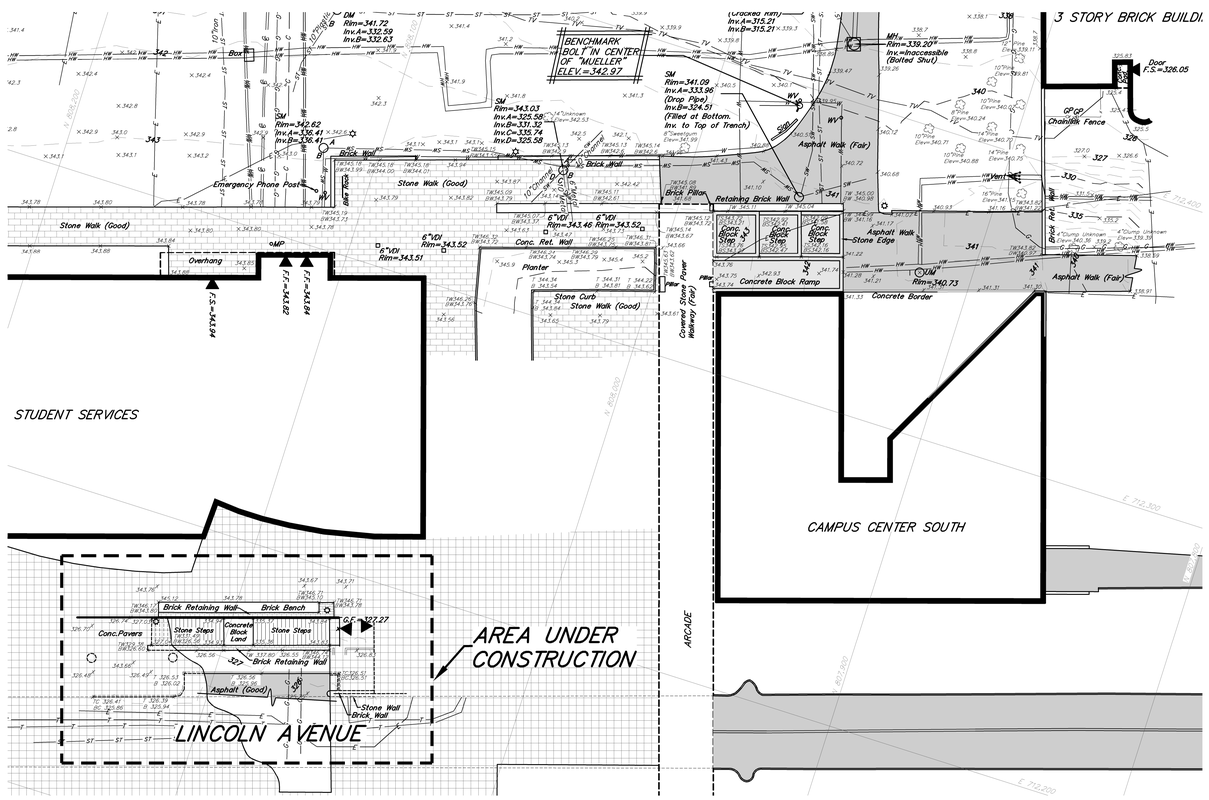
DRAWING NAME

DETAILS

DRAWING NO.

C-8





State University Construction Fund

REHABILITATE PLAZA EXTERIOR PATHWAYS

State University of New York at Purchase College

PRIME CONSULTANT:

Abel Bainnson Butz, LLP
LANDSCAPE ARCHITECTS/SITE PLANNERS
80 8th Avenue, Suite 1105
New York, NY 10011
p 212.206.0630 f 212.645.0048 www.abbnyc.com

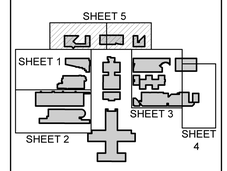
CIVIL MEP ENGINEER:
CHU AND GASSMAN CONSULTING ENGINEERS
559 Union Avenue
Middlesex, NJ 08846

BUILDING ENVELOPE CONSULTANT:
ERWIN LOBO BIELINSKI, PLLC
37 West 39th Street, Suite 1201
New York, NY 10018

ENVIRONMENTAL ENGINEER:
WARREN & PANZER ENGINEERS, P.C.
228 East 45th Street, 10th Floor
New York, NY 10017

COST CONSULTANT:
TOSCANO CLEMENTS TAYLOR
227 Main Street
Huntington, NY 11743

PREPARED BY:
BADEY & WATSON
3043 Route 9
Cold Spring, NY 10516



Key Plan

FOR ALL NOTES SEE SHEET 5
FOR LEGEND SEE SHEET 5

No. 8	1/18/12	Edited Frame
No. 7	1/13/12	Additional Topography
No. 6	1/04/12	Additional Topography
No. 5	12/20/11	Additional Topography
No. 4	8/4/11	Additional Topography
No. 3	6/24/11	Additional Topography
No. 2	6/2/11	Sheet Set Reformed
No. 1	5/11/11	Original Issue

STATE OF NEW YORK
GLENNON J. WATSON
48167
LICENSED LAND SURVEYOR

LICENSE No. 48167

Drawing Name: TP20385_ RDS W.O. No. 20383, 20559, 20608, 20730
Layout: SHEET 5 T.M.: 0681-1, 0681-13
GEOGRAPHIC INDEX: 382790, 673890

Drawing Title:

TOPOGRAPHIC SURVEY 5

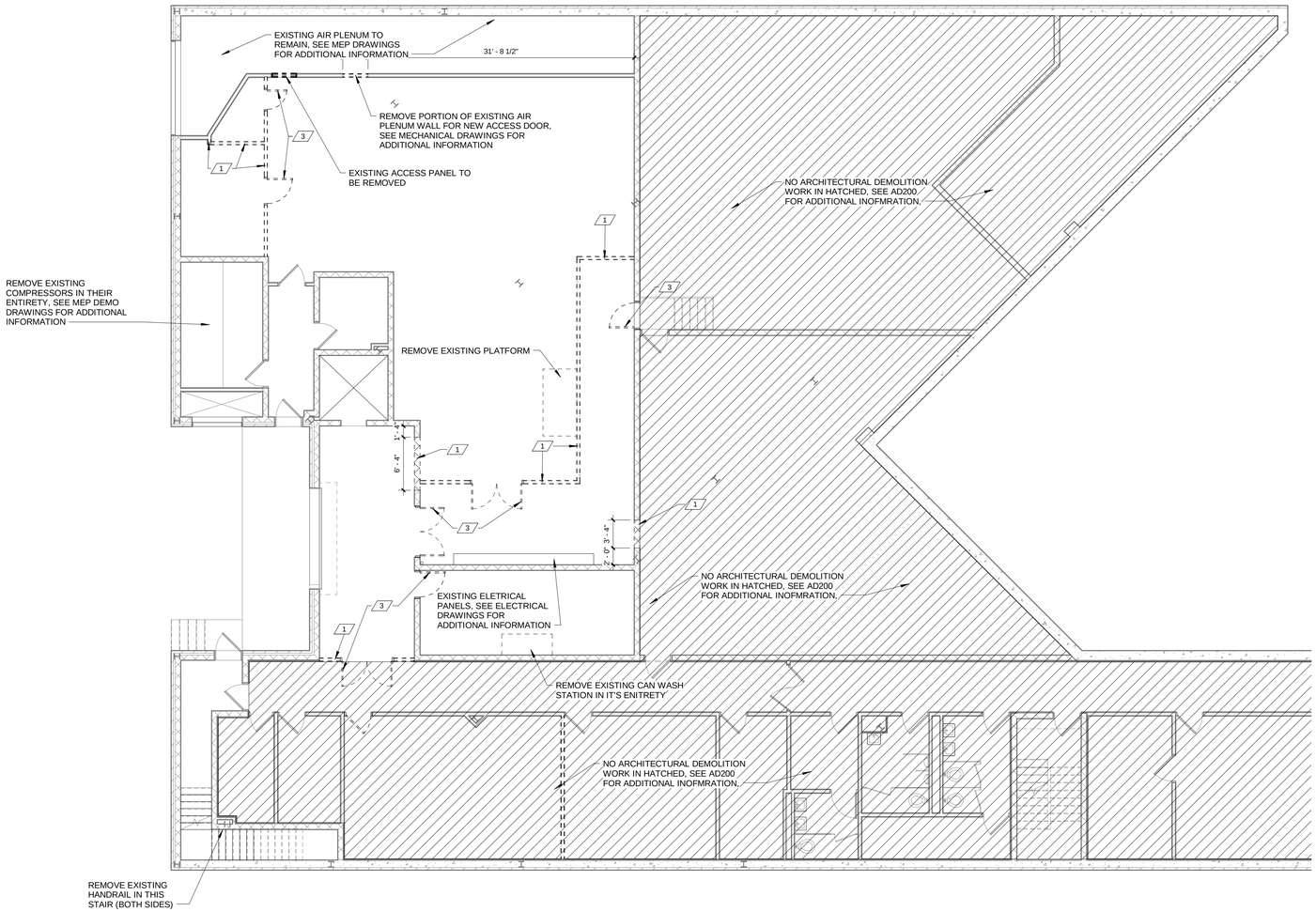
Contract No. SUCF 29435	
Drawn by: DAP	Drawing No.
Approved by: GJW	TS105
Scale: 1"=20'	
Date: APRIL 28, 2011	Sheet No. 9 of 58

DEMOLITION GENERAL NOTES

1. THE G.C. IS TO FIELD VERIFY ALL DIMENSIONS USING THE CONTSTRUCTION DOCUMENTS. IF ANY DISCREPANCIES EXISTING, G.C. TO MARK UP DRAWINGS THAT REFLECT THE ACTUAL CONDITION. FORWARD THEM TO THE ARCHITECT WITHIN (3) DAYS FOR REVIEW AND CLARIFICATION AS REQUIRED.
2. THE G.C. IS TO VERIFY THE EXISTING CONDITIONS OF THE SPACING INCLUDING BUT NOT LIMITED TO SLAB CONDITION AND ANY ISSUES THAT MAY EFFECT NEW FLOOR FINISH, IF ANY ISSUES EXIST, CONTACT ARCHITECT.
3. NO DEMOLITION SHALL TAKE PLACE OUTSIDE OF THE SCOPE OF WORK WITHOUT THE APPROVAL OF THE OWNER.
4. ALL EXISTING STRUCTURE IS TO BE PROPERALY SUPPORTED DURING DEMOLITION, COORDINATE ALL WORK WITH STRUCTURAL DRAWINGS.
5. PATCH AND REPAIR EXISTING ROOF SYSTEM WHERE DEMOLITION IS TO OCCUR TO MAINTAIN WATER TIGHT. PATCH WITH NEW TO MATCH EXISTING.
6. GC IS TO REFER TO Q010 EQUIPMENT DEMO LAYOUT FOR ADDITIONAL DEMOLITION NOTES.
7. GC TO REFER STRUCTURAL DRAWINGS AND MEP DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.

DEMO SCHEDULE

1	DEMOLISH PORTION OF EXISTING WALL CONSTRUCTION.
2	DEMOLISH EXISTING STOREFRONT SYSTEM.
3	REMOVE EXISTING DOOR AND FRAME.
4	REMOVE EXISTING FLOOR FINISH AND WALL BASE.
5	REMOVE EXISTING COLUMN ENCLOSURE.
6	REMOVE EXISTING PORTION OF SLAB FLOOR. GC TO COORDINATE W/ MEP AND STRUCTURAL DRAWINGS.
7	EXISTING WINDOW TO REMAIN, PROTECT AS NEEDED DURING DEMOLITION.
8	REMOVE EXISTING MILLWORK AND ALL ASSOCIATED EQUIPMENT AND UTILITIES.
9	REMOVE EXISTING COOLERS IN THEIR ENTIRETY, SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.



1 BASEMENT - DEMO PLAN
1/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
BASEMENT DEMOLITION PLAN

DRAWING NO.
AD100

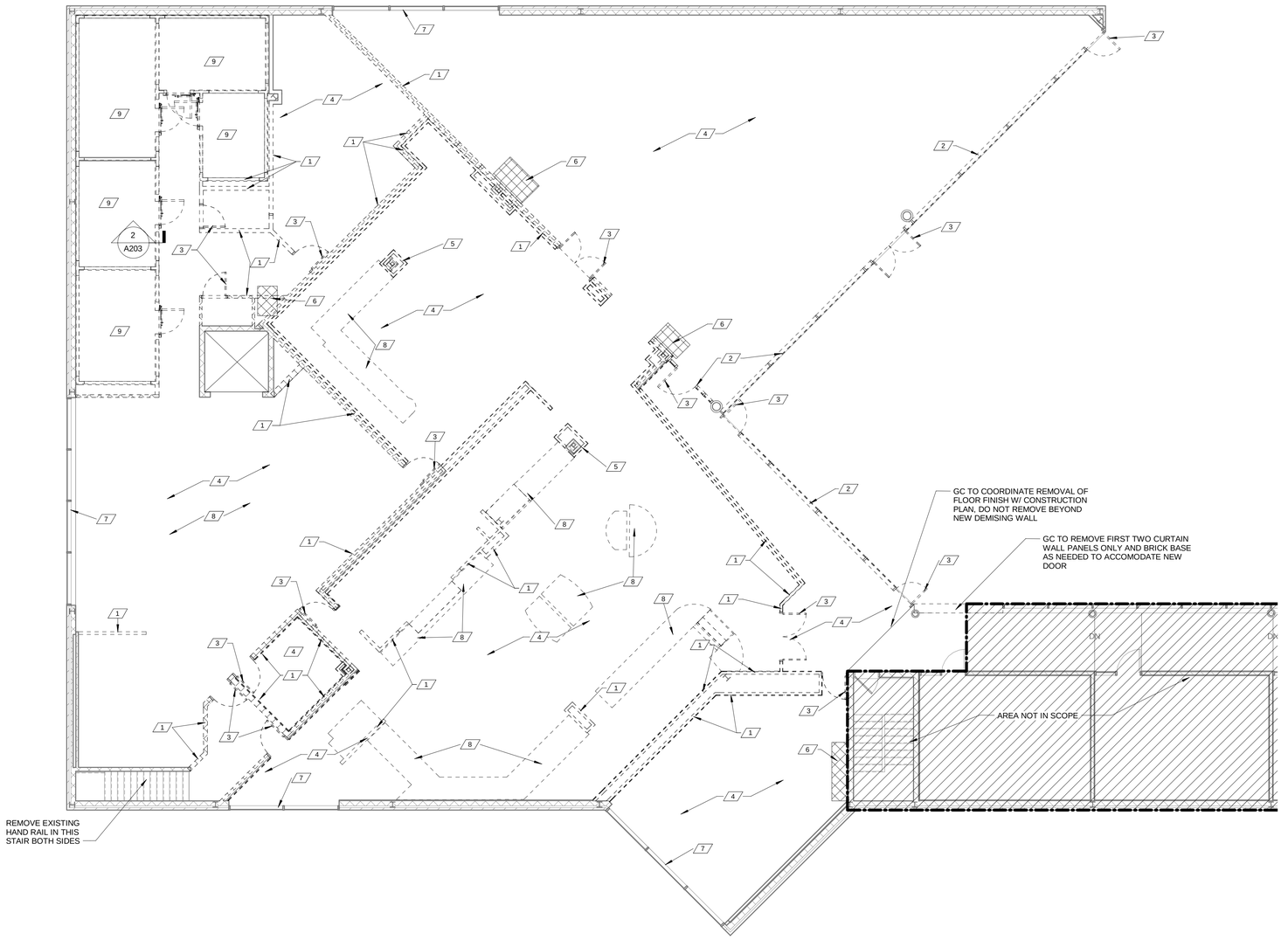
Plot Date: 2/20/2018 5:31:46 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

DEMOLITION GENERAL NOTES

1. THE G.C. IS TO FIELD VERIFY ALL DIMENSIONS USING THE CONTSTRUCTION DOCUMENTS. IF ANY DISCREPANCIES EXISTING, G.C. TO MARK UP DRAWINGS THAT REFLECT THE ACTUAL CONDITION. FORWARD THEM TO THE ARCHITECT WITHIN (3) DAYS FOR REVIEW AND CLARIFICATION AS REQUIRED.
2. THE G.C. IS TO VERIFY THE EXISTING CONDITIONS OF THE SPACING INCLUDING BUT NOT LIMITED TO SLAB CONDITION AND ANY ISSUES THAT MAY EFFECT NEW FLOOR FINISH. IF ANY ISSUES EXIST, CONTACT ARCHITECT.
3. NO DEMOLITION SHALL TAKE PLACE OUTSIDE OF THE SCOPE OF WORK WITHOUT THE APPROVAL OF THE OWNER.
4. ALL EXISTING STRUCTURE IS TO BE PROPERALY SUPPORTED DURING DEMOLITION, COORDINATE ALL WORK WITH STRUCTURAL DRAWINGS.
5. PATCH AND REPAIR EXISTING ROOF SYSTEM WHERE DEMOLITION IS TO OCCUR TO MAINTAIN WATER TIGHT. PATCH WITH NEW TO MATCH EXISTING.
6. GC IS TO REFER TO Q010 EQUIPMENT DEMO LAYOUT FOR ADDITIONAL DEMOLITION NOTES.
7. GC TO REFER STRUCTURAL DRAWINGS AND MEP DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.

DEMO SCHEDULE

1	DEMOLISH PORTION OF EXISTING WALL CONSTRUCTION.
2	DEMOLISH EXISTING STOREFRONT SYSTEM.
3	REMOVE EXISTING DOOR AND FRAME.
4	REMOVE EXISTING FLOOR FINISH AND WALL BASE.
5	REMOVE EXISTING COLUMN ENCLOSURE.
6	REMOVE EXISTING PORTION OF SLAB FLOOR, GC TO COORDINATE W/ MEP AND STRUCTURAL DRAWINGS.
7	EXISTING WINDOW TO REMAIN, PROTECT AS NEEDED DURING DEMOLITION.
8	REMOVE EXISTING MILLWORK AND ALL ASSOCIATED EQUIPMENT AND UTILITIES.
9	REMOVE EXISTING COOLERS IN THEIR ENTIRETY, SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.



1 DEMO FLOOR PLAN
1/8" = 1'-0"

N

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
FIRST FLOOR DEMOLITION PLAN

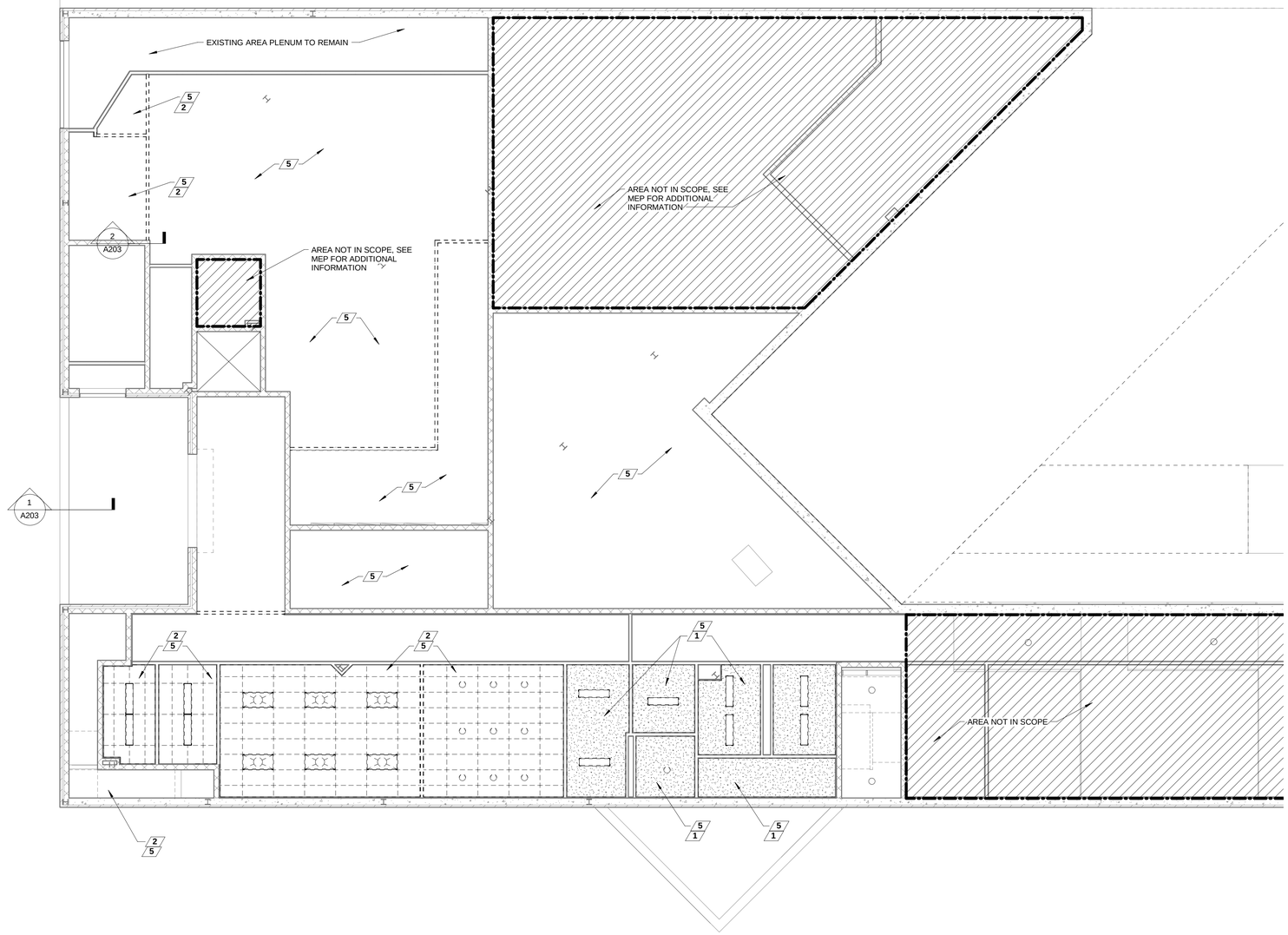
DRAWING NO.
AD101

Plot Date: 2/20/2018 5:31:48 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub.j_woodworth.rvt

DEMO CEILING	
1	REMOVE EXISTING GYPSUM CEILING/SOFFIT IN IT'S ENTIRETY.
2	REMOVE EXISTING ACT TILE CEILING IN IT'S ENTIRETY.
3	REMOVE EXISTING SPLINE CEILING IN IT'S ENTIRETY.
4	GC IS TO REMOVE PORTION OF EXISTING TILE CEILING.
5	REMOVE ALL EXISTING LIGHT FIXTURES IN THIS AREA UNLESS OTHERWISE NOTED.

DEMOLITION GENERAL NOTES

1. GC IS TO REFER TO EQUIPMENT DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
2. REFER TO MEP AND STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.



1 BASEMENT LEVEL - DEMO CEILING PLAN
1/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
BASEMENT CELING DEMOLITION PLAN

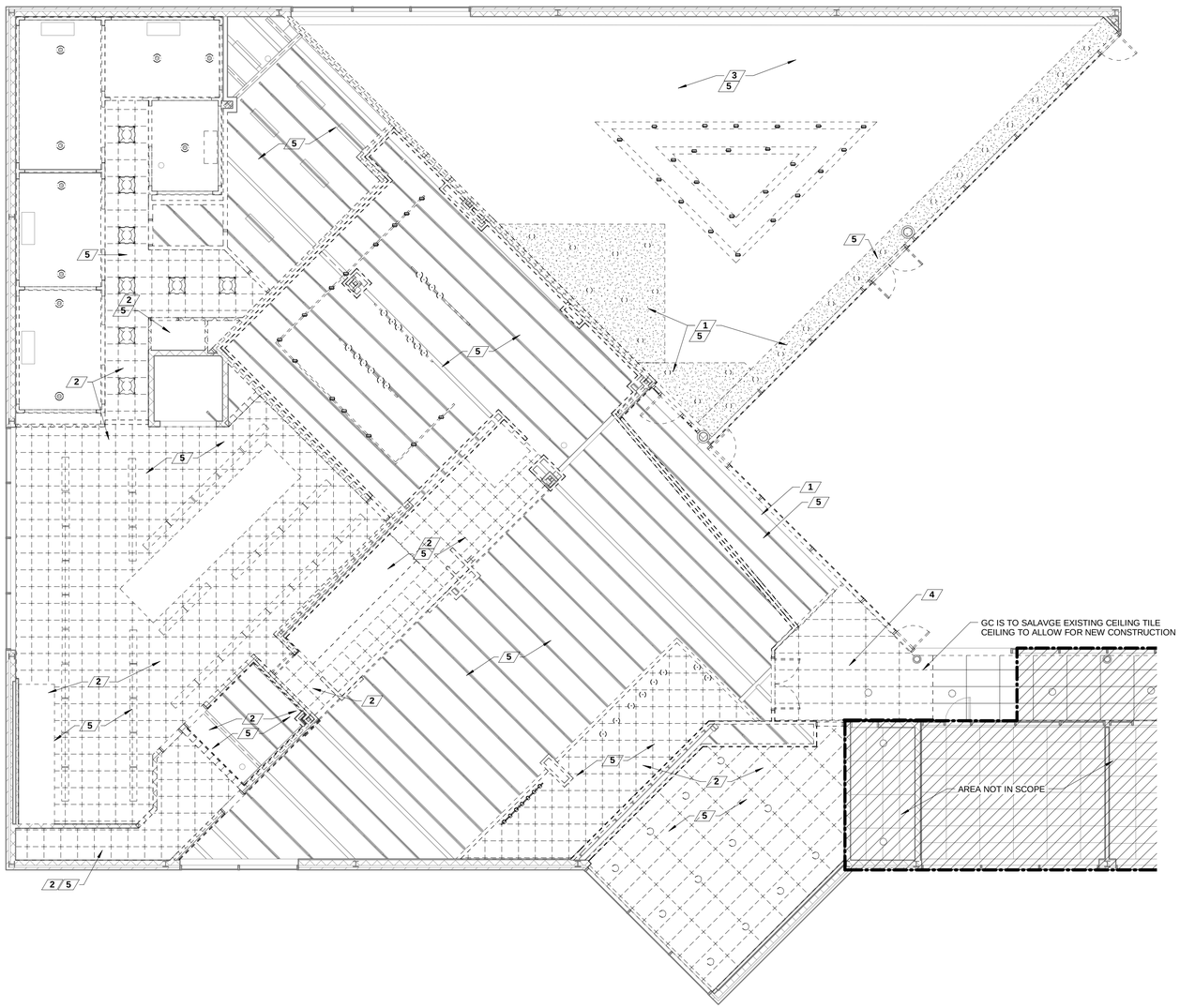
DRAWING NO.
AD200

Plot Date: 2/20/2018 5:31:53 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

DEMO CEILING	
1	REMOVE EXISTING GYPSUM CEILING/SOFFIT IN IT'S ENTIRETY.
2	REMOVE EXISTING ACT TILE CEILING IN IT'S ENTIRETY.
3	REMOVE EXISTING SPLINE CEILING IN IT'S ENTIRETY.
4	GC IS TO REMOVE PORTION OF EXISTING TILE CEILING.
5	REMOVE ALL EXISTING LIGHT FIXTURES IN THIS AREA UNLESS OTHERWISE NOTED.

DEMOLITION GENERAL NOTES

1. GC IS TO REFER TO EQUIPMENT DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
2. REFER TO MEP AND STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.



1 DINING LEVEL - DEMO CEILING PLAN
1/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

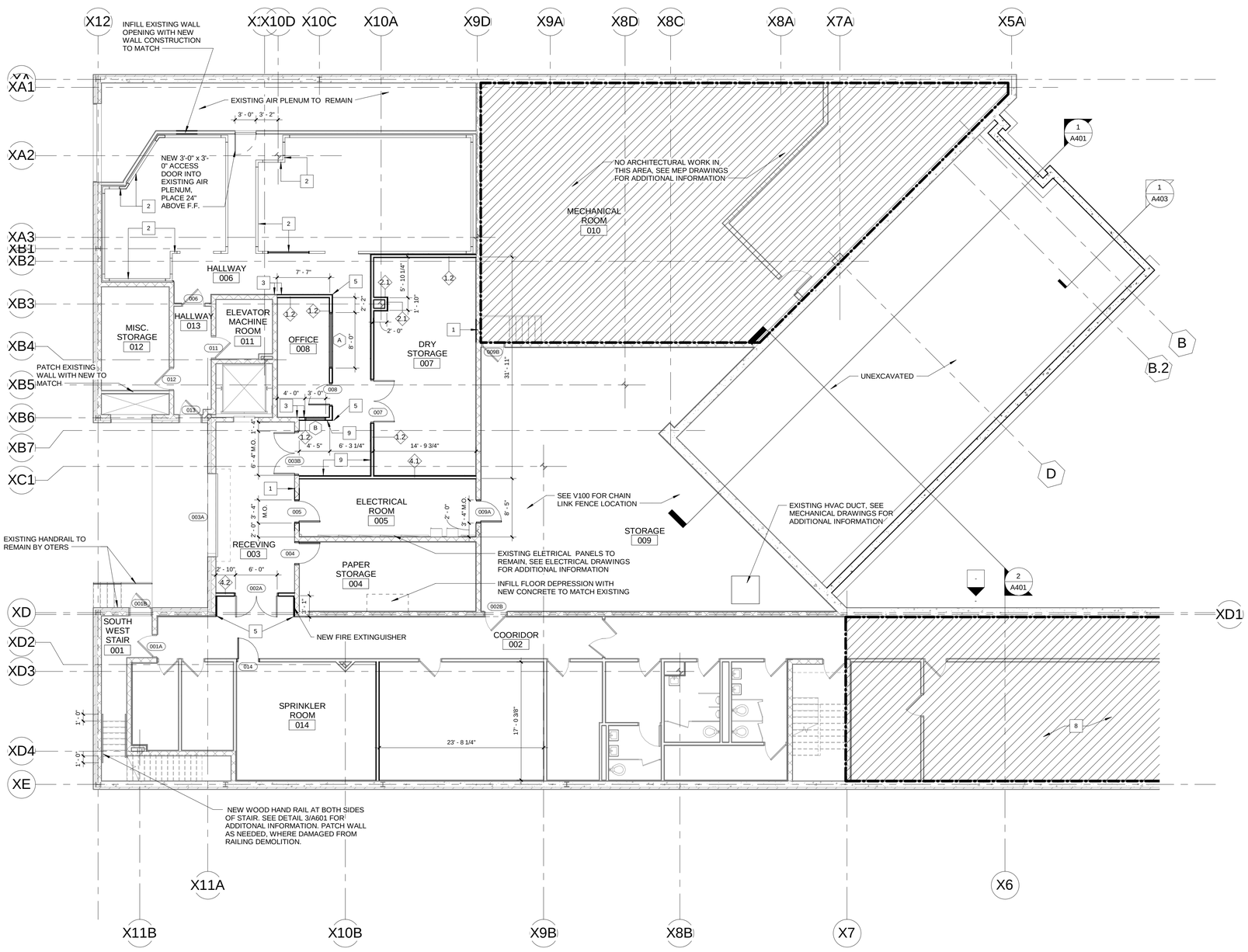
ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
FIRST FLOOR CEILING DEMOLITION PLAN

DRAWING NO.
AD201

Plot Date: 2/20/2018 5:31:57 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



1 DIMENSION PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES:

1. PROVIDE MOISETURE RESISTANT GYPSUM BOARD AT ALL NEW WET WALLS LOCATIONS, UNLESS OTHERWISE NOTED.
2. ALL NEW WALLS THAT ARE TO RECIEVE FRP OR CERAMIC TILE SHALL HAVE CEMENT BACKER BOARD IN LIEU OF GYPSUM BOARD. SEE FINISH DRRAWINGS FOR LOCATIONS. SEE FINISH LEGEND & INTERIOR ELEVATIONS FOR WALL FINISHES.
3. REFERENCE CEILING PLAN, INTERIOR ELEVATIONS AND EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
4. GC TO PATCH AND REPAIR MASNORY WALLS AS NEEDED WHERE DEMOLITION HAS OCCURED.
5. SEE V100 AND V110 FOR INTERIOR GENERAL ARRANGEMENT PLANS.
6. SEE EQUIPMENT DRAWING FOR ADDITIONAL COOLER OR KITCHEN EQUIPMENT INFORMATION
7. SEE V100 AND V110 FOR INTERIOR FINISH TAGS.

PLAN NOTES - FLOOR PLAN

1	IN FILL EXISTING MASONRY WALL WITH NEW MASONRY WALL CONSTRUCTION TO MATCH EXISTING OPENING
2	NEW COOLER/ FREEZER, SEE EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
3	NEW WALL CONSTRCUTION IS TO ALIGN WITH EXISTING.
4	NEW MILLWORK BY OTHERS.
5	CORNER GUARDS, SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
6	NEW STRUCTURAL COLUMN, SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
7	DASHED LINE REPRESENTS SOFFIT ABOVE, SEE A201 FOR ADDITIONAL INFORMATION.
8	AREA NOT IN SCOPE.
9	PROVIDE 1/2" FIRE RETARDENT PLYWOOD SHEATHING, 4'-0" AF.F. SCREW TO FINISH FACE OF WALL CONSTRUCTION.
10	INFILL FLOOR OPENING WITH NEW CONSTRUCTION TO MATCH EXISTING, SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
11	EXISTING COLUMN TO REMAIN.
12	GC TO SAW CUT FLOOR AS NEEDED TO ALLOW FOR NEW DUCT WORK, SEE MEP AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
13	NEW ROOF DRAIN, SEE ROOF PLAN AND MEP DRAWINGS FOR ADDITIONAL INFORMATION.

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

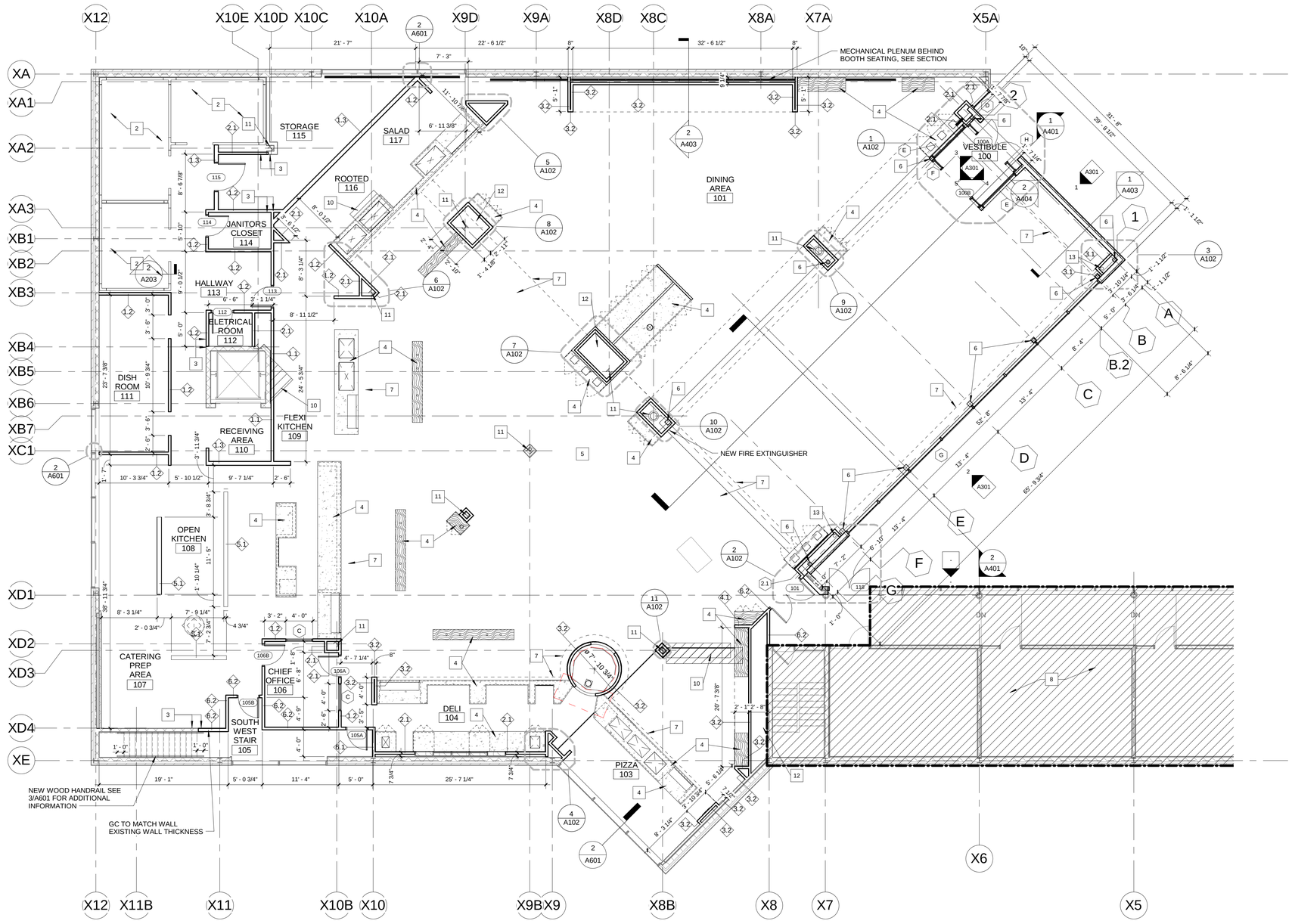
ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
BASEMENT CONSTRUCTION FLOOR PLAN

DRAWING NO.
A100

Plot Date: 2/20/2018 5:32:59 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub.j_woodworth.rvt



1 DIMENSION PLAN
1/8" = 1'-0"

PLAN NOTES - FLOOR PLAN

1	IN FILL EXISTING MASONRY WALL WITH NEW MASONRY WALL CONSTRUCTION TO MATCH EXISTING OPENING
2	NEW COOLER/ FREEZER, SEE EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
3	NEW WALL CONSTRCUTION IS TO ALIGN WITH EXISTING.
4	NEW MILLWORK BY OTHERS.
5	CORNER GUARDS, SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
6	NEW STRUCTURAL COLUMN, SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
7	DASHED LINE REPRESENTS SOFFIT ABOVE, SEE A201 FOR ADDITIONAL INFORMATION.
8	AREA NOT IN SCOPE.
9	PROVIDE 1/2" FIRE RETARDENT PLYWOOD SHEATHING, 4'-0" AF.F. SCREW TO FINISH FACE OF WALL CONSTRUCTION.
10	INFILL FLOOR OPENING WITH NEW CONSTRUCTION TO MATCH EXISTING, SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
11	EXISTING COLUMN TO REMAIN.
12	GC TO SAW CUT FLOOR AS NEEDED TO ALLOW FOR NEW DUCT WORK, SEE MEP AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
13	NEW ROOF DRAIN, SEE ROOF PLAN AND MEP DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN GENERAL NOTES:

1. PROVIDE MOISETURE RESISTANT GYPSUM BOARD AT ALL NEW WET WALLS LOCATIONS, UNLESS OTHERWISE NOTED.
2. ALL NEW WALLS THAT ARE TO RECIEVE FRP OR CERAMIC TILE SHALL HAVE CEMENT BACKER BOARD IN LIEU OF GYPSUM BOARD. SEE FINISH DRRAWINGS FOR LOCATIONS. SEE FINISH LEGEND & INTERIOR ELEVATIONS FOR WALL FINISHES.
3. REFERENCE CEILING PLAN, INTERIOR ELEVATIONS AND EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
4. GC TO PATCH AND REPAIR MASNORY WALLS AS NEEDED WHERE DEMOLITION HAS OCCURED.
5. SEE V100 AND V110 FOR INTERIOR GENERAL ARRANGEMENT PLANS.
6. SEE EQUIPMENT DRAWING FOR ADDITIONAL COOLER OR KITCHEN EQUIPMENT INFORMATION.
7. SEE V100 AND V110 FOR INTERIOR FINISH TAGS.

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

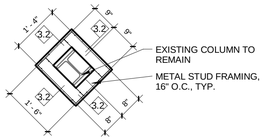
ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

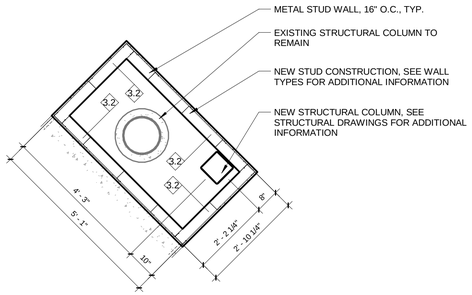
DRAWING NAME:
FIRST FLOOR CONSTRUCTION PLAN

DRAWING NO.
A101

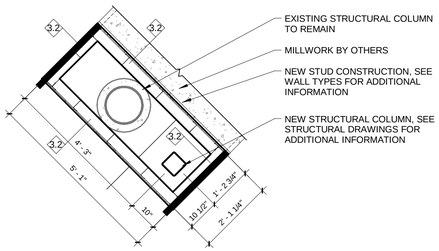
Plot Date: 2/20/2018 5:33:03 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub.j_woodworth.rvt



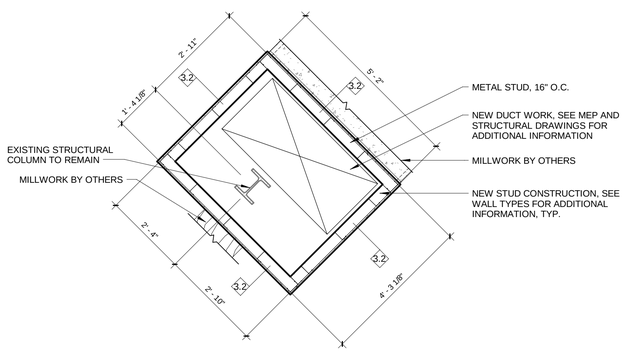
11 PLAN DETAIL
1/2" = 1'-0"



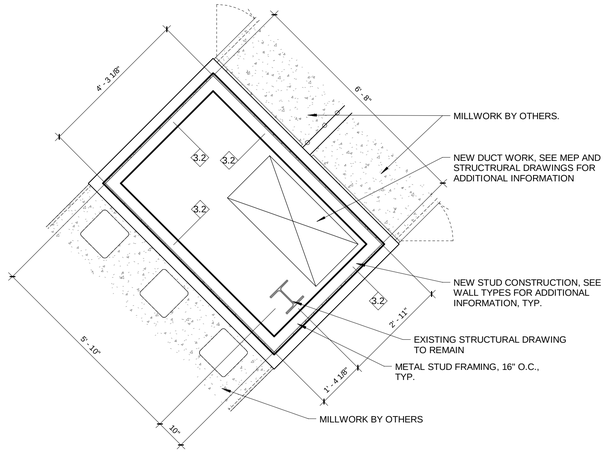
10 PLAN DETAIL
1/2" = 1'-0"



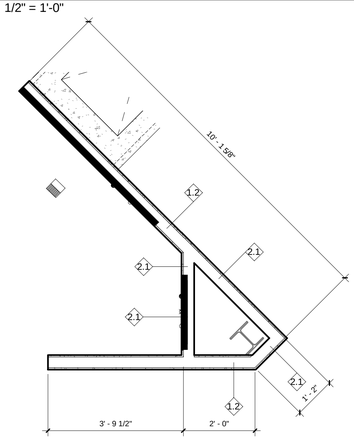
9 PLAN DETAIL
1/2" = 1'-0"



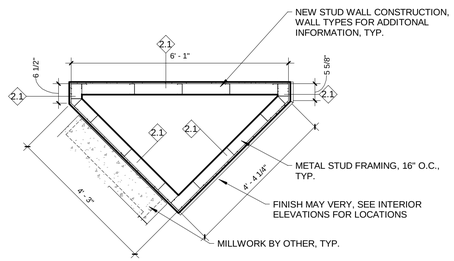
8 PLAN DETAIL
1/2" = 1'-0"



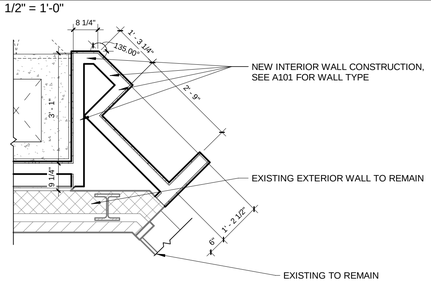
7 PLAN DETAIL
1/2" = 1'-0"



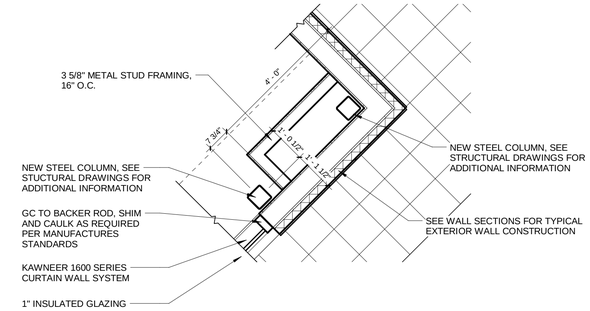
6 PLAN DETAIL
1/2" = 1'-0"



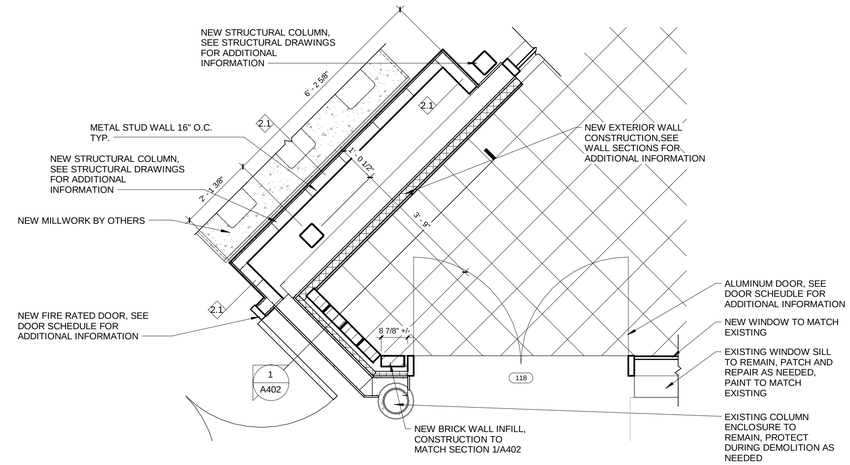
5 PLAN DETAIL
1/2" = 1'-0"



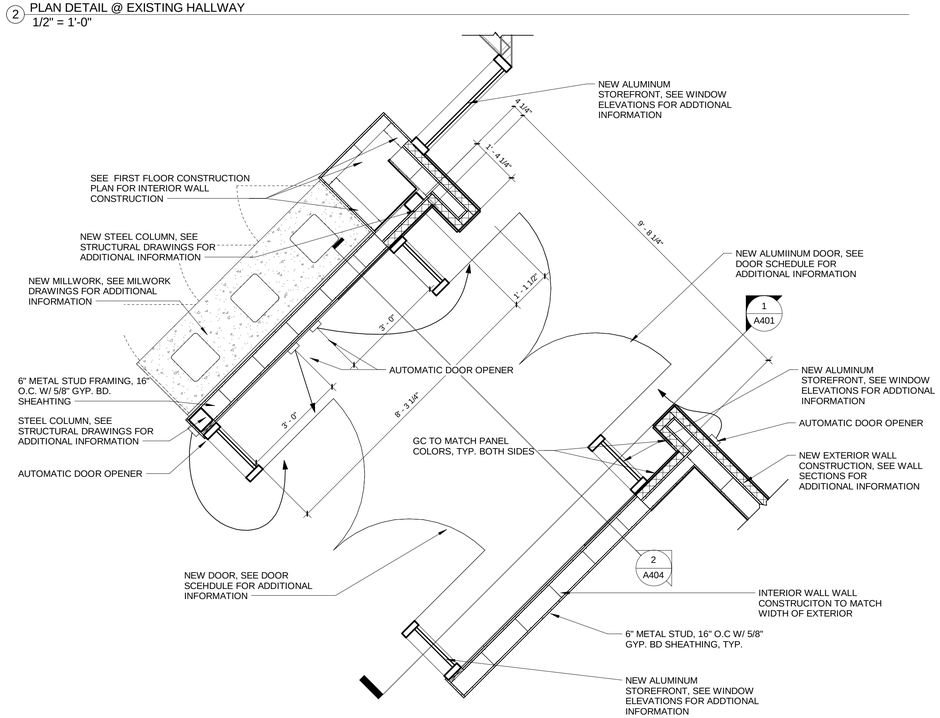
4 PLAN DETAIL
1/2" = 1'-0"



3 PLAN DETAIL @ NEW ADDITION
1/2" = 1'-0"



2 PLAN DETAIL @ EXISTING HALLWAY
1/2" = 1'-0"



1 ENLARGED VESTIBULE PLAN
1/2" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
ENLARGED PLANS & PLAN DETAILS

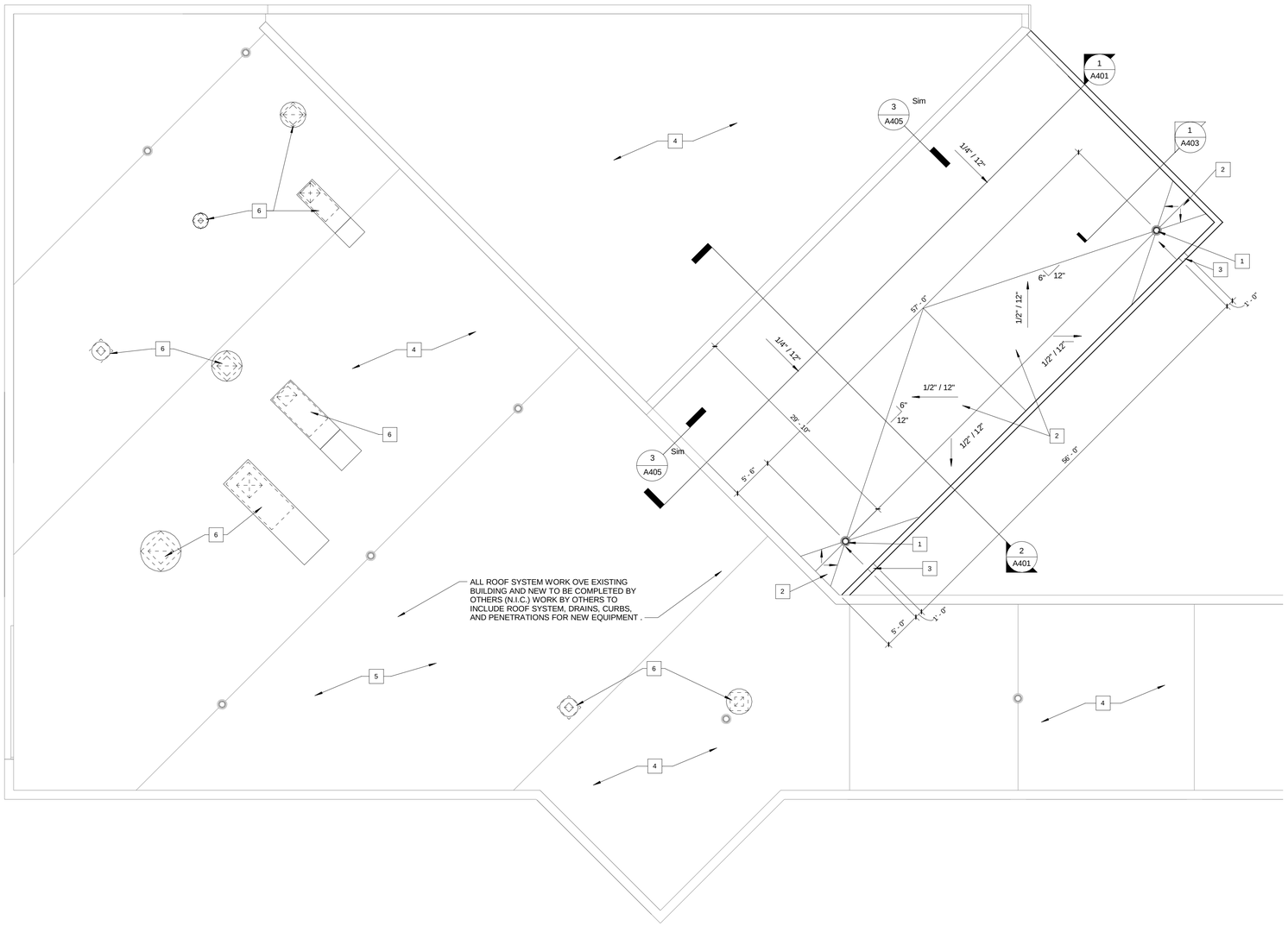
DRAWING NO.
A102

Plot Date: 2/20/2018 5:33:08 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

PLAN NOTES - ROOF PLAN	
1	NEW STORM DRAIN, GC TO COORDINATE WITH ROOFING CONTRACTOR. SEE DETAIL 6/A601 FOR ADDITIONAL INFORMATION.
2	
3	NEW THRU WALL ROOF SCUPPER, ALIGN BOTTOM OF SCUPPER W/ TOP OF ROOF MEMBRANE AT EACH LOCATION TO BE INSTALLED. SCUPPER PER ROOF FASCIA MANUFACTURER.
4	NEW MEMBRANE ROOF BY OTHERS.
5	SELECT ROOF EQUIPMENT DEMOLTION, SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
6	NEW ROOF EQUIPMENT, SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

GENERAL NOTES:

1. ALL ROOF CRICKETS SHALL BE CONSTRUCTED WITH 1/2" TAPERED INSULATION.
2. PROVIDE TAPERED INSULATION CRICKETS AT UPSLOPE SIDE OF ALL ROOF CURBS PER ROOFING MFG'S RECOMMENDATIONS.
3. FLASH ALL ROOF CURBS, PENETRATIONS, ETC. PER ROOFING MANUFACTURER RECOMMENDATIONS - REFER TO/COORDINATE WITH MECHANICAL AND PLUMBING PLANS AND FLASH ALL PENETRATIONS AS REQUIRED.
4. SEE MECHANICAL DRAWINGS AND EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
5. GC TO COORDINATE NEW ROOF PENETRATIONS, EQUIPMENT, ETC., WITH COLLEGE. EXISTING ROOF TO BE REPLACED DURING CONSTRUCTION BY SEPERATE CONTRATOR.



N A ROOF PLAN
1/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
ROOF PLAN

DRAWING NO.
A103

Plot Date: 2/20/2018 5:33:09 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

CEILING PLAN GENERAL NOTES

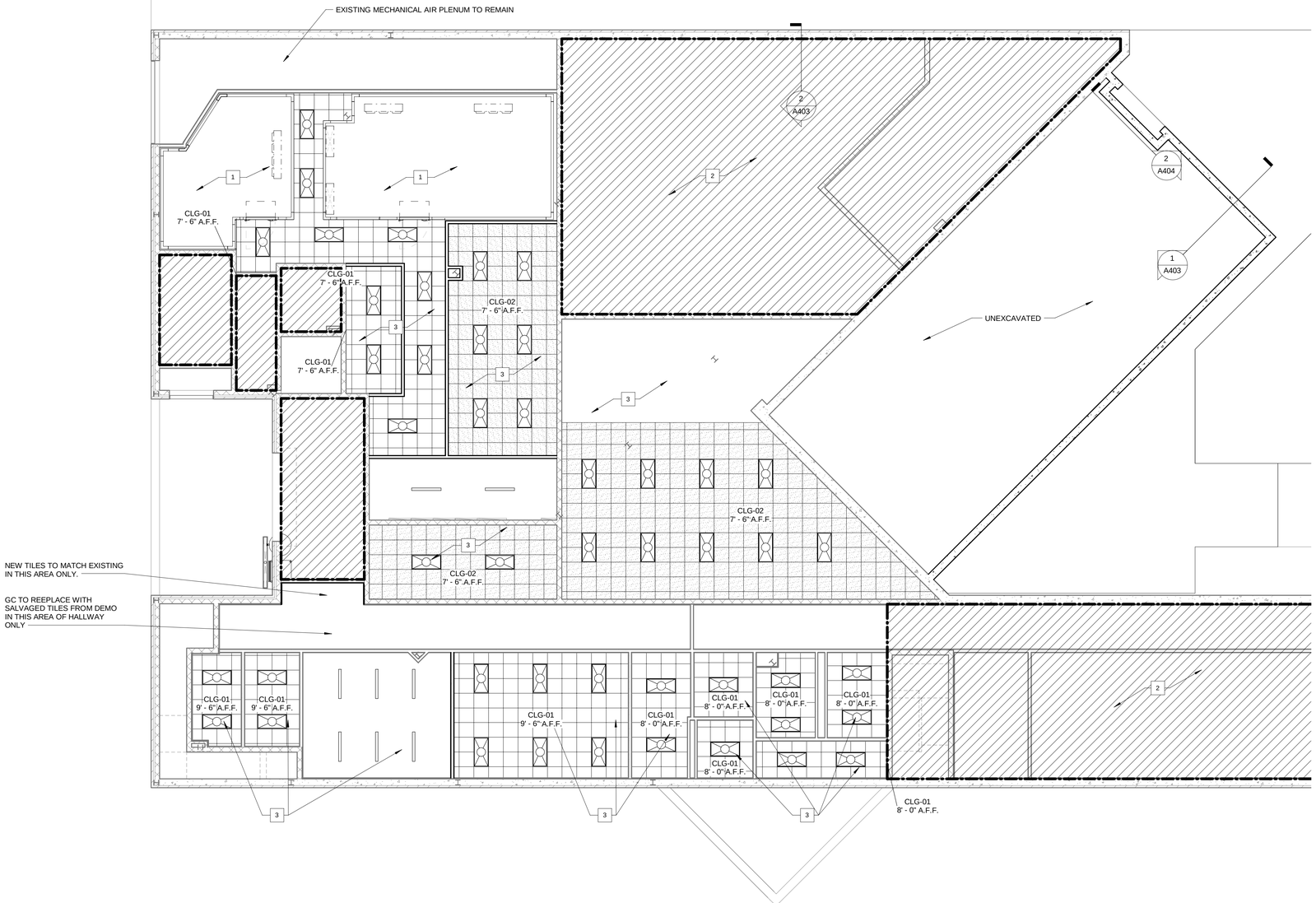
1. ALL CEILING MOUNTED WIRING WITHIN THE EXPOSED CEILING AREAS OF THE HUB SHALL BE RUN WITHIN A RACEWAY, AND THE RACEWAY AND ALL ASSOCIATED ATTACHEMENTS, ETC. WILL BE PAINTED BLACK TO MATCH THE CEILING FINISHES.
2. ALL CEILING GRIDS TO BE CENTERED IN ROOM, UNLESS NOTED OTHERWISE.
3. SEE EQUIPMENT DRAWINGS AND ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING INFORMATION.
4. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL SYMBOLS.
5. REFER TO V102 AND V112 FOR ALL CEILING HEIGHTS, FINISHES AND LIGHTING LOCATIONS.
6. GC IS TO V.I.F. THE HEIGHTS OF DUCTS IN BASEMENT PRIOR TO CEILING INSTALLTION. ANY CONFLICTS, CONTACT ARCHITECT.
7. SEE MEP DRAWINGS FOR SUPPLY AND RETURN GRILL LOCATIONS

PLAN NOTES - RCP

1	SEE EQUIPMENT DRAWINGS FOR LIGHT INFORMATION IN COOLERS
2	AREA NOT IN SCOPE.
3	NEW ACT TILE CEILING, SEE V102 AND V112 FOR ADDITIONAL INFORMATION
4	NEW GYP. BD. SOFFIT CEILING, SEE V102 AND V112FOR ADDITIONAL INFORMATION
5	DECORATIVE CEILING TRELLIS, SEE 4/A203 FOR ADDITIONAL INFORMATION. SEE V112 FOR FINISH INFORMATION.
6	
7	TVS TO BE PROVIDED BY OTHERS.
8	DECORATIVE TRELLIS, SEE V112 FOR ADDITIONAL INFORMATION.

SYMBOL LEGEND

- 2X4 LED FIXTURE
- 2X2 LED FIXTURE
- RECESSED CAN FIXTURE
- DECORATIVE PENDANT LIGHT
- LAMINATE CEILING
- HIGH BAY LIGHT FIXTURE
- DECORATIVELINEAR LIGHT FIXTURE
- INDUSTRIAL STRIPE LIGHTING
- MONITOR



1 BASEMENT LEVEL
1/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
BASEMENT REFLECTED CEILING PLAN

DRAWING NO.
A200

Plot Date: 2/20/2018 5:33:15 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

CEILING PLAN GENERAL NOTES

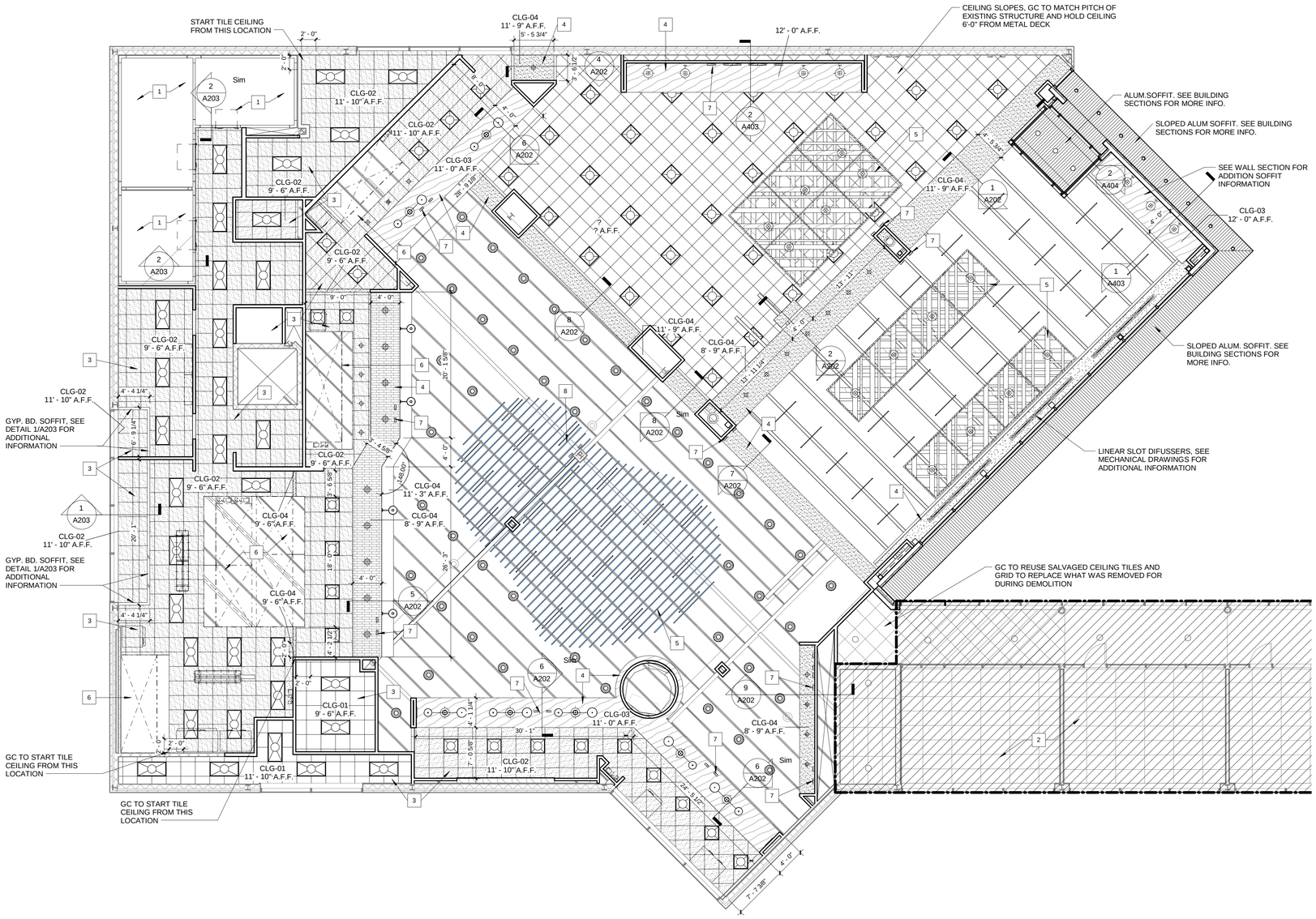
1. ALL CEILING MOUNTED WIRING WITHIN THE EXPOSED CEILING AREAS OF THE HUB SHALL BE RUN WITHIN A RACEWAY, AND THE RACEWAY AND ALL ASSOCIATED ATTACHEMENTS, ETC. WILL BE PAINTED BLACK TO MATCH THE CEILING FINISHES.
2. ALL CEILING GRIDS TO BE CENTERED IN ROOM, UNLESS NOTED OTHERWISE.
3. SEE EQUIPMENT DRAWINGS AND ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING INFORMATION.
4. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL SYMBOLS.
5. REFER TO V102 AND V112 FOR ALL CEILING HEIGHTS, FINISHES AND LIGHTING LOCATIONS.
6. GC IS TO V.I.F. THE HEIGHTS OF DUCTS IN BASEMENT PRIOR TO CEILING INSTALLTION. ANY CONFLICTS, CONTACT ARCHITECT.
7. SEE MEP DRAWINGS FOR SUPPLY AND RETURN GRILL LOCATIONS

PLAN NOTES - RCP

1	SEE EQUIPMENT DRAWINGS FOR LIGHT INFORMATION IN COOLERS
2	AREA NOT IN SCOPE.
3	NEW ACT TILE CEILING, SEE V102 AND V112 FOR ADDITIONAL INFORMATION
4	NEW GYP. BD. SOFFIT CEILING, SEE V102 AND V112FOR ADDITIONAL INFORMATION
5	DECORATIVE CEILING TRELLIS, SEE 4/A203 FOR ADDITIONAL INFORMATION. SEE V112 FOR FINISH INFORMATION.
6	
7	TVS TO BE PROVIDED BY OTHERS.
8	DECORATIVE TRELLIS, SEE V112 FOR ADDITIONAL INFORMATION.

SYMBOL LEGEND

- 2X4 LED FIXTURE
- 2X2 LED FIXTURE
- RECESSED CAN FIXTURE
- DECORATIVE PENDANT LIGHT
- LAMINATE CEILING
- HIGH BAY LIGHT FIXTURE
- DECORATIVELINEAR LIGHT FIXTURE
- INDUSTRIAL STRIPE LIGHTING
- MONITOR



1 DINING LEVEL
1/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

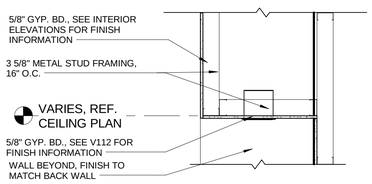
ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

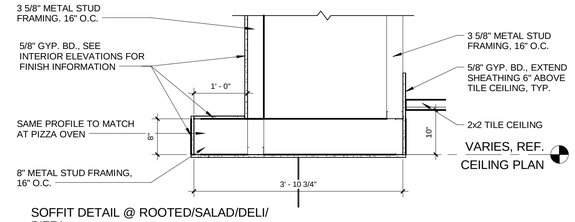
DRAWING NAME:
FIRST FLOOR REFLECTED CEILING PLAN

DRAWING NO.
A201

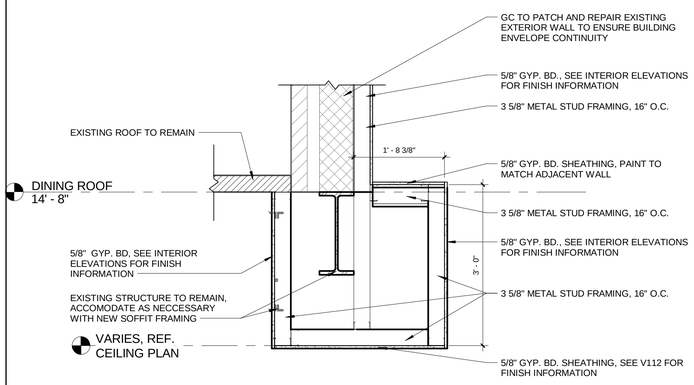
Plot Date: 2/20/2018 5:33:24 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



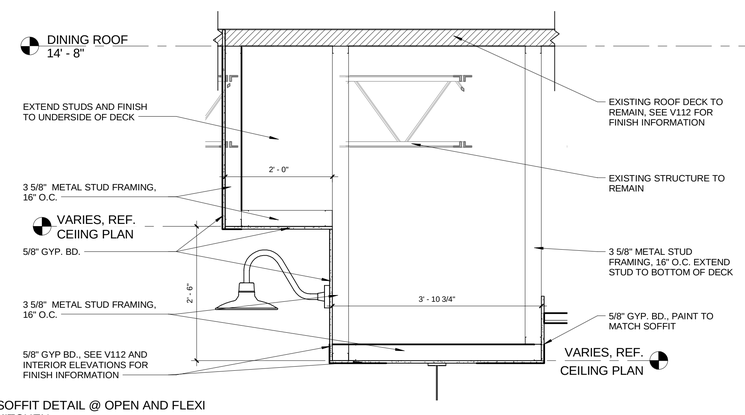
9 SOFFIT DETAIL
3/4" = 1'-0"



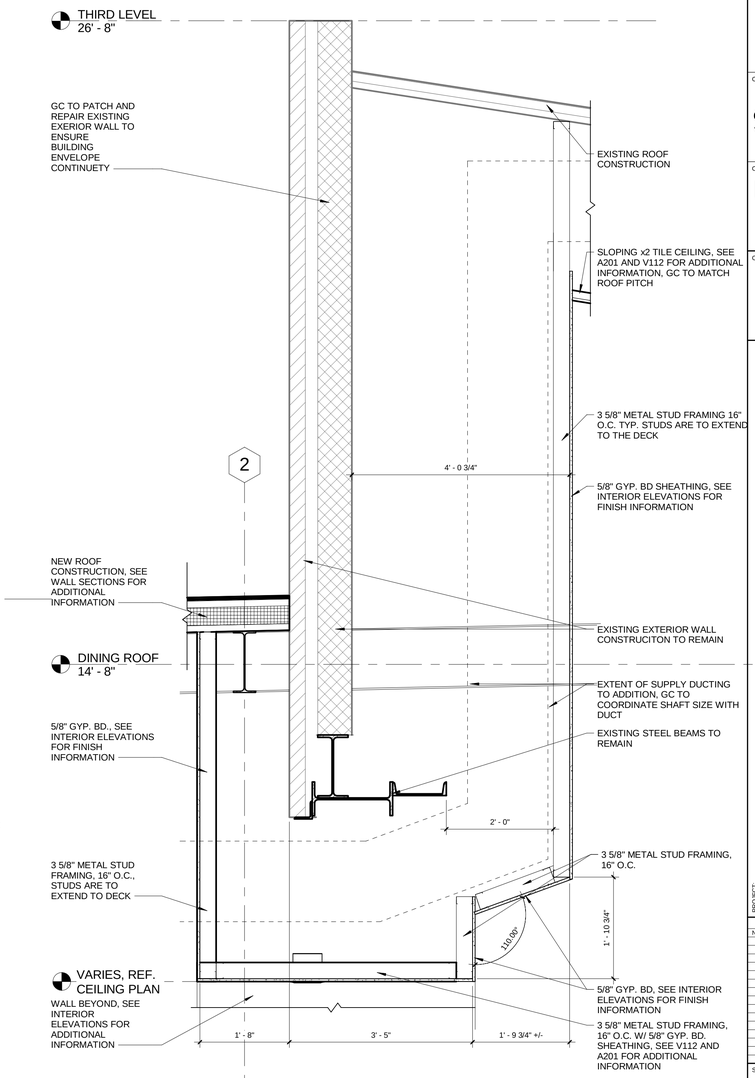
6 SOFFIT DETAIL @ ROOTED/SALAD/DELI/ PIZZA
3/4" = 1'-0"



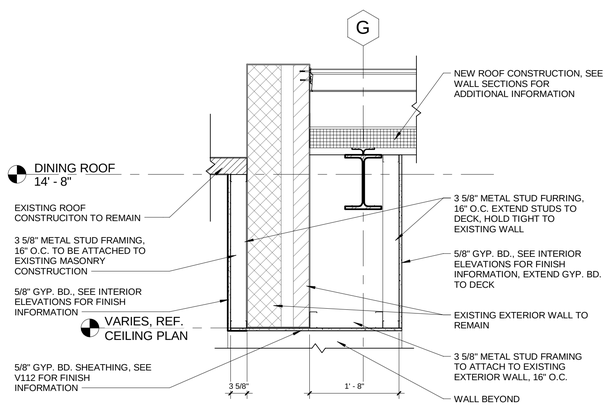
8 SOFFIT DETAIL @ DINING
3/4" = 1'-0"



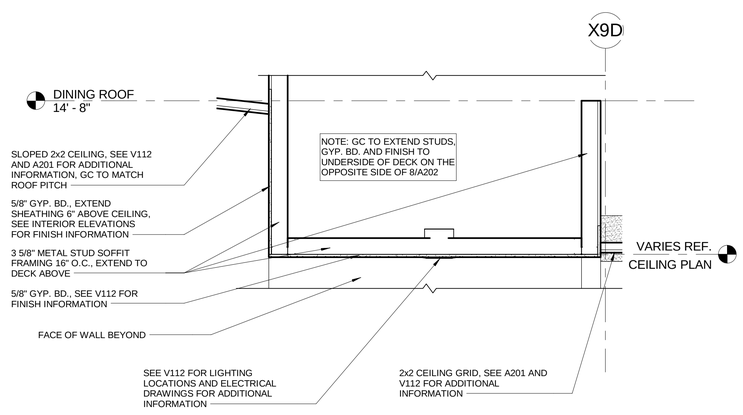
5 SOFFIT DETAIL @ OPEN AND FLEXI KITCHEN
3/4" = 1'-0"



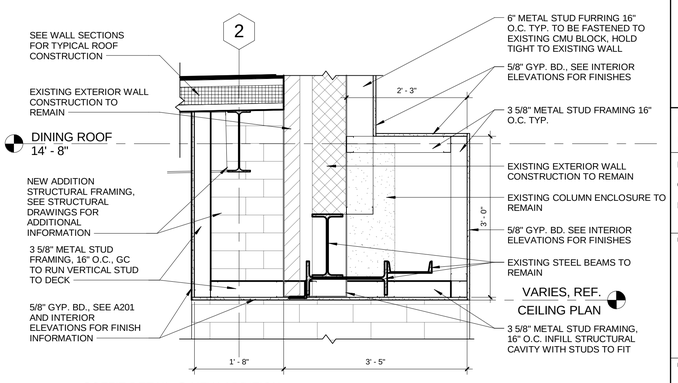
2 SOFFIT DETAIL @ CHASE
3/4" = 1'-0"



7 SOFFIT DETAIL BETWEEN NEW ADDITION AND EXISTING
3/4" = 1'-0"



4 SOFFIT DETAIL @ SALAD BAR
3/4" = 1'-0"



1 SOFFIT DETAIL @ NEW ADDITION
3/4" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

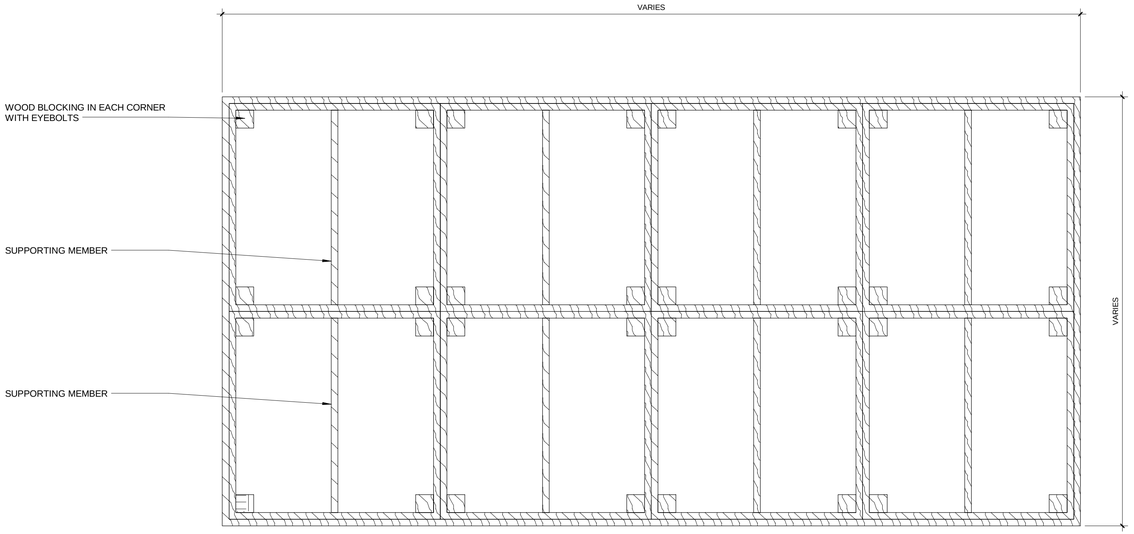
SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

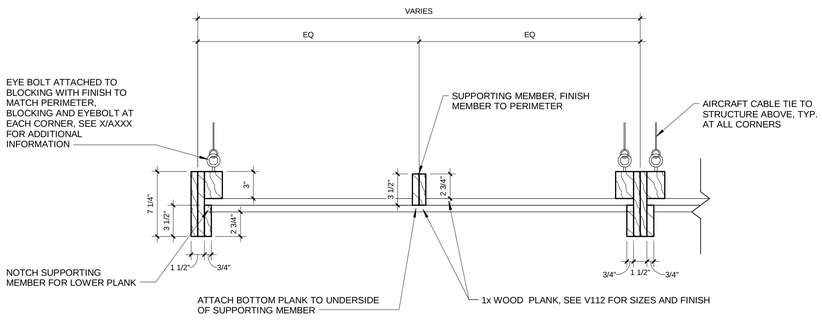
DRAWING NAME:
CEILING DETAILS I

DRAWING NO.
A202

Plot Date: 2/20/2018 5:33:27 PM Dwg Filename: C:\Users_woodworth\Documents\SUNY Purchase - Hub._woodworth.rvt

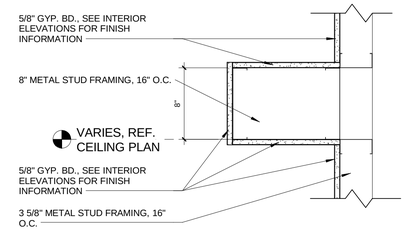


LAYOUT ABOVE MAY VARY DEPENDING ON SIZE OF TRELLIS

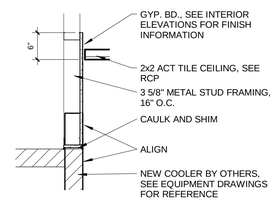


SEE PLAN VIEW ABOVE FOR TYPICAL LAYOUT

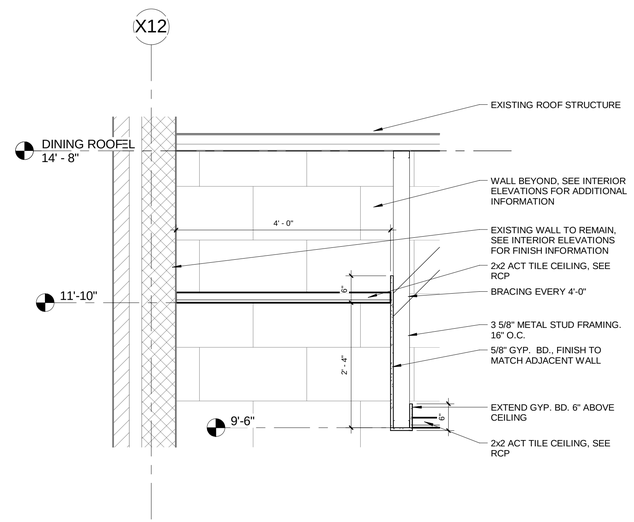
4 SOFFIT DETAIL
1 1/2" = 1'-0"



3 SOFFIT DETAIL
1 1/2" = 1'-0"



2 SOFFIT @ COOLERS
3/4" = 1'-0"



1 SOFFIT DETAIL
3/4" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

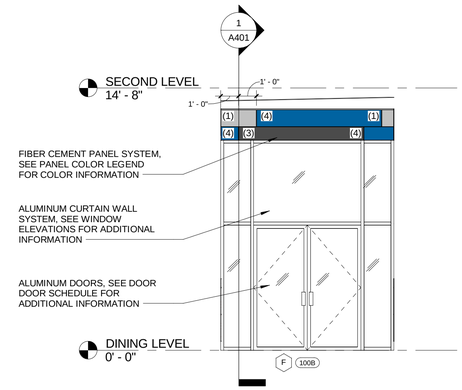
ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
CEILING DETAILS II

DRAWING NO.
A203

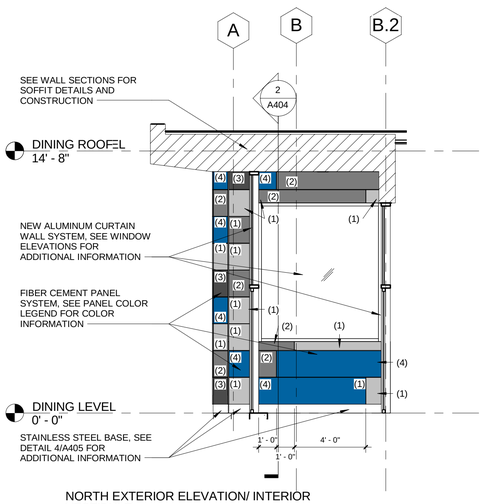
Plot Date: 2/20/2018 5:33:29 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



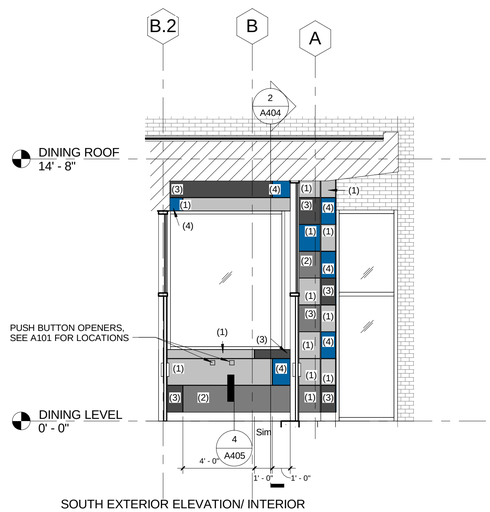
EXTERIOR PANEL COLOR KEY

(1)		BENJAMIN MOORE 2133-60 SIDEWALK GRAY
(2)		BENJAMIN MOORE 2133-50 PIGEON GRAY
(3)		BENJAMIN MOORE 2133-40 DIOR GRAY
(4)		BENJAMIN MOORE: COLLEGE ACCENT COLOR

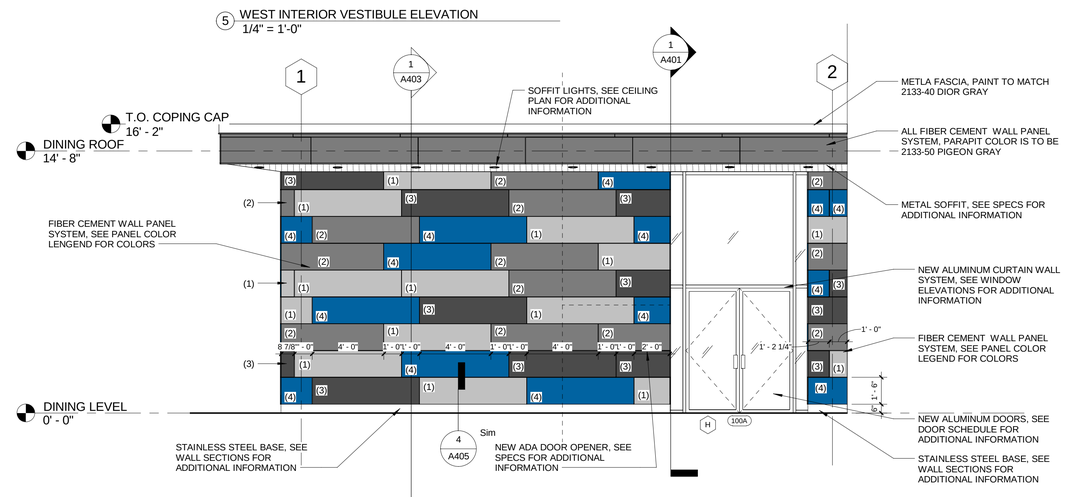
HATCHED COLORS ABOVE ARE TO REPRESENT THE ORDER IN WHICH THEY ARE TO BE DISPLAYED. ACTUALLY COLOR IS ADJACENT TO THE HATCHED BOX.



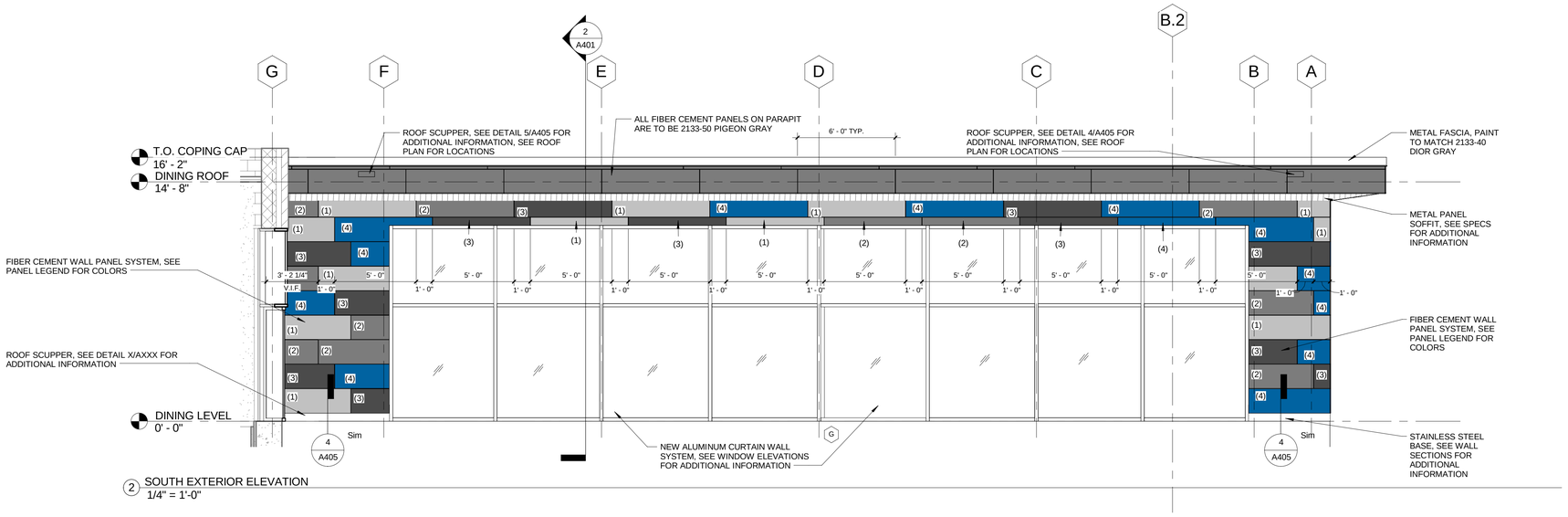
4 NORTH EXTERIOR ELEVATION/ INTERIOR VESTIBULE
1/4" = 1'-0"



3 SOUTH EXTERIOR ELEVATION/ INTERIOR VESTIBULE
1/4" = 1'-0"



1 WEST EXTERIOR ELEVATION
1/4" = 1'-0"



2 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:

SUNY PURCHASE COLLEGE

CAFE ADDITION AND RENOVATION

735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID

ISSUED DATE: 02.16.2018

DRAWN BY: JW

CHECKED BY: CM

PROJECT NUMBER: 1517347

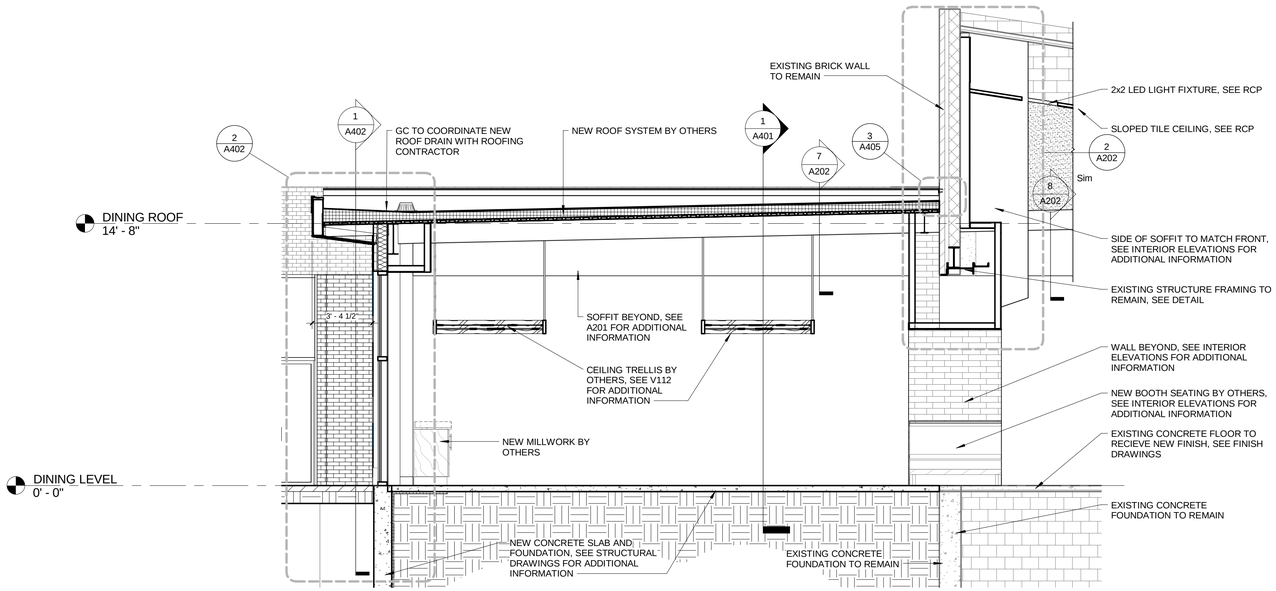
DRAWING NAME:

EXTERIOR ELEVATIONS

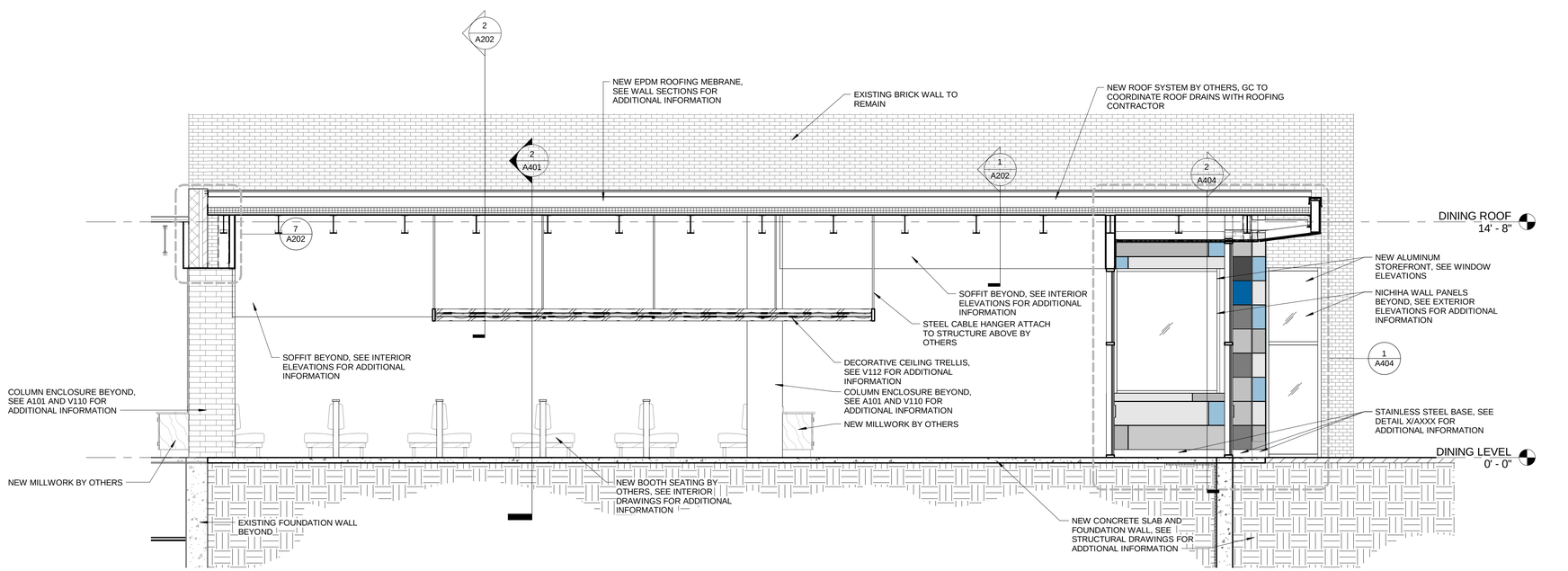
DRAWING NO.

A301

Plot Date: 2/20/2018 5:33:32 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



2 BUILDING SECTION
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

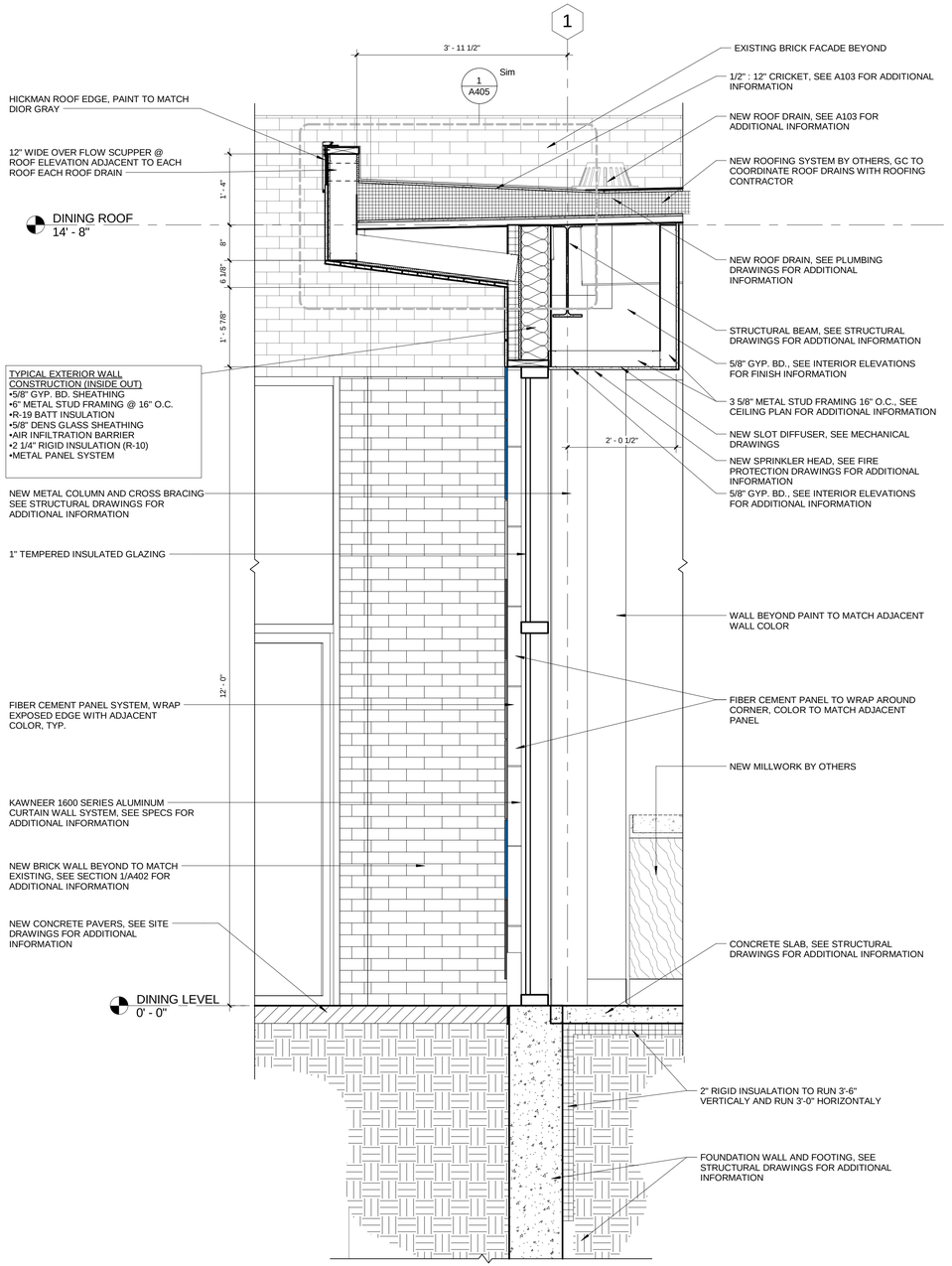
ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

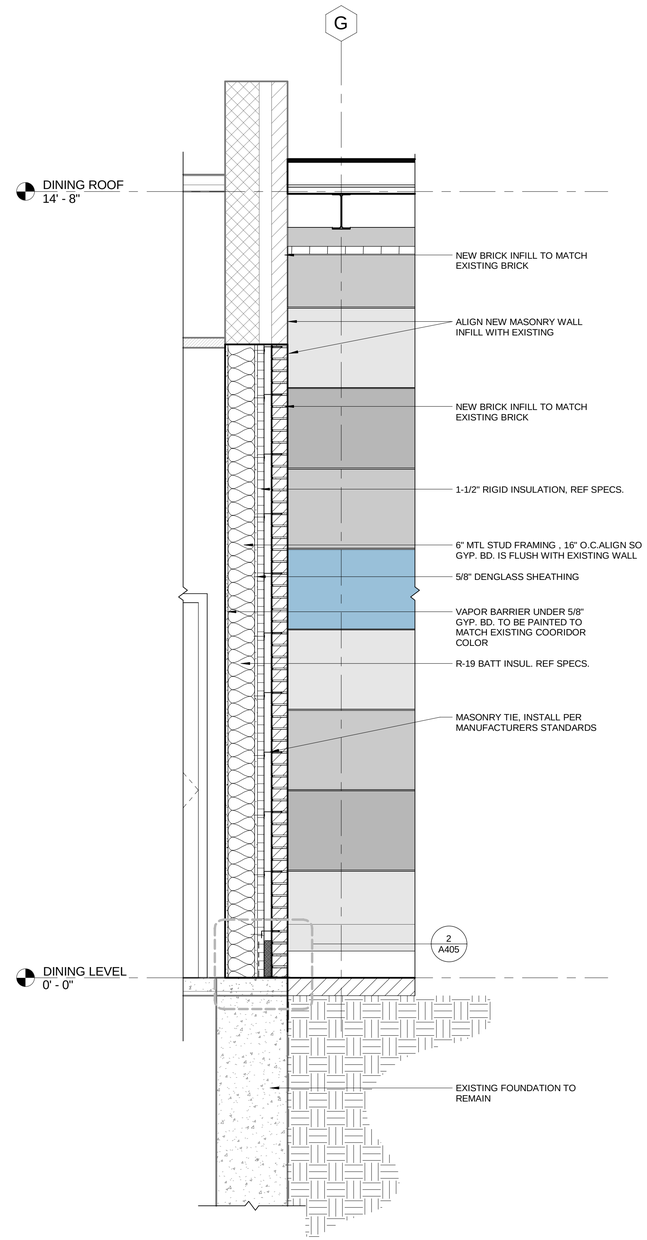
DRAWING NAME:
BUILDING SECTIONS

DRAWING NO.
A401

Plot Date: 2/20/2018 5:33:35 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



2 WALL SECTION
3/4" = 1'-0"



1 WALL SECTION
3/4" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

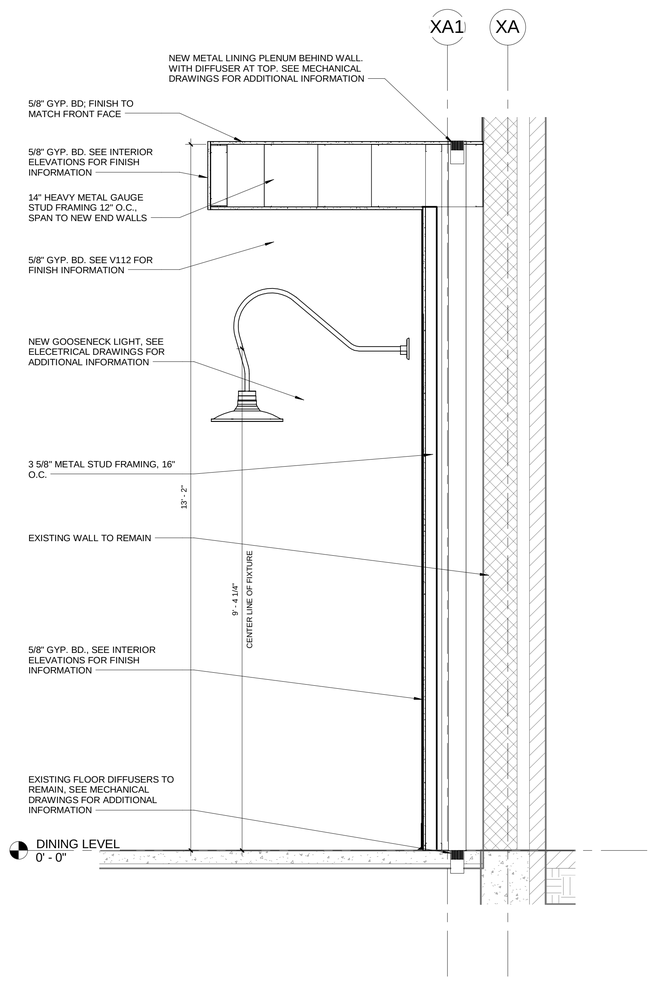
ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

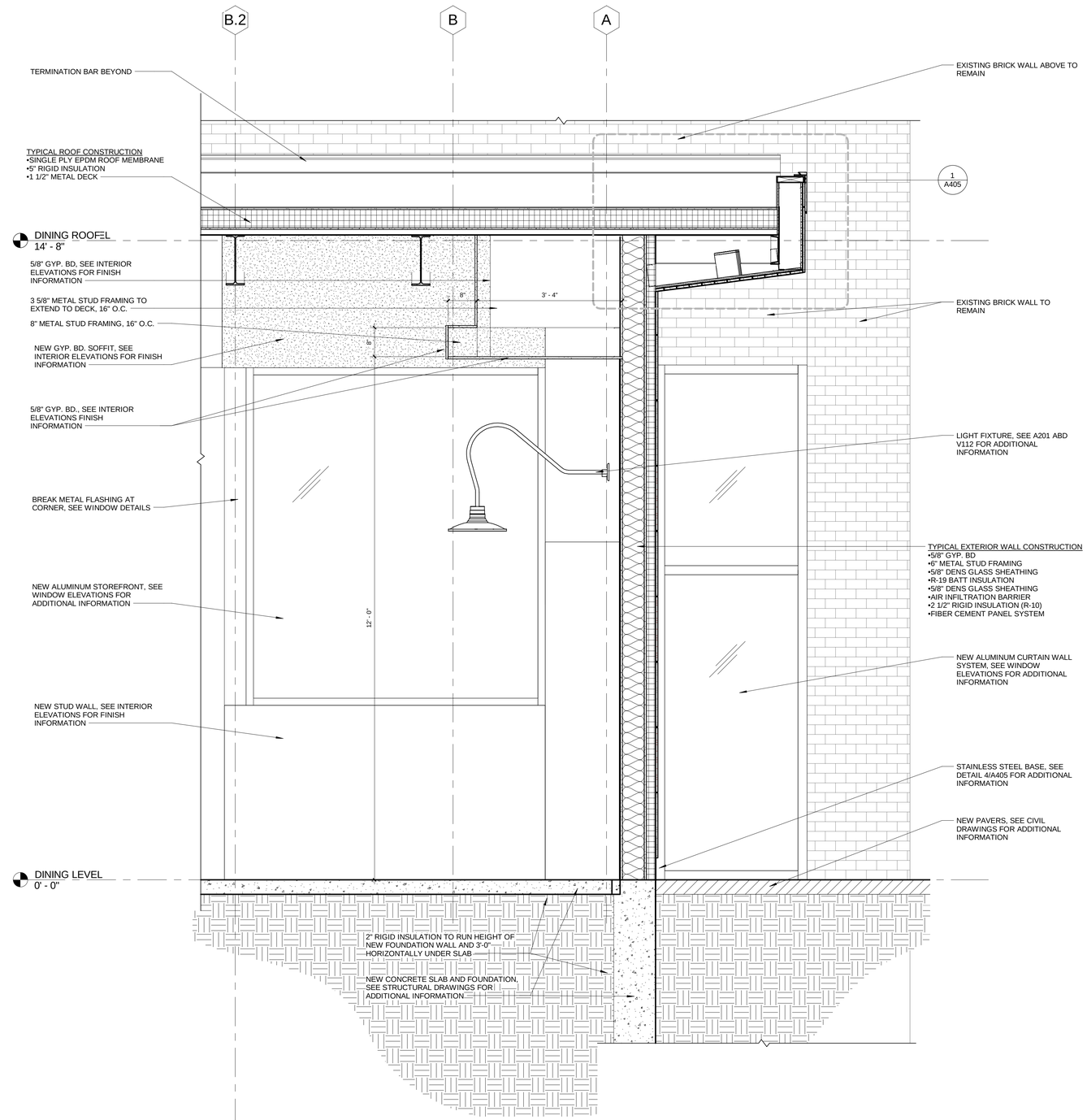
DRAWING NAME:
WALL SECTIONS

DRAWING NO.
A402

Plot Date: 2/20/2018 5:33:37 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



2 Section 4
3/4" = 1'-0"



1 Wall Section 4
3/4" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

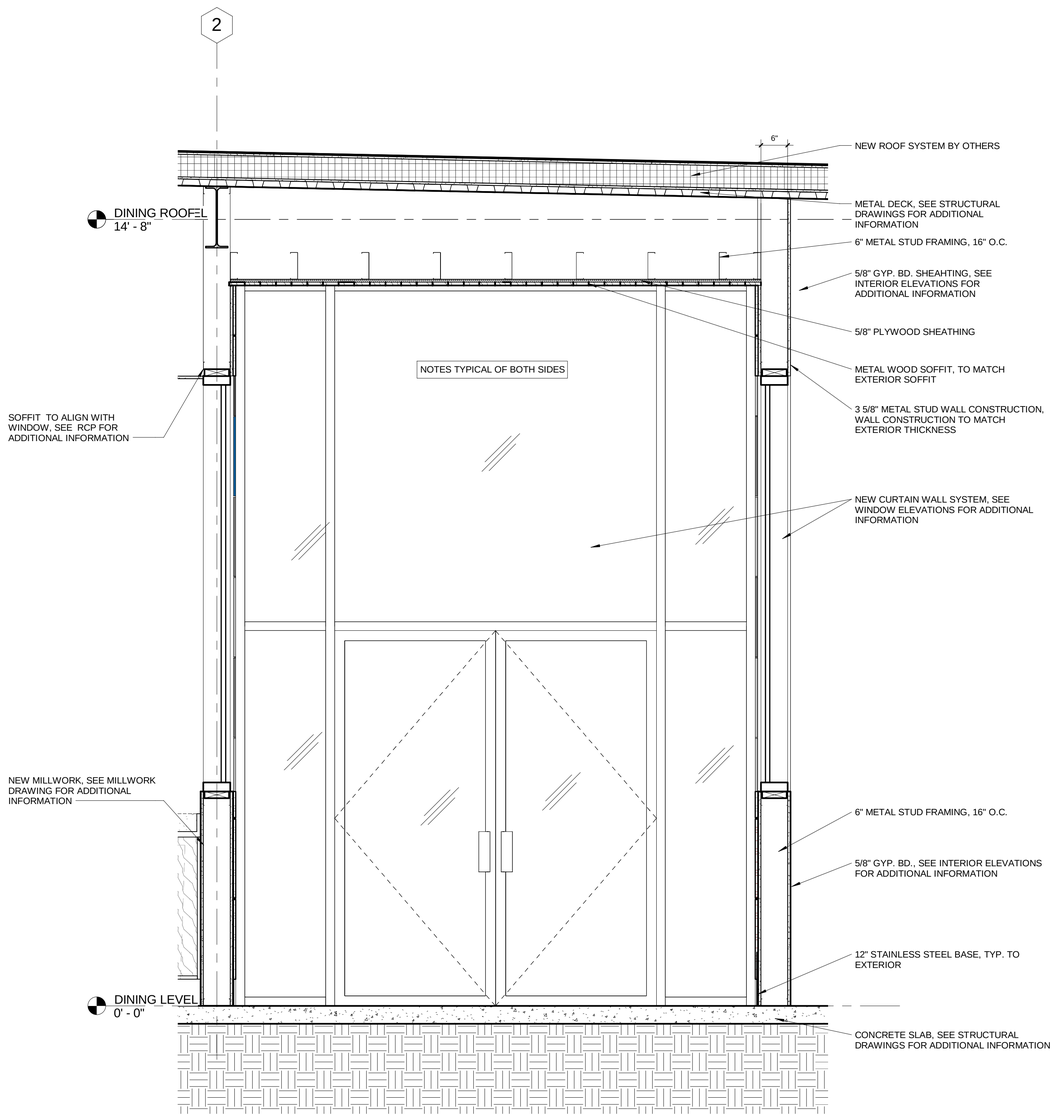
ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

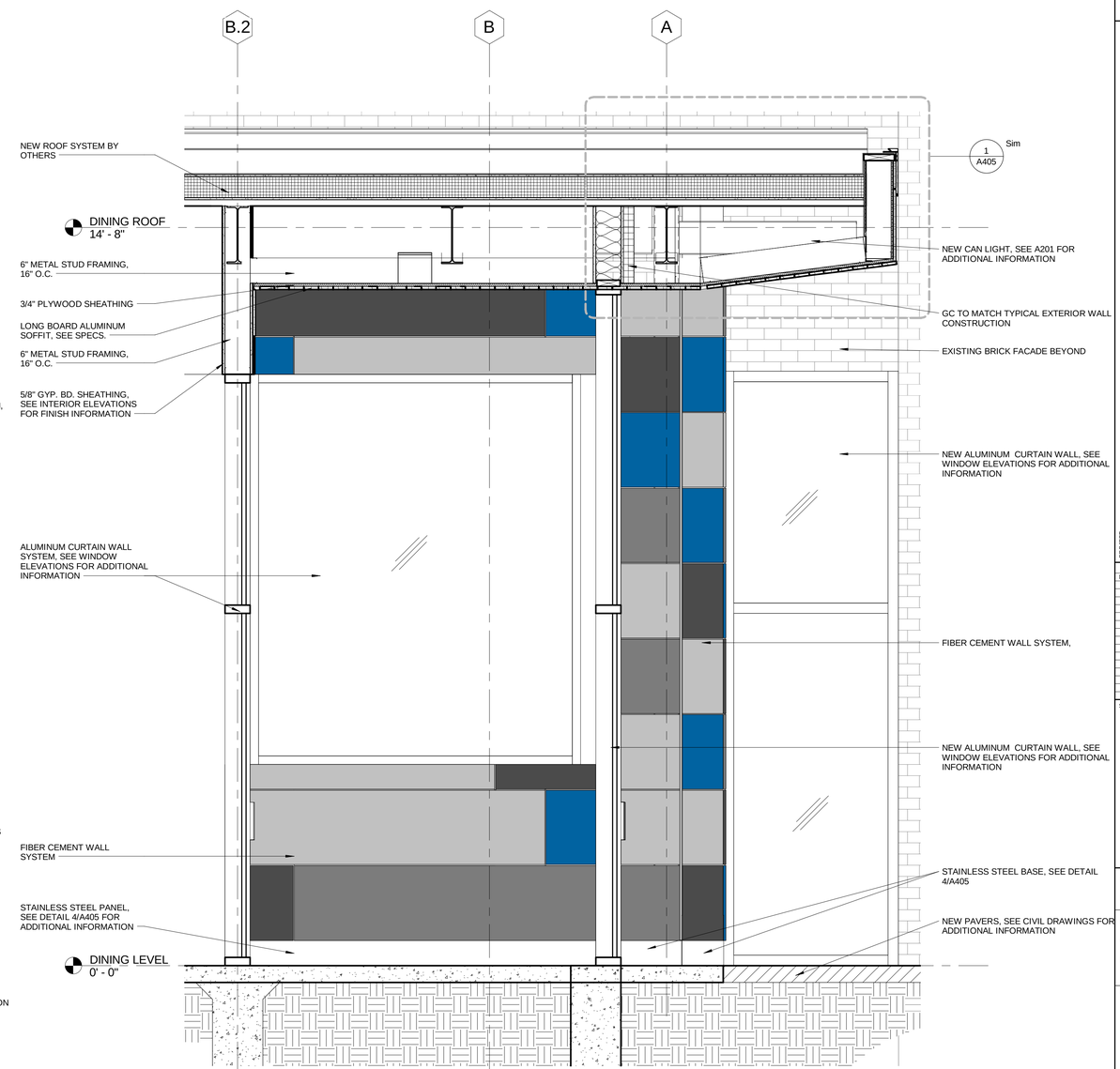
DRAWING NAME:
WALL SECTIONS

DRAWING NO.
A403

Plot Date: 2/20/2018 5:33:40 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



2 Section 5
3/4" = 1'-0"



1 EAST/WEST - Callout 1
3/4" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

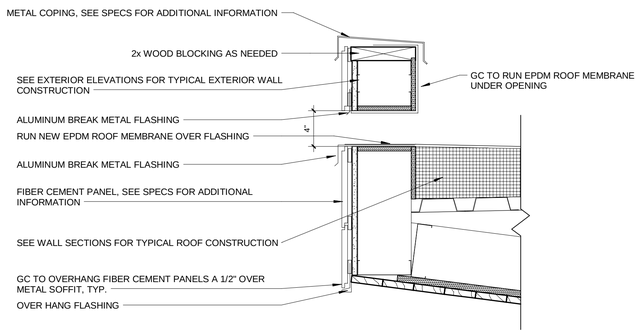
ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

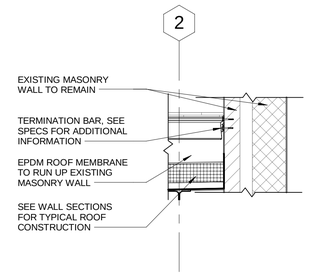
DRAWING NAME:
WALL SECTIONS

DRAWING NO.
A404

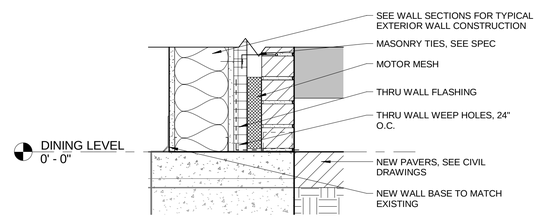
Plot Date: 2/20/2018 5:33:42 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



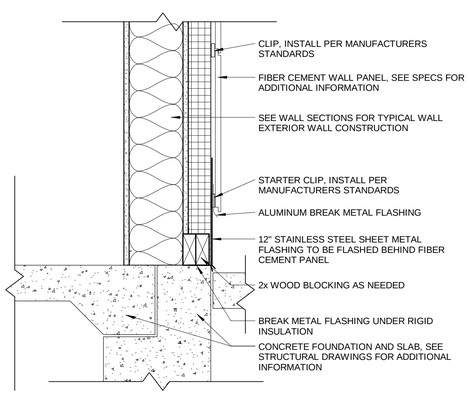
5 WALL SCUPPER
1 1/2" = 1'-0"



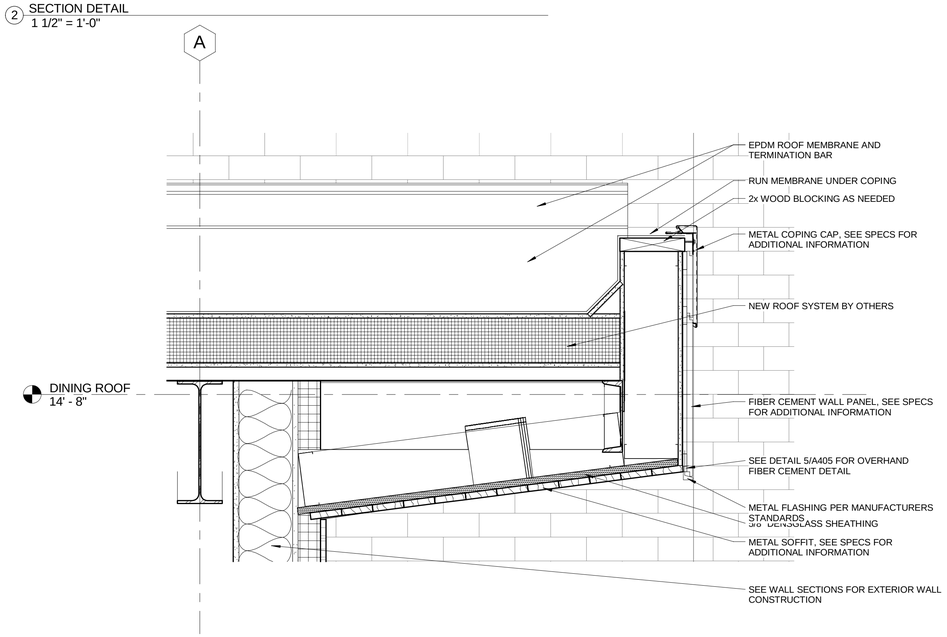
3 TERMINATION BAR
3/4" = 1'-0"



2 SECTION DETAIL
1 1/2" = 1'-0"



4 EXTERIOR WALL BASE
1 1/2" = 1'-0"



1 Typical Roof Overhang
1 1/2" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
SECTION DETAILS

DRAWING NO.
A405

Plot Date: 2/20/2018 5:33:44 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

DOOR SCHEDULE

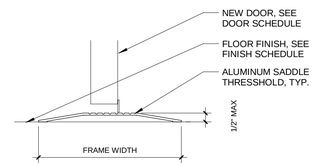
ROOM NAME	DOOR NO.	DOOR SIZE	DOOR TYPE	DOOR MAT'L	DOOR GLASS	FRAME TYPE	FRAME MAT'L	FRAME GLASS	FRAME DETAILS HEAD	FRAME DETAILS JAMB	FRAME DETAILS THRESHOLD	FIRE RATING	FIRE CODE REQ. AUTOMATIC CLOSER	FIRE CODE REQ. PANIC RELEASE OPERATOR	FIRE CODE REQ. POSITIVE LATCHING	ADA REQ. ADA LEVER HANDLES	ADA REQ. ADA PUSH BUTTON OP.	ADA REQ. ADA TACTILE WARN.	LOCKSET PASSAGE	LOCKSET ENTRY	LOCKSET CLASSROOM	LOCKSET OFFICE	LOCKSET STORE ROOM	MISC. HARDWARE BUTTS (PAIRS)	MISC. HARDWARE ELECTRIC STRIKE	MISC. HARDWARE MAGNETIC HOLD OPEN	MISC. HARDWARE KICK PLATES	MISC. HARDWARE PULL HANDLES	MISC. HARDWARE PUSH PLATES	MISC. HARDWARE SILENCERS	MISC. HARDWARE STRIKE	MISC. HARDWARE VERTICAL RODS	MISC. HARDWARE WALL STOP	MISC. HARDWARE WEATHER STRIP	MISC. HARDWARE LATCH SECURITY PLATE	MISC. HARDWARE TOP & BOTTOM BOLTS	MISC. HARDWARE CARD ACCESS CONTROL	REMARKS
BASEMENT LEVEL																																					
SOUTH WEST STAIR	001A	3'-0" x 7'-0" x 1 3/4"	EX	--	--	EX	--	--	EX	EX	EX	2	EX	EX	EX	EX	--	--	--	--	--	--	--	EX	--	--	--	--	--	EX	EX	--	--	EX	--	--	--	
SOUTH WEST STAIR	001B	3'-0" x 7'-0" x 1 3/4"	EX	--	--	EX	--	--	EX	EX	EX	--	EX	EX	EX	EX	--	--	--	--	--	--	X	EX	X	--	--	--	--	EX	--	--	--	EX	--	--	X	
CORRIDOR	002A	3'-0" x 7'-0" x 1 3/4" PR	1	HM	--	A	HM	--	H1/A501	J1/A501	--	2	X	X	X	X	--	--	--	--	--	--	X	3	X	--	X	--	--	2	--	X	X	--	--	--	X	
CORRIDOR	002B	3'-0" x 7'-0" x 1 3/4"	EX	--	--	EX	--	--	EX	EX	--	2	EX	--	EX	EX	--	--	--	--	--	--	X	EX	X	--	EX	--	--	EX	--	--	--	--	--	--	X	
RECEIVING	003A	12'-0" x 8'-0" UNIT	EX	--	--	EX	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	
RECEIVING	003B	3'-0" x 7'-0" x 1 3/4" PR	1	HM	--	A	HM	--	H2/A501	J2/A501	--	--	X	--	X	X	--	--	--	--	X	--	--	3	--	--	X	--	--	2	X	--	--	--	X	X	--	
PAPER STORAGE	004	3'-0" x 7'-0" x 1 3/4"	1	HM	--	A	HM	--	H2/A501	J2/A501	--	--	X	--	X	X	--	--	--	--	--	--	X	1.5	--	--	X	--	--	3	X	--	X	--	X	--	--	
ELETRICAL ROOM	005	3'-0" x 7'-0" x 1 3/4"	1	HM	--	A	HM	--	H2/A501	J2/A501	--	--	X	--	X	X	--	--	--	--	--	--	X	1.5	X	--	X	--	--	3	--	--	X	--	--	--	X	
HALLWAY	006	3'-0" x 7'-0" x 1 3/4"	EX	--	--	EX	--	--	EX	EX	--	--	--	--	EX	EX	--	--	X	--	--	--	--	EX	--	--	--	--	--	EX	EX	--	--	--	--	--	--	
DRY STORAGE	007	3'-0" x 7'-0" x 1 3/4" PR	1	HM	--	A	HM	--	H1/A501	J1/A501	--	--	--	--	X	X	--	--	--	--	X	--	--	3	--	--	X	--	--	2	X	--	--	--	--	X	--	
OFFICE	008	3'-0" x 7'-0" x 1 3/4"	3	HM	T	A	HM	--	H1/A501	J1/A501	--	--	--	--	X	X	--	--	--	--	--	X	--	1.5	--	--	--	--	--	3	X	--	X	--	--	--	--	
STORAGE	009A	3'-0" x 7'-0" x 1 3/4"	1	HM	-	A	HM	-	H2/A501	J1/A501	--	--	X	--	X	X	--	--	--	--	--	--	X	1.5	X	--	--	--	--	3	--	--	--	--	--	--	X	
STORAGE	009B	3'-0" x 7'-0" x 1 3/4"	EX	--	--	EX	--	--	EX	EX	--	--	EX	--	EX	EX	--	--	--	--	--	--	X	EX	X	--	--	--	--	EX	--	--	--	--	--	--	X	
ELEVATOR MACHINE ROOM	011	3'-0" x 7'-0" x 1 3/4"	EX	-	--	EX	--	--	EX	EX	--	2	EX	--	EX	EX	--	--	--	--	--	--	X	EX	X	--	--	--	--	EX	--	--	--	--	--	--	X	
MISC STORAGE	012	3'-0" x 7'-0" x 1 3/4"	EX	-	--	EX	--	--	EX	EX	--	--	EX	--	--	--	--	--	--	--	--	--	X	EX	X	--	--	--	--	EX	--	--	--	--	--	--	X	
HALLWAY	013	3'-0" x 7'-0" x 1 3/4"	EX	-	--	EX	--	--	EX	EX	EX	-	EX	--	X	EX	--	--	--	--	--	--	X	EX	X	--	--	--	--	EX	--	--	EX	EX	--	--	X	
SPRINKLER ROOM	014	3'-0" x 7'-0" x 1 3/4"	1	HM	--	A	HM	--	H1/A501	J1/A501	--	2	X	--	X	X	--	--	--	--	--	--	X	1.5	--	--	--	--	--	3	X	--	--	--	--	--	--	
DINING LEVEL																																					
VESTIBULE	100A	3'-0" x 7'-0" x 1 3/4" PR	4	AL	TI	F	AL	TI	H3/A503	J3/A503	S1/A501	--	X	X	X	X	X	--	--	--	--	--	X	CONT.	X	--	--	--	--	2	--	X	--	X	--	--	X	
VESTIBULE	100B	3'-0" x 7'-0" x 1 3/4" PR	4	AL	TI	F	AL	TI	H3/A503	J3/A503	--	--	X	--	--	--	--	--	--	--	--	--	--	CONT.	--	--	--	X	X	2	--	--	--	X	--	--	--	
CORRIDOR	101	3'-0" x 7'-0" x 1 3/4" PR	2	HM	S	A	HM	--	H1/A501	J1/A501	--	2	X	X	X	X	--	--	--	--	--	--	X	3	X	X	X	--	--	2	--	X	X	--	--	--	X	
SOUTH WEST STAIR	105A	3'-0" x 7'-0" x 1 3/4"	2	HM	S	A	HM	--	H1/A501	J1/A501	--	--	X	X	X	X	--	--	--	--	--	--	X	1.5	X	--	X	--	--	3	--	--	X	--	--	--	X	
SOUTH WEST STAIR	105B	3'-0" x 7'-0" x 1 3/4"	2	HM	S	A	HM	--	H1/A501	J1/A501	--	--	X	X	X	X	--	--	--	--	--	--	X	1.5	X	--	X	--	--	3	--	--	X	--	--	--	X	
OFFICE	106A	3'-0" x 7'-0" x 1 3/4"	3	HM	T	A	HM	--	H1/A501	J1/A501	--	--	--	--	X	X	--	--	--	--	--	--	X	1.5	X	--	--	--	--	3	--	--	X	--	--	--	X	
OFFICE	106B	3'-0" x 7'-0" x 1 3/4"	3	HM	T	A	HM	--	H1/A501	J1/A501	--	--	--	--	X	X	--	--	--	--	--	--	X	1.5	X	--	--	--	--	3	--	--	X	--	--	--	X	
ELECTRICAL ROOM	112	3'-0" x 7'-0" x 1 3/4"	1	HM	--	A	HM	--	H1/A501	J1/A501	--	--	X	--	X	X	--	X	--	--	--	--	X	1.5	--	--	--	--	--	3	X	--	--	--	--	--	--	
HALLWAY	113	3'-0" x 7'-0" x 1 3/4"	2	HM	T	A	HM	--	H1/A501	J1/A501	--	--	X	--	X	X	--	--	X	--	--	--	X	1.5	--	--	X	--	--	3	X	--	X	--	--	--	--	
JANITORS CLOSET	114	3'-0" x 7'-0" x 1 3/4"	1	HM	--	A	HM	--	H1/A501	J1/A501	--	--	--	--	X	X	--	--	--	X	--	--	--	1.5	--	--	X	--	--	3	X	--	X	--	--	--	--	
STORAGE	115	4'-0" x 7'-0" x 1 3/4"	2	HM	T	A	HM	--	H1/A501	J1/A501	--	--	X	--	X	X	--	--	--	--	X	--	--	1.5	--	--	X	--	--	3	X	--	X	--	--	--	--	
CORRIDOR	118	3'-0" x 7'-0" x 1 3/4" PR	4	AL	TI	F	AL	TI	H3/A503	J3/A503	S1/A501	--	X	X	X	X	--	--	--	X	--	--	--	CONT.	--	--	--	--	--	2	X	X	--	X	--	--	--	

DOOR SCHEDULE NOTES:

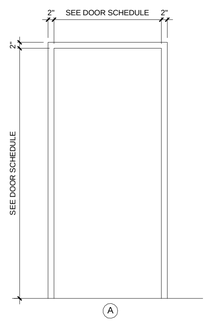
X = NEW ITEM, REPLACE EXISTING ITEMS WHERE NOTED AT EXISTING CONDITIONS
EX = EXISTING ITEM TO REMAIN. GC SHALL VERIFY ALL EXISTING CONDITIONS AND CONFIRM WORKING ORDER

T = TEMPERED GLAZING
TI = TEMPERED & INSULATED GLAZING
S = SAFETY / FIRE GLASS

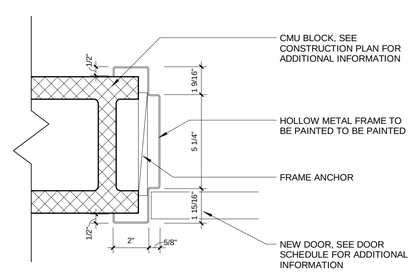
WHERE NOTED WITH TOP & BOTTOM BOLTS, BOLTS SHALL BE PROVIDED ON INACTIVE LEAF WITH DUMMY LEVER AND ACTIVE LEAF LATCHING INTO INACTIVE DOOR.



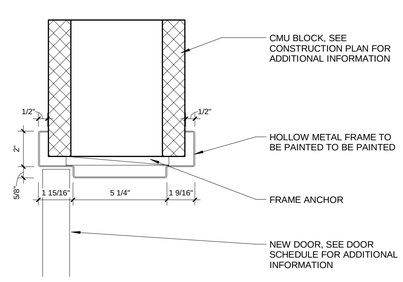
S1 SADDLE DETAIL
3" = 1'-0"



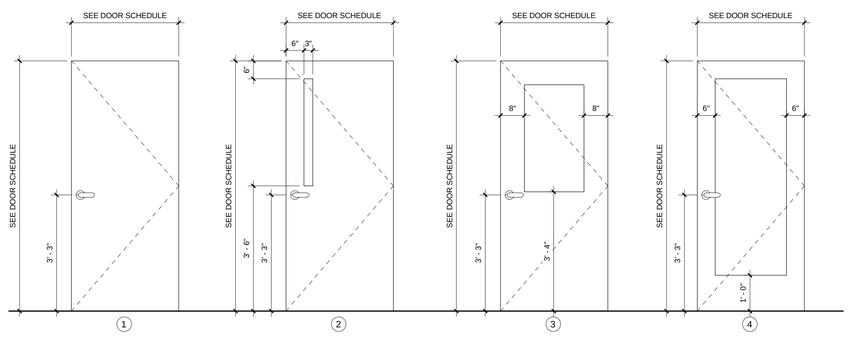
2 FRAME ELEVATIONS
1/2" = 1'-0"



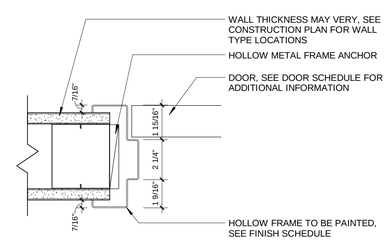
J2 ALUM STOREFRONT INTERIOR (JAMB)
3" = 1'-0"



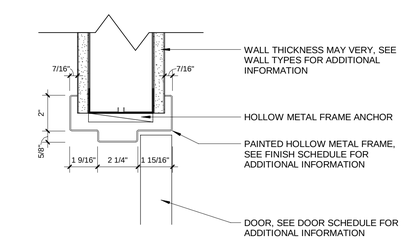
H2 ALUM STOREFRONT INTERIOR (SILL)
3" = 1'-0"



1 DOOR ELEVATIONS
1/2" = 1'-0"



J1 TYP. INTERIOR DOOR JAMB
3" = 1'-0"



H1 INTERIOR DOOR HEAD DETAIL
3" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS		
NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
DOOR SCHEDULE

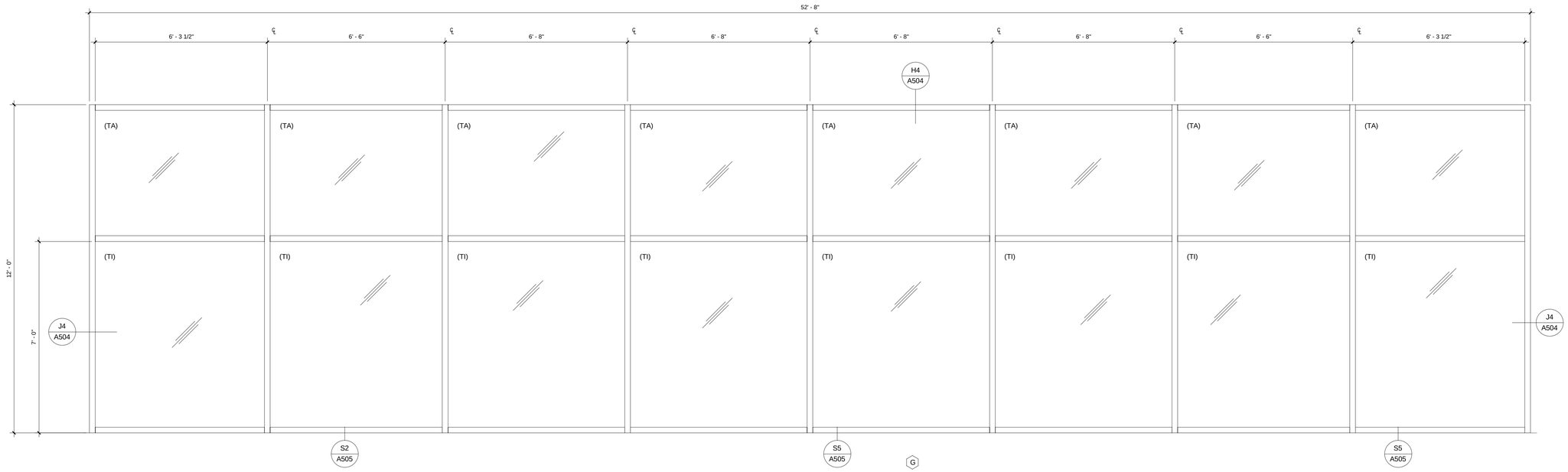
DRAWING NO.
A501

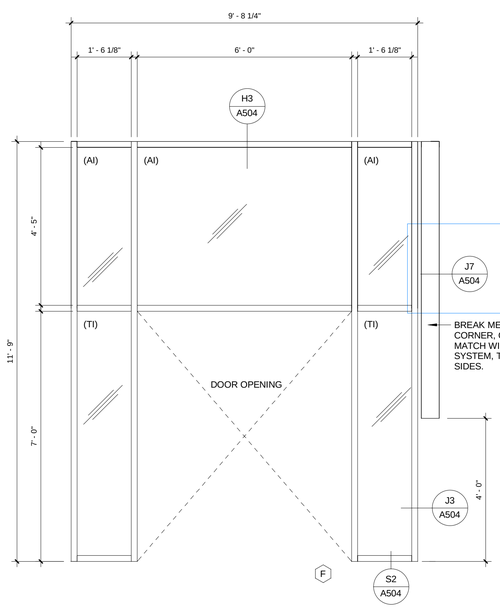
Plot Date: 2/20/2018 5:33:46 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

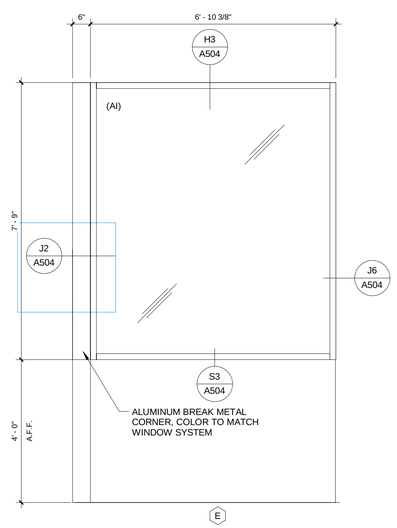
GLAZING TYPES

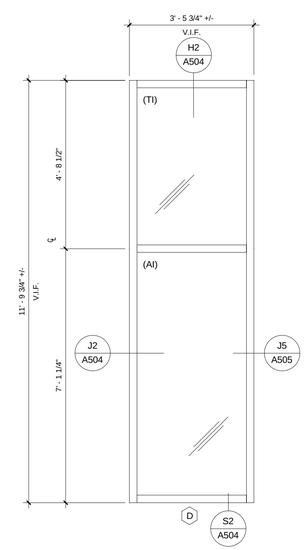
1. ALL EXTERIOR GLAZING IS TO BE 1" INSULATED TEMPERED GLAZING.
2. ALL INTERIOR GLAZING IS TO BE 1/4" ANNEALED TEMPERED GLAZING.

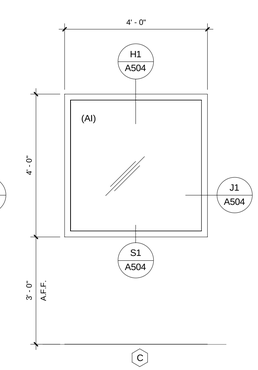
A = 1/4" ANNEALED
T = 1/4" TEMPERED GLASS
AI - 1" ANNEALED INSULATED WITH LOW E
TI = 1" TEMPERED INSULATED WITH LOW E

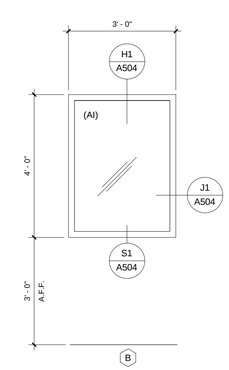


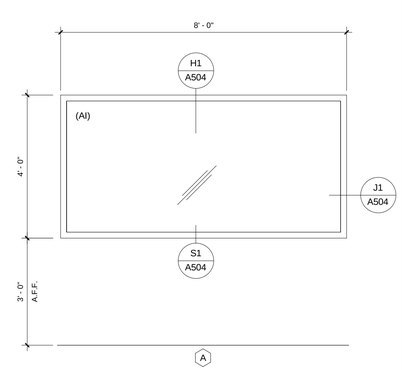












CURTAIN WALL SYSTEM ELEVATIONS I
1/2" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

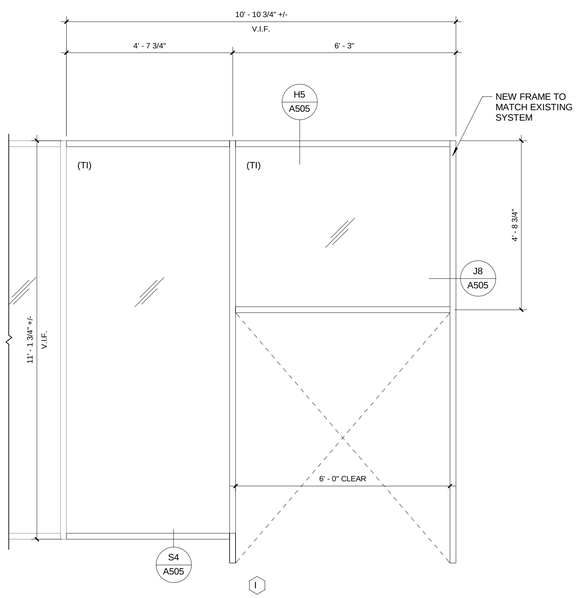
ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

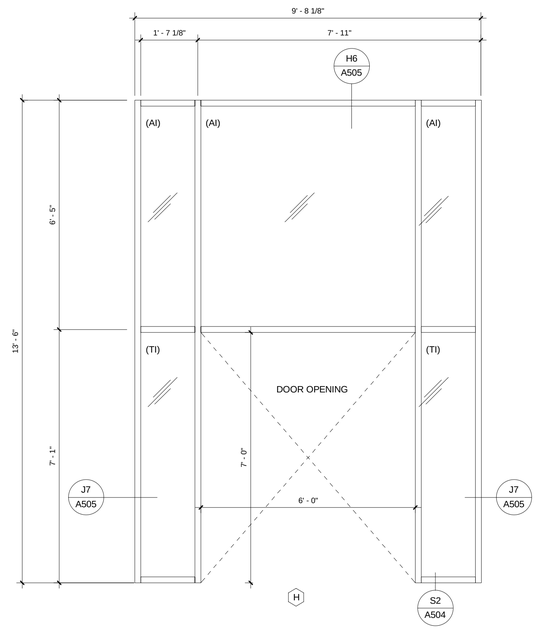
DRAWING NAME:
ALUMINUM FRAME ELEVATIONS I

DRAWING NO.
A502

Plot Date: 2/20/2018 5:33:49 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



2 CURTAIN WALL ELEVATION I
1/2" = 1'-0"



1 CURTAIN WALL ELEVATION H
1/2" = 1'-0"

ARCHITECT:

PHASE ZERO DESIGN

8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:

chartwells
where hungry minds gather

www.chartwellshighered.com

OWNER:

Purchase College
STATE UNIVERSITY OF NEW YORK

www.purchase.edu

CONSULTANT:

PROJECT:

SUNY PURCHASE COLLEGE

CAFE ADDITION AND RENOVATION

735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID

ISSUED DATE: 02.16.2018

DRAWN BY: JW

CHECKED BY: CM

PROJECT NUMBER: 1517347

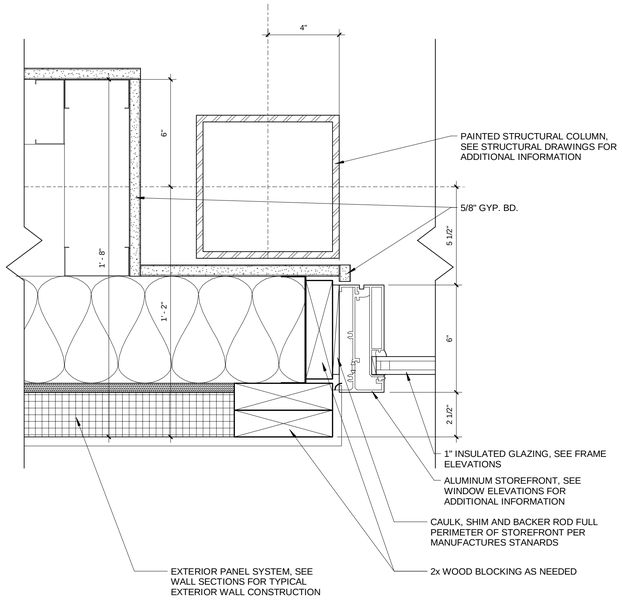
DRAWING NAME:

ALUMINUM FRAME ELEVATIONS II

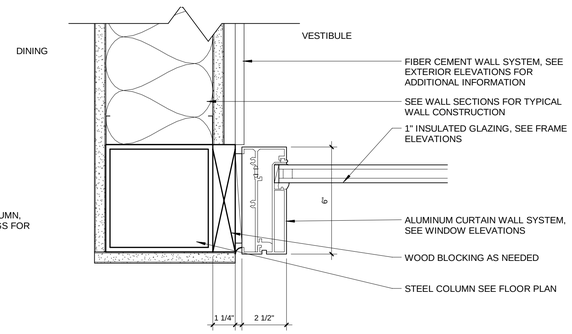
DRAWING NO.

A503

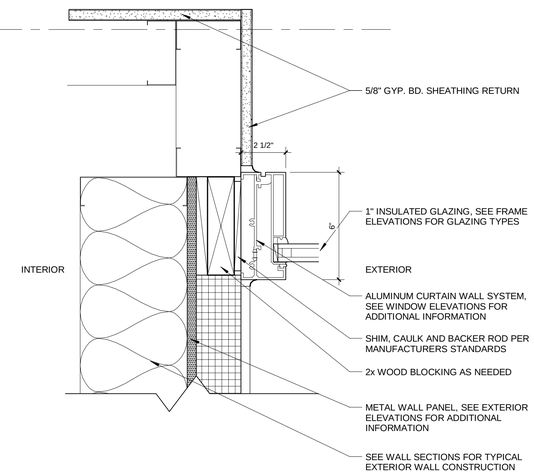
Plot Date: 2/20/2018 5:33:50 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



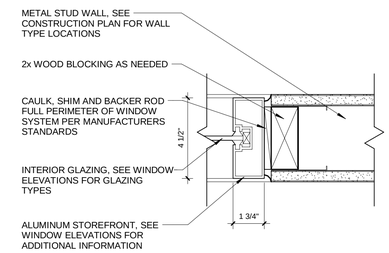
J4 ALUMINUM WINDOW JAMB DETAIL
3" = 1'-0"



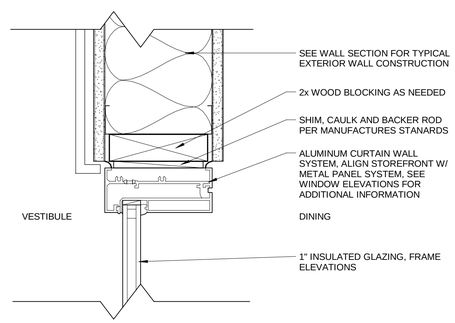
J3 ALUMINUM WINDOW JAMB DETAIL
3" = 1'-0"



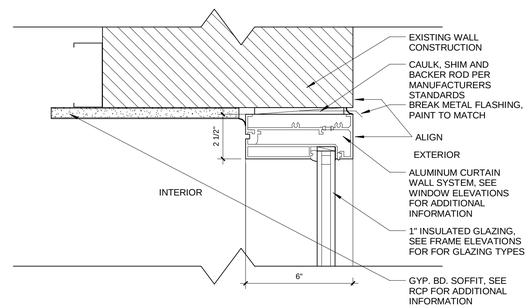
J2 ALUMINUM WINDOW JAMB DETAIL
3" = 1'-0"



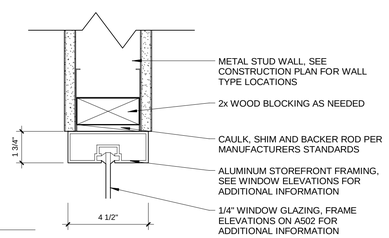
J1 TYP. INTERIOR STOREFRONT JAMB
3" = 1'-0"



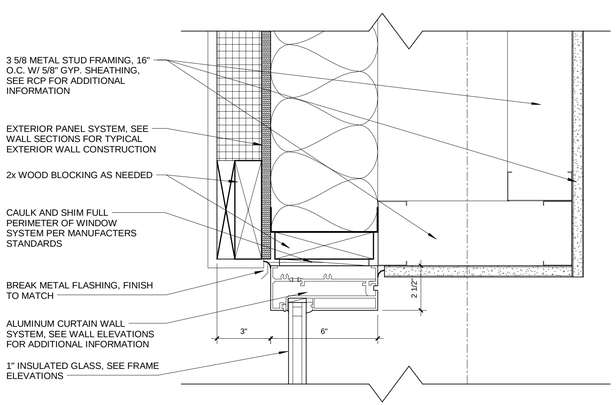
H3 H3 - WINDOW HEAD
3" = 1'-0"



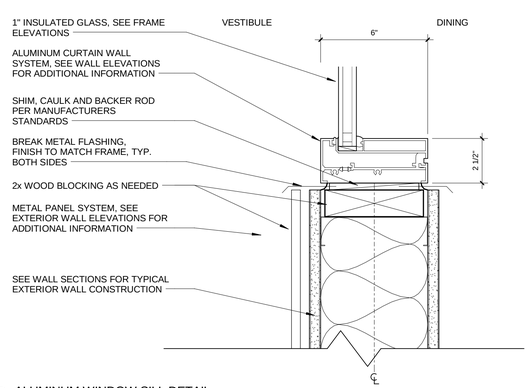
H2 ALUMINUM WINDOW HEAD DETAIL
3" = 1'-0"



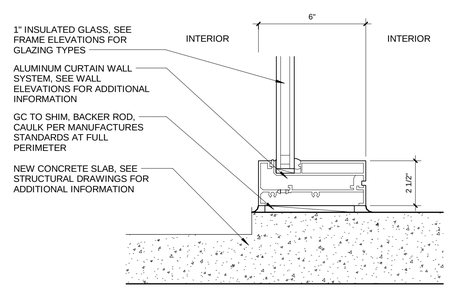
H1 TYP. INTERIOR STOREFRONT HEAD
3" = 1'-0"



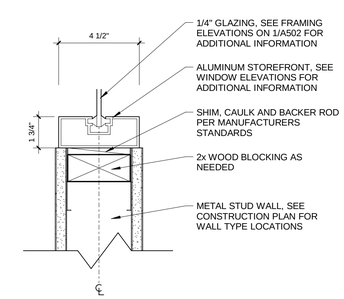
H4 ALUMINUM WINDOW HEAD DETAIL
3" = 1'-0"



S3 ALUMINUM WINDOW SILL DETAIL
3" = 1'-0"



S2 ALUMINUM WINDOW SILL DETAIL
3" = 1'-0"



S1 TYP. INTERIOR STOREFRONT SILL
3" = 1'-0"

Plot Date: 2/20/2018 5:33:54 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

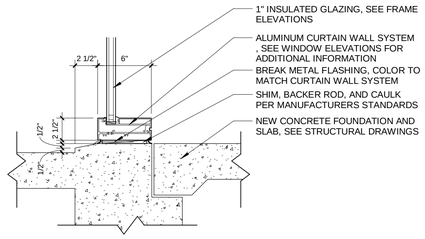
SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

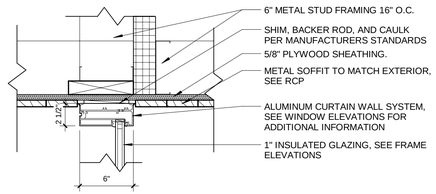
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

DRAWING NAME:
ALUMINUM FRAME DETAILS I

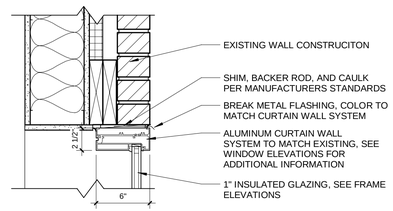
DRAWING NO.
A504



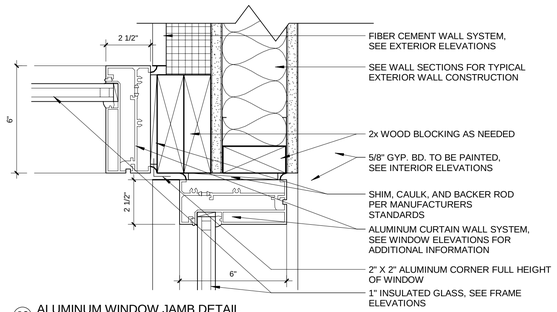
2 ALUMINUM WINDOW SILL DETAIL
1 1/2" = 1'-0"



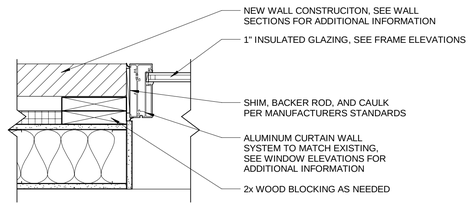
H6 ALUMINUM WINDOW HEAD DETAIL
1 1/2" = 1'-0"



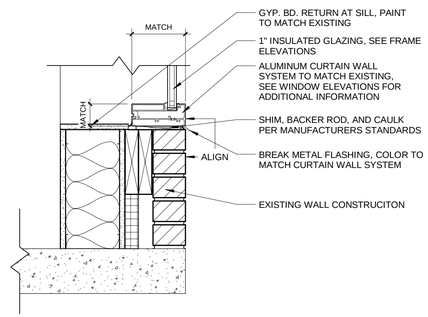
H5 ALUMINUM WINDOW HEAD DETAIL
1 1/2" = 1'-0"



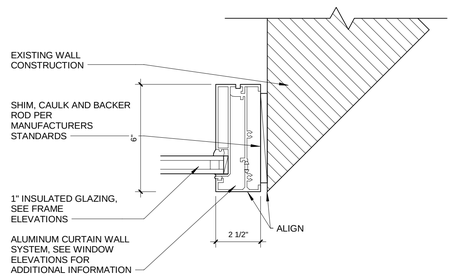
J6 ALUMINUM WINDOW JAMB DETAIL
3" = 1'-0"



J8 ALUMINUM WINDOW JAMB DETAIL
1 1/2" = 1'-0"



1 ALUMINUM WINDOW SILL DETAIL
1 1/2" = 1'-0"



J5 ALUMINUM WINDOW JAMB DETAIL
3" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

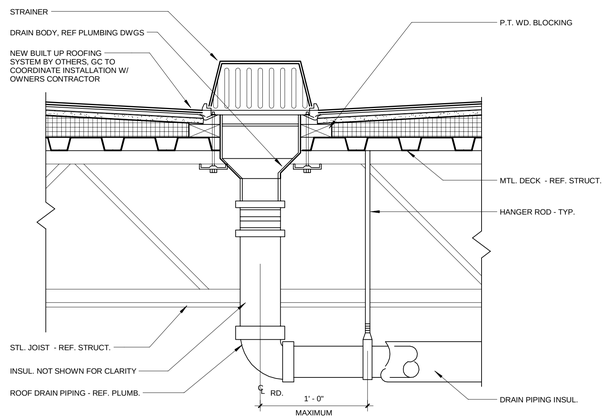
SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

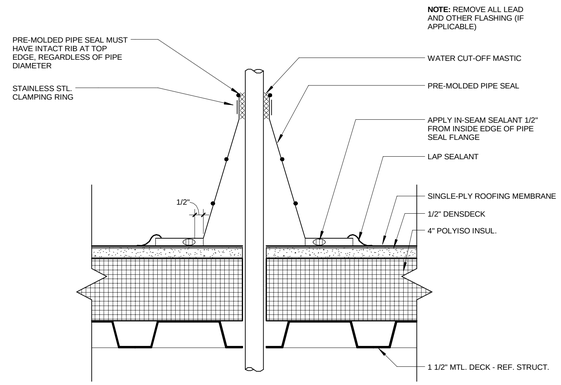
DRAWING NAME:
ALUMINUM FRAME DETAILS II

DRAWING NO.
A505

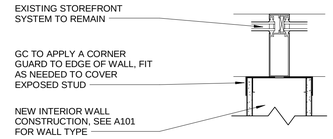
Plot Date: 2/20/2018 5:33:56 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt



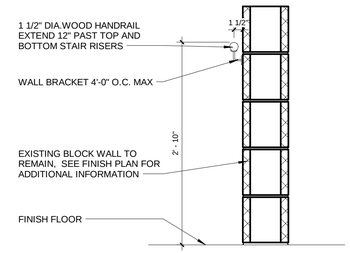
5 ROOF DRAIN
1 1/2" = 1'-0"



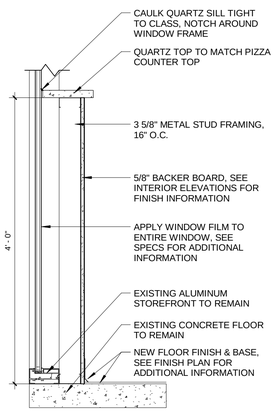
4 ROOF DTL - VENT PIPE (N.I.C. FOR REF ONLY)
3" = 1'-0"



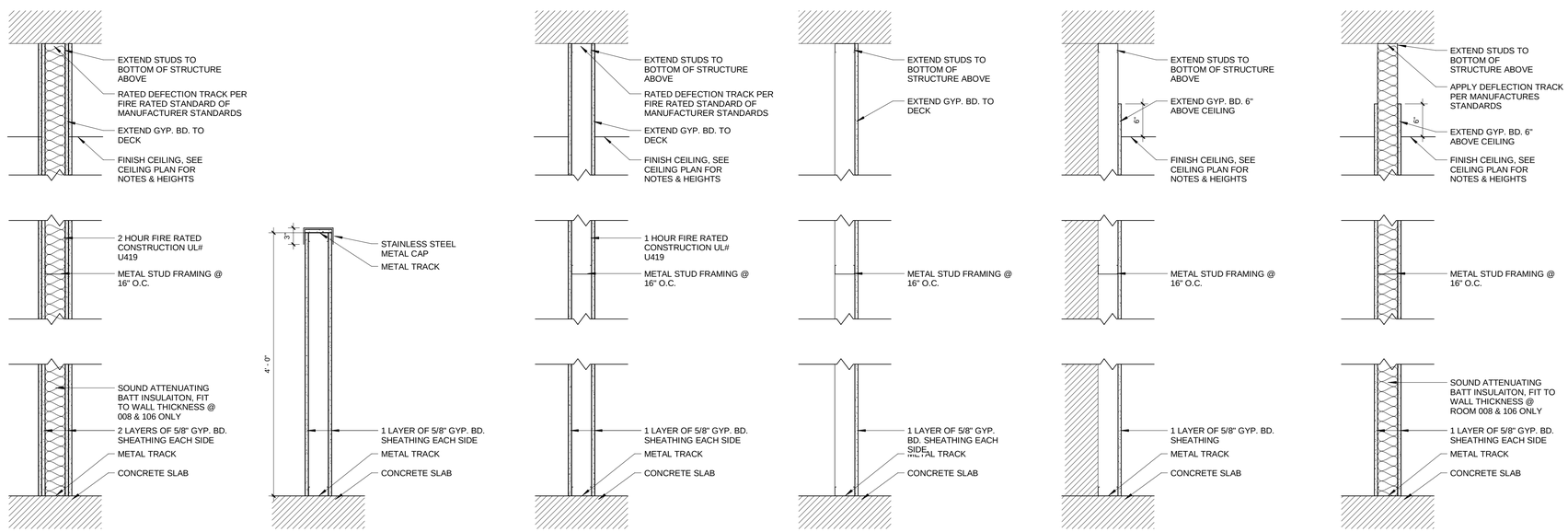
6 WALL @ WINDOW MULLION
1 1/2" = 1'-0"



3 RAILING
1" = 1'-0"



2 WALL @ WINDOW DETAIL
1" = 1'-0"



NOTES:
1. SEE FINISH SCHEDULE FOR WALL BASE INFORMATION.
2. PROVIDE MOISTURE RESISTANT GYP. BD. AT BATHROOM, KITCHEN, AND WET WALL LOCATIONS
3. PROVIDE CEMENT BACKER BOARD AT ALL TILE FINISH LOCATIONS IN LIEU OF GYP. BD.

1 WALL TYPES
1" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID
ISSUED DATE: 02.16.2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: 1517347

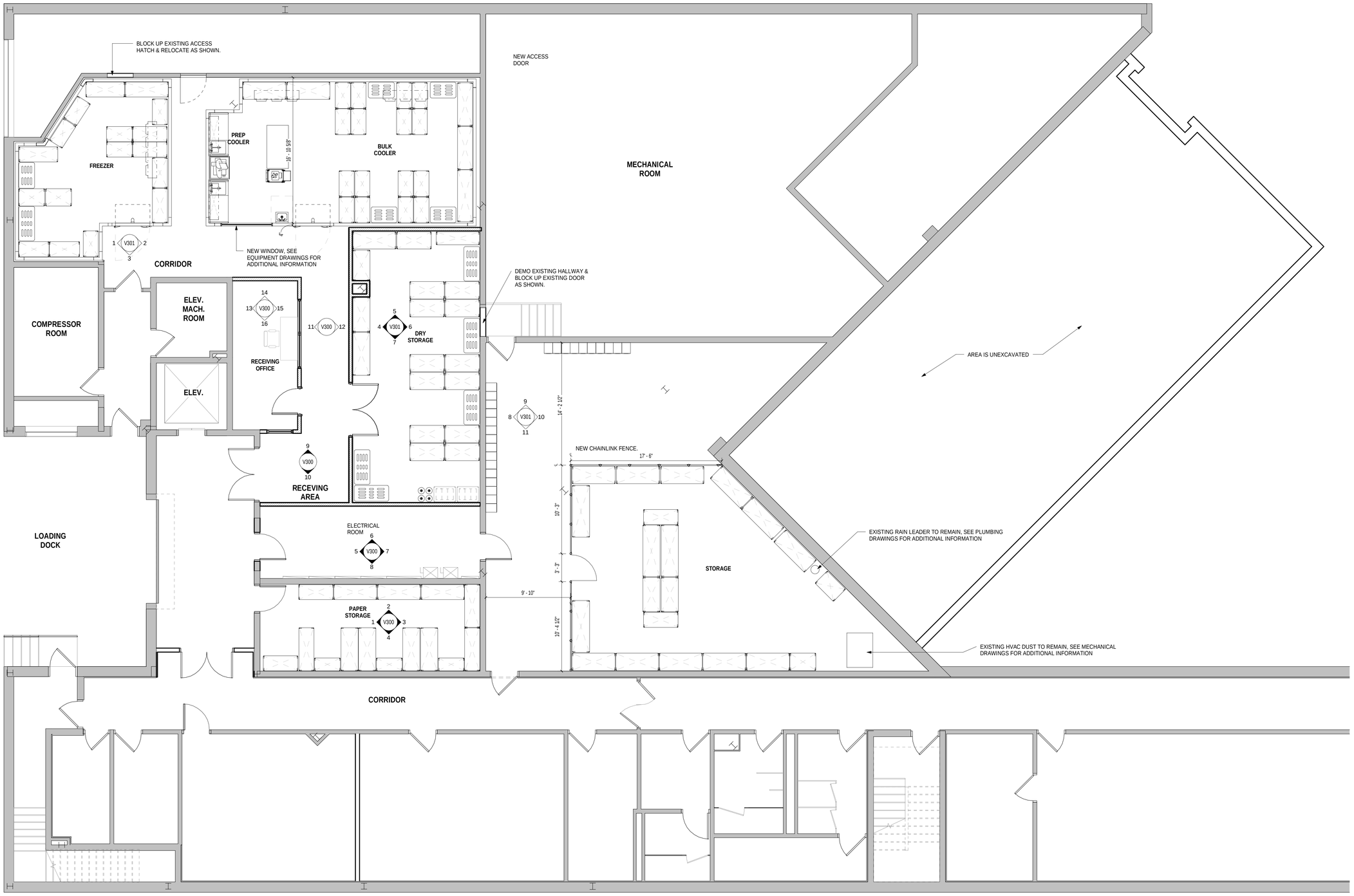
DRAWING NAME:
MISCELLANEOUS DETAILS I

DRAWING NO.
A601

Plot Date: 2/20/2018 5:33:57 PM Dwg Filename: C:\Users\j_woodworth\Documents\SUNY Purchase - Hub_j_woodworth.rvt

GENERAL ARRAGEMENT - GENERAL NOTES

1. REFERENCE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION LAYOUT PLANS.
2. SEE EQUIPMENT DRAWINGS FOR ADDITIONAL EQUIPMENT DRAWINGS (EQUIPMENT TO BE PROVIDED BY OTHERS).
3. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
4. MILLWORK TO BE PROVIDED BY OTHERS.



1 GENERAL ARRANGEMENT PLAN - BASEMENT

3/16" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

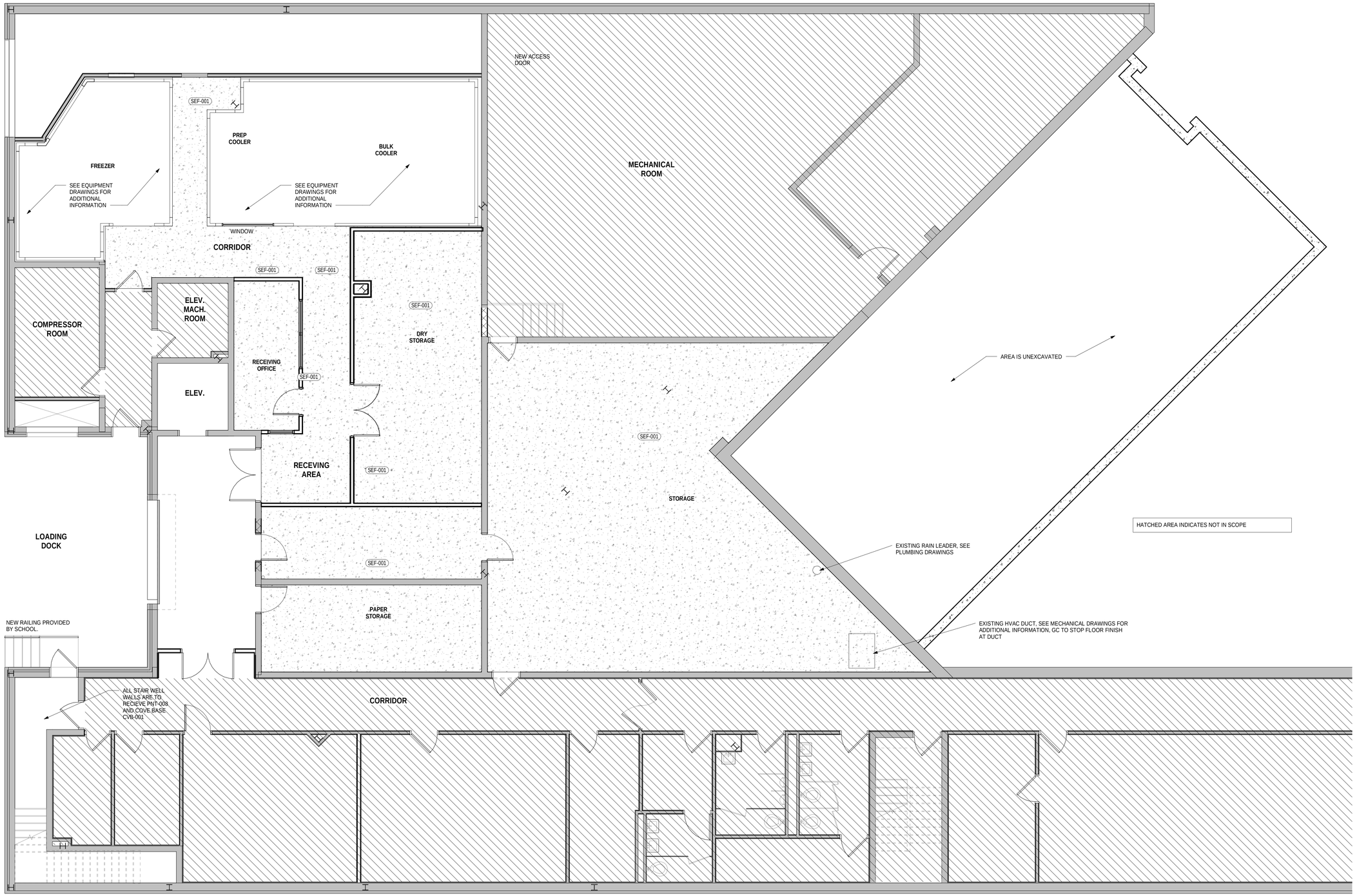
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

DRAWING NAME:
GENERAL ARRANGEMENT PLAN - BASEMENT

DRAWING NO.
V100

Plot Date: 2/20/2018 5:18:03 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



1 **FLOOR FINISH PLAN - BASEMENT**
3/16" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
820 Fairview Ave, Suite 100, Charlotte, NC 28203
P 704 409 0101 F 704 993 0100 • VISIONBUILDERSUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

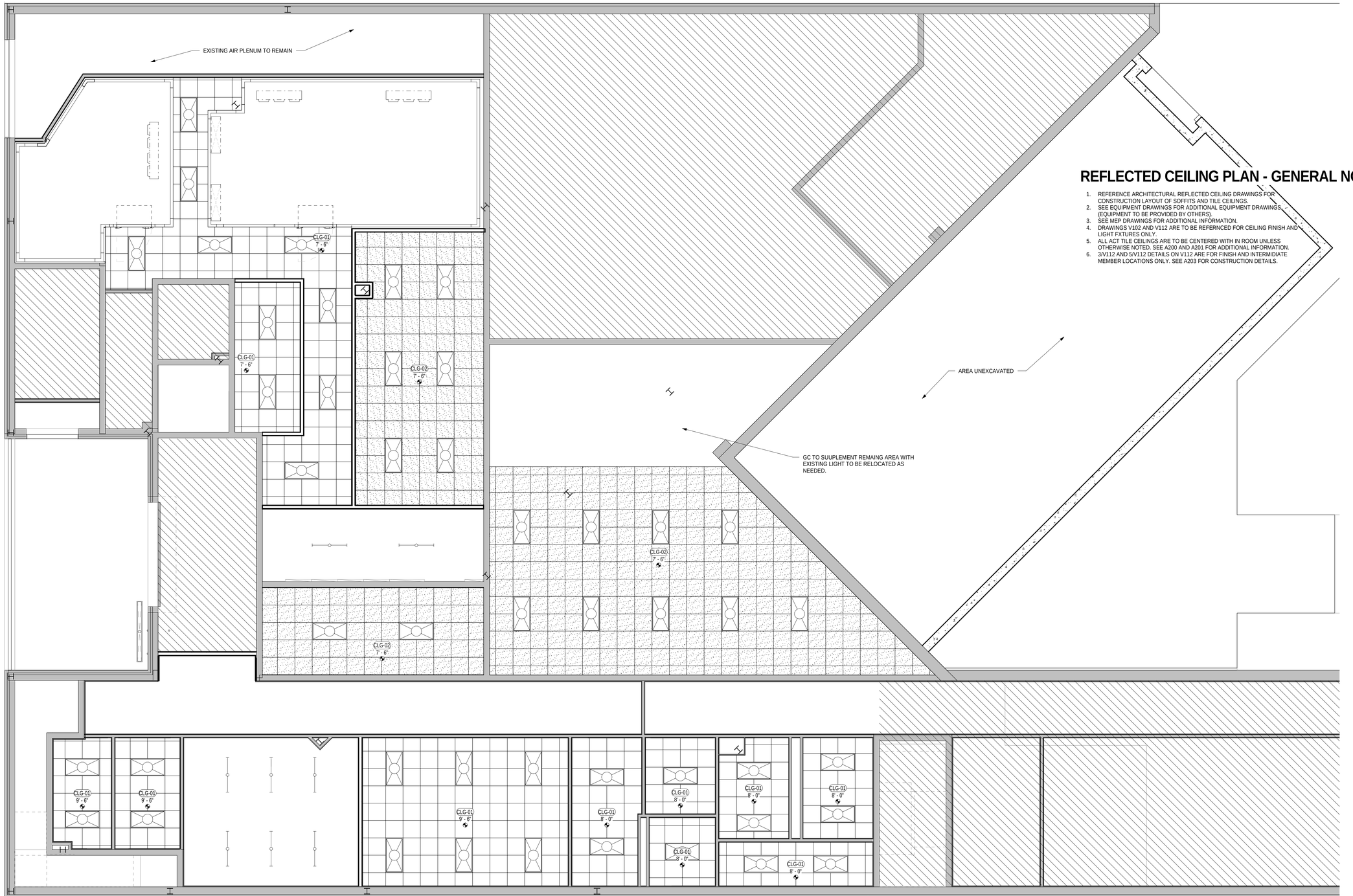
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

DRAWING NAME:
FLOOR FINISHES PLAN - BASEMENT

DRAWING NO.
V101

Plot Date: 2/20/2018 5:18:07 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



REFLECTED CEILING PLAN - GENERAL NOTES

1. REFERENCE ARCHITECTURAL REFLECTED CEILING DRAWINGS FOR CONSTRUCTION LAYOUT OF SOFFITS AND TILE CEILINGS.
2. SEE EQUIPMENT DRAWINGS FOR ADDITIONAL EQUIPMENT DRAWINGS (EQUIPMENT TO BE PROVIDED BY OTHERS).
3. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
4. DRAWINGS V102 AND V112 ARE TO BE REFERNCED FOR CEILING FINISH AND LIGHT FXTURES ONLY.
5. ALL ACT TILE CEILINGS ARE TO BE CENTERED WITH IN ROOM UNLESS OTHERWISE NOTED. SEE A200 AND A201 FOR ADDITIONAL INFORMATION.
6. 3/V112 AND 5/V112 DETAILS ON V112 ARE FOR FINISH AND INTERMIDIATE MEMBER LOCATIONS ONLY. SEE A203 FOR CONSTRUCTION DETAILS.

1 **REFLECTED CEILING PLAN - BASEMENT**
3/16" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
MEP ENGINEERS
820 Fairview Ave, Suite 100, Charlotte, NC 28203
P 704 409 0101 F 704 409 0106 • VISIONBUILDERSUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

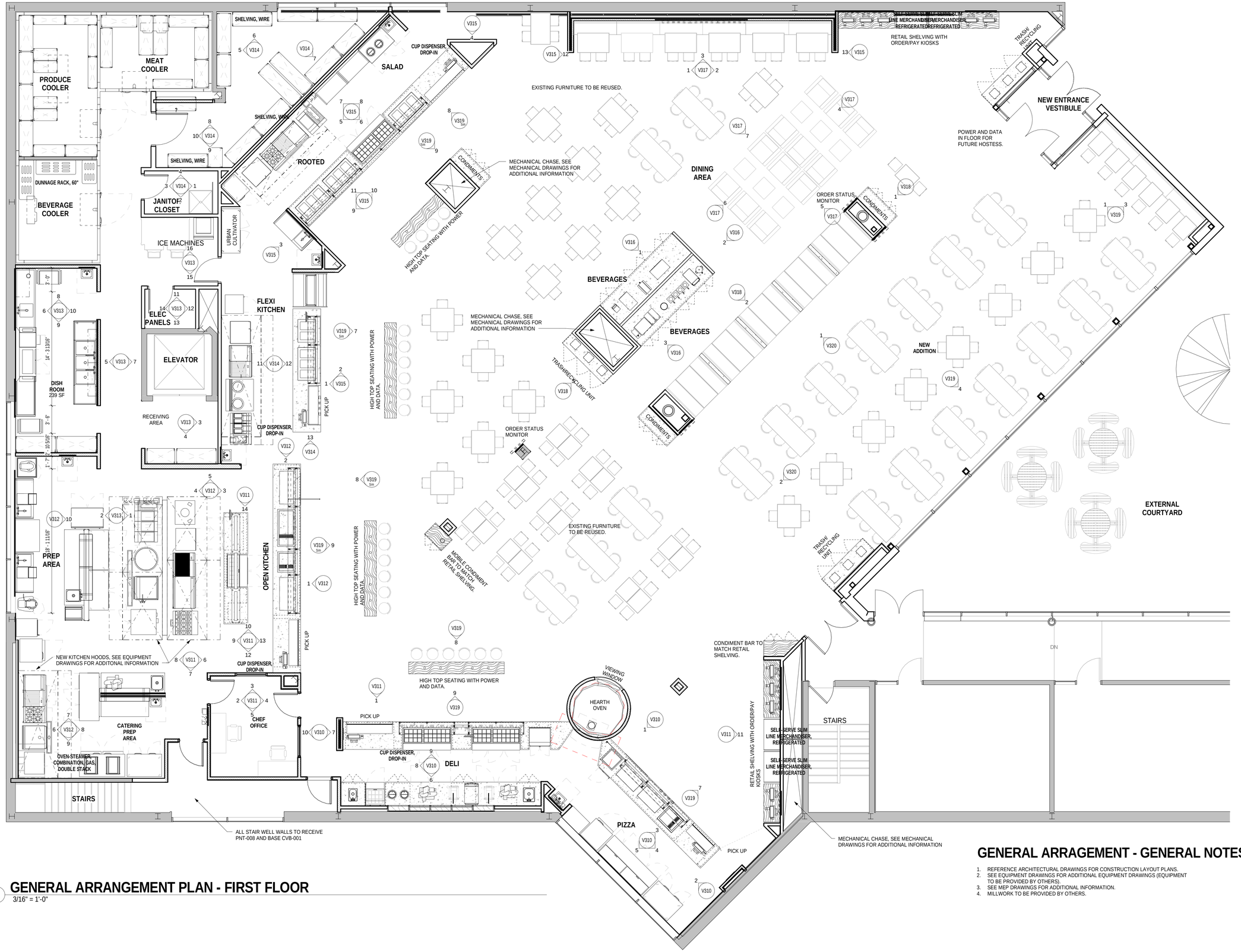
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

DRAWING NAME:
REFLECTED CEILING PLAN - BASEMENT

DRAWING NO.
V102

Plot Date: 2/20/2018 5:18:12 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



1 GENERAL ARRANGEMENT PLAN - FIRST FLOOR

3/16" = 1'-0"

GENERAL ARRAGEMENT - GENERAL NOTES

1. REFERENCE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION LAYOUT PLANS.
2. SEE EQUIPMENT DRAWINGS FOR ADDITIONAL EQUIPMENT DRAWINGS (EQUIPMENT TO BE PROVIDED BY OTHERS).
3. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
4. MILLWORK TO BE PROVIDED BY OTHERS.

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

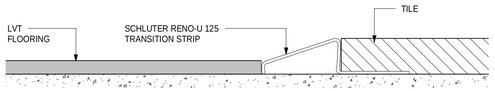
SEAL:

ISSUED FOR: BID
ISSUED DATE: 02/16/2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

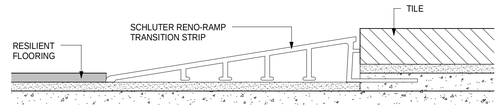
DRAWING NAME:
GENERAL ARRANGEMENT PLAN - FIRST FLOOR

DRAWING NO.
V110

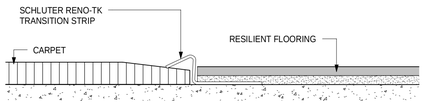
Plot Date: 2/20/2018 5:18:18 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



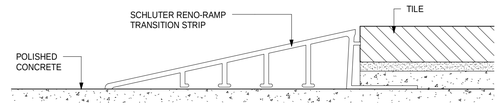
LVT / QUARRY TILE TRANSITION



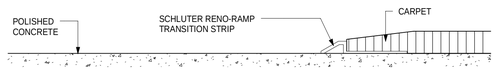
LVT / TILE TRANSITION



CARPET / LVT TRANSITION



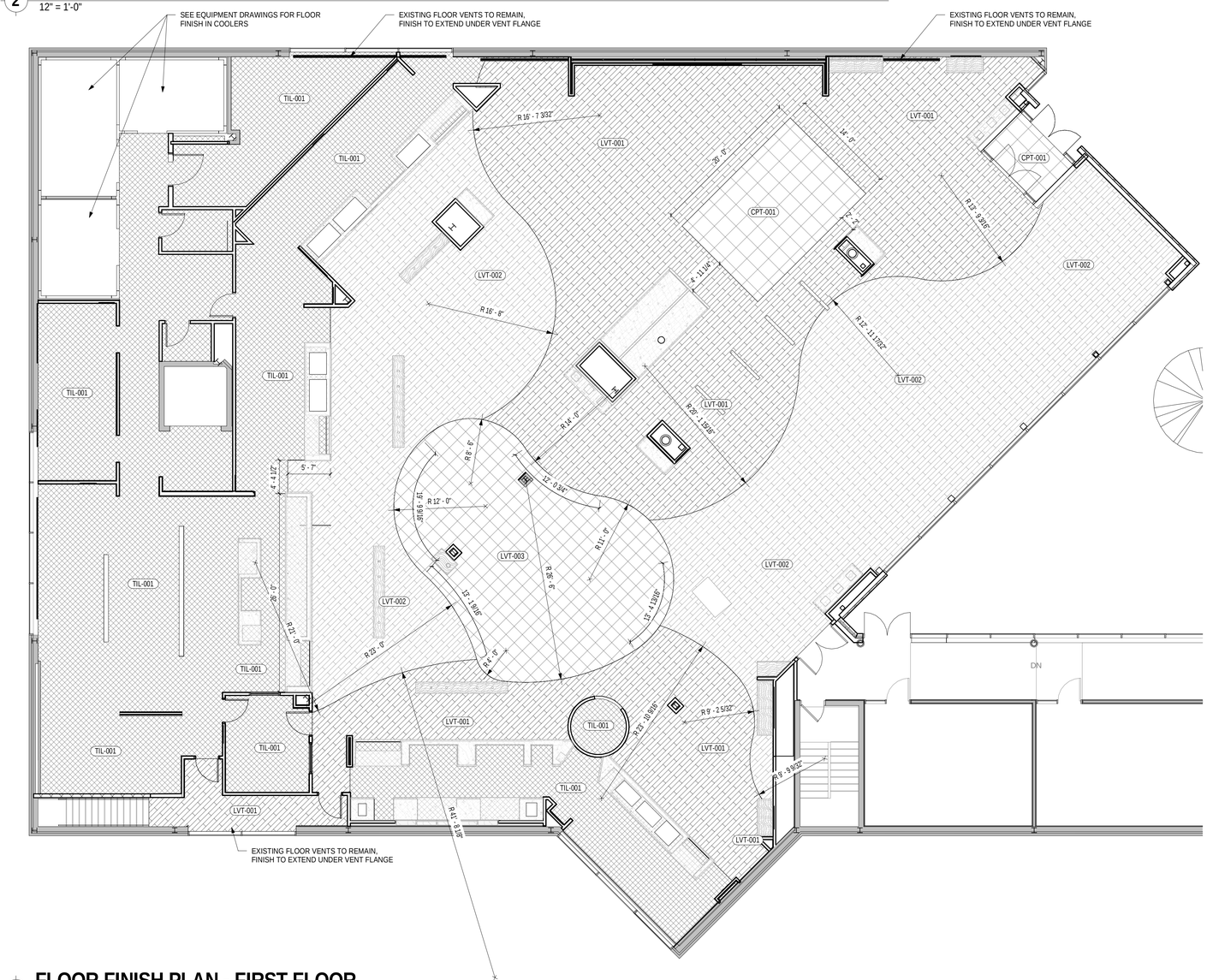
CONCRETE / TILE TRANSITION



CONCRETE / CARPET

2 FLOOR TRANSITION DETAILS - SCHULTER

12" = 1'-0"



1 FLOOR FINISH PLAN - FIRST FLOOR

1/8" = 1'-0"

FINISH MATERIAL LIST

TAG	MODEL	MANUFACTURER	URL	COMMENTS
CARPET				
CPT-001	COLLECTION: STREET THREAD / PATTERN: TAPED OFF / COLOR: 149; TO BE INSTALLED IN A QUARTER TURNED PATTERN	MOHAWK GROUP	https://www.mohawkgroup.com/detail/Carpet/7367/127906/Taped-Off-Tile	
COVE BASE				
CVB-001	#20 CHARCOAL WALL BASE 6"	JOHNSONITE		
FABRIC				
FAB-001	CHROMA RAINSTORM #22	ARC-COM	http://www.arc-com.com/chroma/60151	
FAB-002	CHROMA CITRINE #14	ARC-COM	http://www.arc-com.com/chroma/60143	
FAB-003	CHROMA CEMENT #33	ARC-COM	http://www.arc-com.com/chroma/60162	
FIBER REINF. PLASTIC				
FRP-001	GLASBORD PEBBLES EMBOSSED FINISH 85 WHITE, CLASS A	KEMLITE		
FILM				
FIL-001	FASARA GLASS FINISHES AERINA, 50" X 98.4', JR451038087	3M	https://www.3m.com/3M/en_US/company-us/all-3m-products/~/3M-FASARA-Glass-Finishes-Aerina-50-in-x-98-4-ft?Nr=5002385+8709317+8710647+8710818+8720876+3294793443&rt=rud	TO BE APPLIED ON WINDOWS BEHIND PIZZA STATION.
GRAPHIC				
GRA-001	SHUTTERSTOCK IMAGE #199884215	VISUAL IMPRESSIONS		SAMPLE REQUIRED FOR APPROVAL
LAMINATE				
LAM-001	MISSION MAPLE 7990-38	WILSONART		
LAM-002	PALISADES OAK 7987-38	WILSONART		
LAM-003	SUNRAY - S4022T	NEVAMAR		FINISH: SUPER MATTE
LAM-004	SOLID WHITE - S7004	NEVAMAR		FINISH: SUPER MATTE
LAM-005	CARMEN RED	NEVAMAR		FINISH: GLOSS
LAM-006	FIJI - SB0300	NEVAMAR		FINISH: SUPER MATTE
LUXURY VINYL TILE				
LVT-001	WILD WALNUT AROW 7620, 6 X 36	AMTICO	https://www.amtico.com/commercial/products/product-search/AA0W7620/	
LVT-002	WORN OAK ARPW7390, 6 X 36	AMTICO	https://www.amtico.com/commercial/products/product-search/AR0W7390/	
LVT-003	GLINT ORB AROAGG11, 18 X 18	AMTICO	https://www.amtico.com/commercial/products/product-search/AR0AGG11/	
METAL				
MTL-001	HOT ROLLED STEEL	MILLWORK CONTRACTOR		
MTL-002	WELDED WIRE MESH: SQUARE OPENING	McNICHOLS	http://www.mcnichols.com/products/wire-mesh/square-opening-2/square-welded/	
SST-001	STAINLESS STEEL			16 GAUGE 304 #4 FINISH
PAINT				
PNT-001	RELAXED KHAKI 6149	SHERWIN WILLIAMS	https://www.sherwin-williams.com/homeowners/color/find-and-explore-colors/paint-colors-by-family/SW6149-relaxed-khaki#/6149/?s=coordinatingColors&p=PS0	
PNT-002	SUPERIOR BRONZE 6152	SHERWIN WILLIAMS	https://www.sherwin-williams.com/homeowners/color/find-and-explore-colors/paint-colors-by-family/SW6152-superior-bronze#/6152/?s=coordinatingColors&p=PS0	
PNT-003	BURGUNDY 6300	SHERWIN WILLIAMS	https://www.sherwin-williams.com/homeowners/color/find-and-explore-colors/paint-colors-by-family/SW6300-burgundy#/6300/?s=coordinatingColors&p=PS0	
PNT-004	BOLERO 7600	SHERWIN WILLIAMS	https://www.sherwin-williams.com/homeowners/color/find-and-explore-colors/paint-colors-by-family/SW7600-bolero#/7600/?s=coordinatingColors&p=PS0	
PNT-005	ALABASTER	SHERWIN WILLIAMS		
PNT-006	BLACK MAGIC 6991	SHERWIN WILLIAMS		APPLIED TO EXPOSED CEILING AND BEAMS.
PNT-007	ALABASTER	WOLF GORDON: SCUFF MASTER PAINT		TO MATCH SHERWIN WILLIAMS PAINT
PNT-008	RELAXED KHAKI 6149	WOLF GORDON: SCUFF MASTER PAINT	https://www.sherwin-williams.com/homeowners/color/find-and-explore-colors/paint-colors-by-family/SW6149-relaxed-khaki#/6149/?s=coordinatingColors&p=PS0	TO MATCH SHERWIN WILLIAMS PAINT
QUARRY TILE				
TIL-001	ASHEN FLASH: OT04: 6" X 6"	DALTILE	WWW.DALTILE.COM	GROUT: LATICRETE SPECTRA LOCK PRO: JOINT: 3/8" / COLOR: 35 MOCHA: COVE: Q-3565 (5" X 6") INSIDE CORNER: QB-3565 (1" X 5") OUTSIDE CORNER: QCRL-3565 (5" X 6")
QUARTZ				
QTZ-001	CALACATTA NUVO 5131	CAESARSTONE		
QTZ-002	NOUGAT 6600	CAESARSTONE		
SEAMLESS EPOXY FLOORING				
SEF-001	STONECLAD UT, PEWTER, LIGHT TEXTURE.	STONHARD	https://www.stonhard.com/products/stonclad/	SLIP RESISTANT, POURED FLOORING.
TILE				
TIL-002A	DESERT GRAY (1) X114, SEMI-GLOSS, 4 X 12 / INSTALLED IN RUNNING BOND PATTERN	DALTILE	WWW.DALTILE.COM	GROUT: LATICRETE: 88 SILVER SHADOW
TIL-002B	DESERT GRAY (1) X114, SEMI-GLOSS, 4 X 12 / INSTALLED STACKED	DALTILE	WWW.DALTILE.COM	GROUT: LATICRETE
TIL-003	FLORENTINE: CARRARA FL06, 12 X 24	DALTILE	WWW.DALTILE.COM	GROUT: LATICRETE: #03 SILK
TIL-005	MUTINA TILE: CUBE GRIGIO, 8 X 8	STONE SOURCE	WWW.DALTILE.COM	GROUT: LATICRETE: 88 SILVER SHADOW
TIL-006	MUTINA TILE: GIRA GRIGIO, 8 X 8	STONE SOURCE	WWW.DALTILE.COM	GROUT: LATICRETE: 88 SILVER SHADOW
TIL-007	VINTAGE LEATHER, TRIANGLE SHAPE, 3 X 3	FIRECLAY TILE	https://www.fireclaytile.com/tile/sizes/detail/tile-triangle-3/	GROUT: LATICRETE: TBD
TIL-008	MUTINA TILE: CUBE NERO, 8 X 8	STONE SOURCE	WWW.DALTILE.COM	GROUT: LATICRETE: 88 SILVER SHADOW
TIL-009	MUTINA TILE: GIRA NERO, 8 X 8	STONE SOURCE	WWW.DALTILE.COM	GROUT: LATICRETE: 88 SILVER SHADOW
WOOD				
WD-001	DARK WALNUT WITH CLEAR POLYURETHANE COAT	MILLWORK CONTRACTOR		SAMPLE REQUIRED FOR APPROVAL
WD-002	MAPLE WITH CLEAR POLYURETHANE COAT	MILLWORK CONTRACTOR		SAMPLE REQUIRED FOR APPROVAL
WD-003	BUTCHER BLOCK TOP	MILLWORK CONTRACTOR		SAMPLE REQUIRED FOR APPROVAL

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:

SUNY PURCHASE COLLEGE

CAFE ADDITION AND RENOVATION

735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: BID

ISSUED DATE: 02/16/2018

DRAWN BY: JW

CHECKED BY: CM

PROJECT NUMBER: CW-0205.4

DRAWING NAME:

FLOOR FINISHES PLAN - FIRST FLOOR

DRAWING NO.

V111

Plot Date: 2/20/2018 5:18:26 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt

LIGHT FIXTURE SCHEDULE

SYMBOL	TYPE	MANUFACTURER	MODEL
	PENDANT LIGHT	PABLO STUDIO	PBL-SWELL-STRING-3-MIXED-SUSP-BLACK
	PENDANT LIGHT	LIGHTYEAR	LTY-CARAVAGGIO-CAR300-BLACK WITH RED CORD
	PENDANT LIGHT	TECHLIGHTING	POWELL PENDANT: TD-SO-S-CF, SATIN NICKLE/WHITE INTERIOR
	WALL LIGHT	BARN LIGHT ELECTRIC	THE DISTRICT GOOSENECK LIGHT, BLACK 16"D
	PENDANT LIGHT	TECHLIGHTING	THE DISTRICT GOOSENECK LIGHT, WHITE 14"D
	DOWNLIGHT	NORA LIGHTING	NTS-733CL / NHR-150
	2' x 4' LAY-IN FLUORESCENT LIGHT FIXTURE	SEE SPEC	
	2' x 2' LAY-IN FLUORESCENT LIGHT FIXTURE	SEE SPEC	
	4' LINEAR LIGHT FIXTURE	SEE SPEC	
	4' LINEAR INDUSTRIAL LIGHT FIXTURE	SEE SPEC	
	6" EXTERIOR GRADE CAN LIGHT	SEE SPEC	

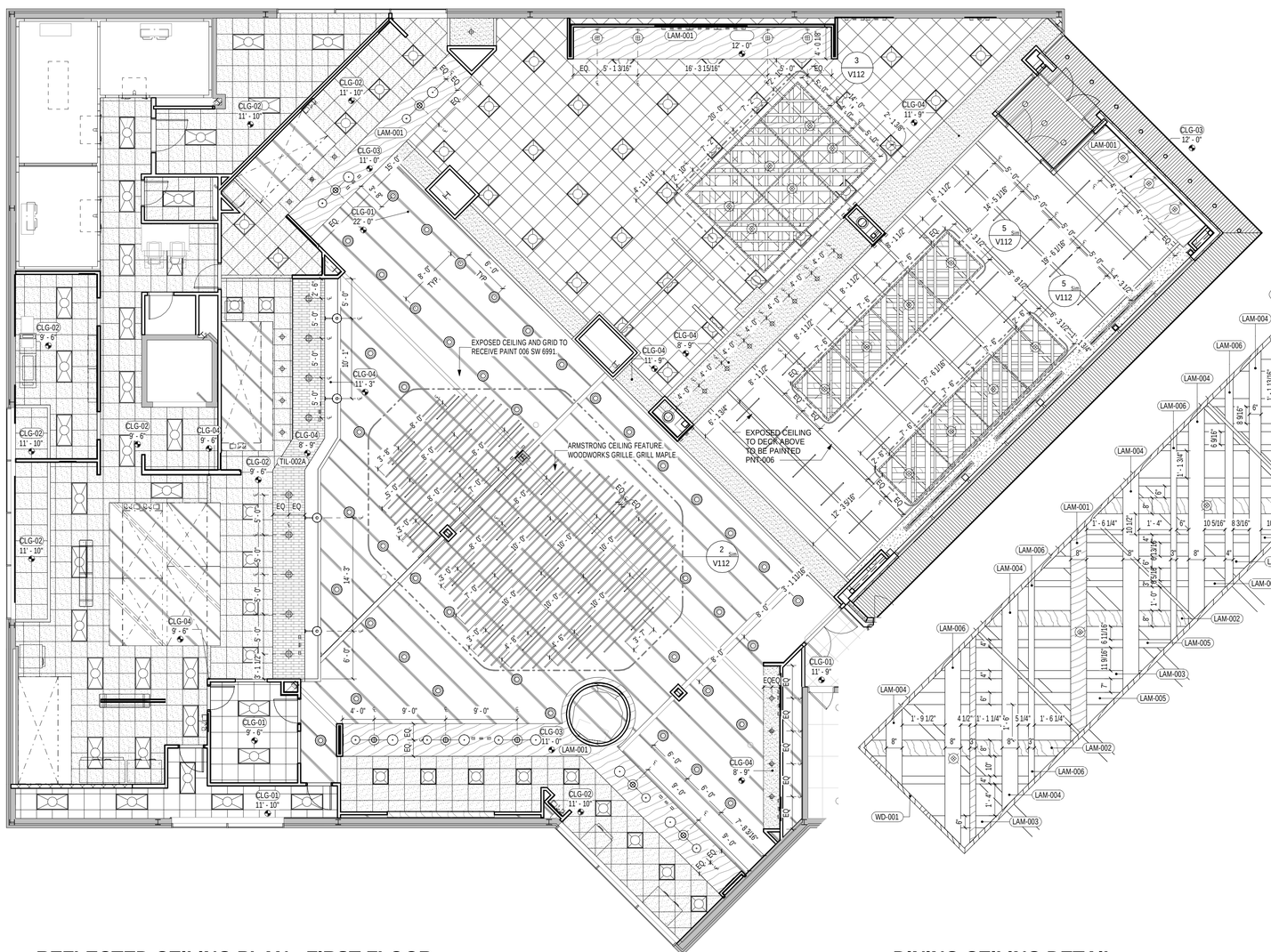
CEILING SCHEDULE

TYPE	DESCRIPTION
CLG-01	ARMSTRONG 'FINE FISSURED' SQUARE LAY-IN MEDIUM TEXTURE TILES W/ GRID, SYSTEM. COLOR - WHITE (WH)
CLG-02	ARMSTRONG 'HEALTHZONE ULTIMA' SQUARE LAY-IN FINE TEXTURE TILES W/ GRID, SYSTEM. COLOR - WHITE (WH)
CLG-03	NEW GYP. BD. SOFFIT. FINISH AS SPECIFIED.
CLG-04	NEW CEMENT BD. SOFFIT. FINISH AS SPECIFIED.

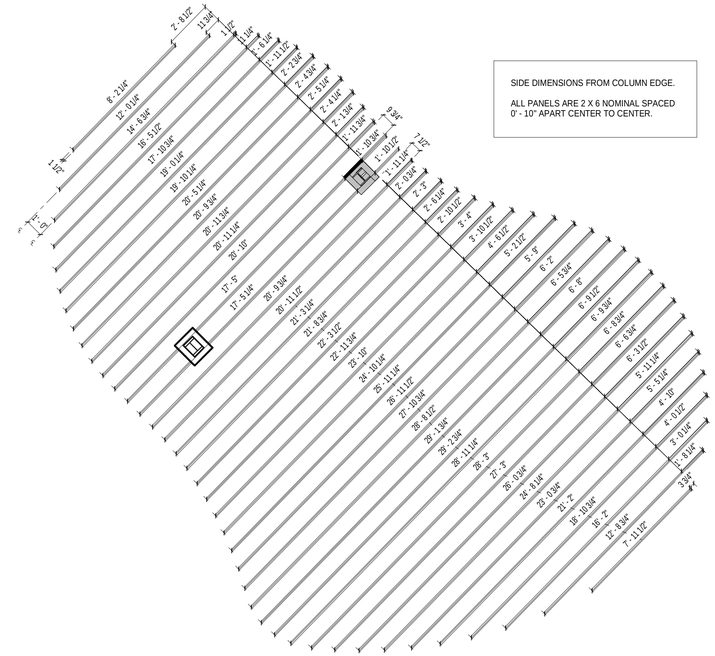
NOTE:
FIELD LIGHTING QUANTITY AND SPACING SHOULD BE DETERMINED BY A/E OF RECORD.

REFLECTED CEILING PLAN - GENERAL NOTES

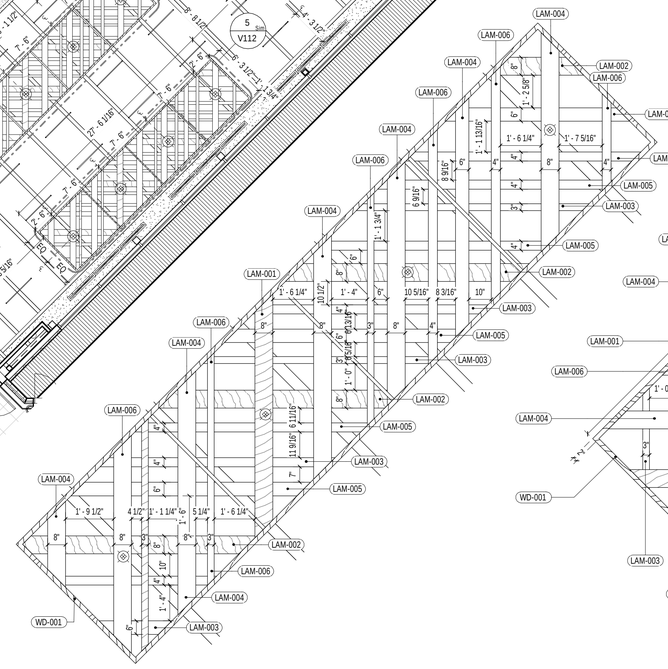
1. REFERENCE ARCHITECTURAL REFLECTED CEILING DRAWINGS FOR CONSTRUCTION LAYOUT OF SOFFITS AND TILE CEILINGS.
2. SEE EQUIPMENT DRAWINGS FOR ADDITIONAL EQUIPMENT DRAWINGS (EQUIPMENT TO BE PROVIDED BY OTHERS).
3. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
4. DRAWINGS V102 AND V112 ARE TO BE REFERNCED FOR CEILING FINISH AND LIGHT FXTURES ONLY.
5. ALL ACT TILE CEILINGS ARE TO BE CENTERED WITH IN ROOM UNLESS OTHERWISE NOTED. SEE A200 AND A201 FOR ADDITIONAL INFORMATION.
6. 3/V112 AND 5/V112 DETAILS ON V112 ARE FOR FINISH AND INTERMIDIATE MEMBER LOCATIONS ONLY. SEE A203 FOR CONSTRUCTION DETAILS.



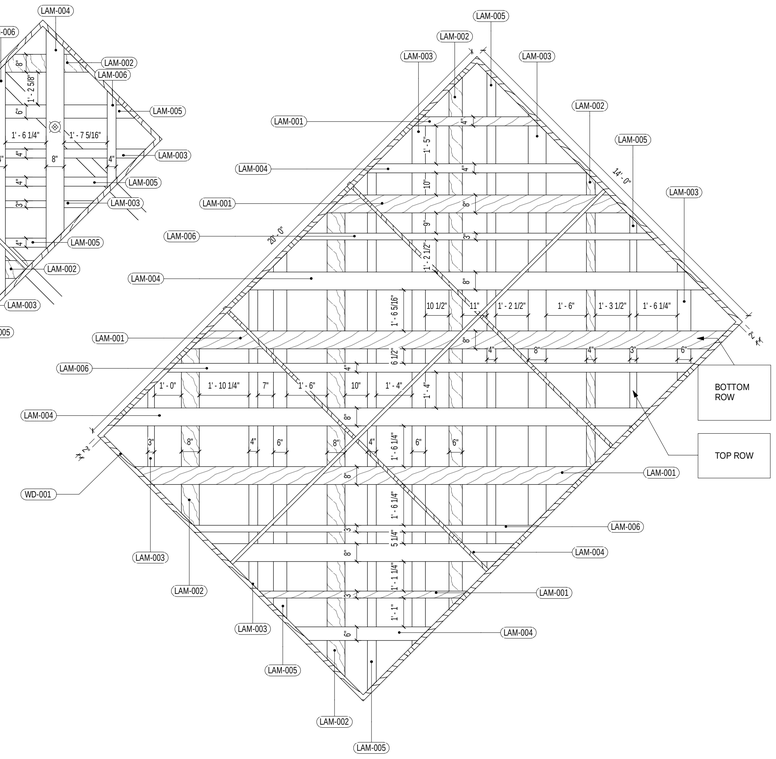
1 **REFLECTED CEILING PLAN - FIRST FLOOR**
1/8" = 1'-0"



2 **CEILING FEATURE DETAIL**
1/4" = 1'-0"



5 **DINING CEILING DETAIL**
3/8" = 1'-0"



3 **LOUNGE CEILING DETAIL**
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

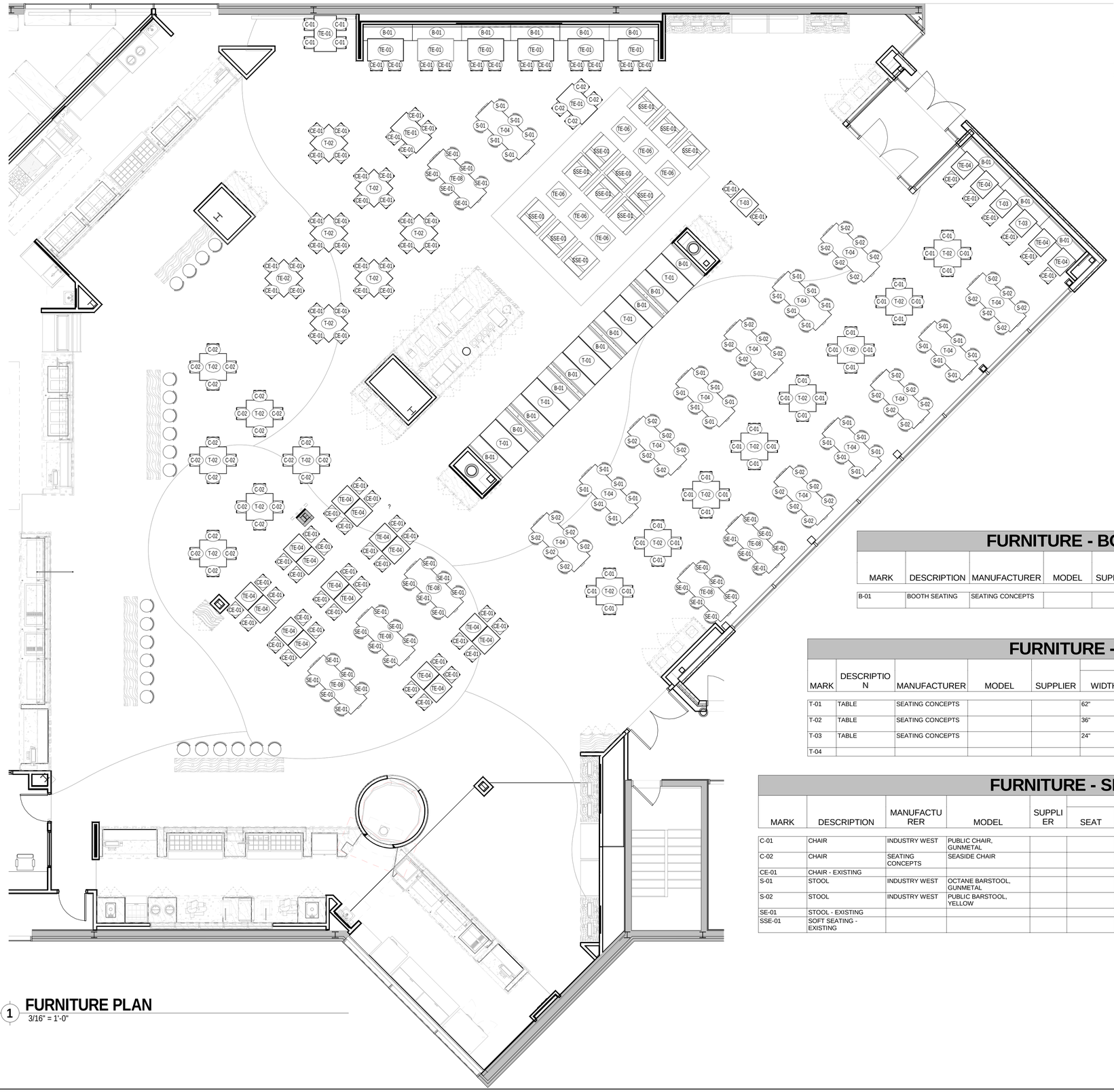
SEAL:

ISSUED FOR: BID
ISSUED DATE: 02/16/2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

DRAWING NAME:
REFLECTED CEILING PLAN - FIRST FLOOR

DRAWING NO.
V112

Plot Date: 2/20/2018 5:18:41 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



1 **FURNITURE PLAN**
3/16" = 1'-0"

FURNITURE - GENERAL NOTES

1. ALL FURNITURE IS TO BE PROVIDED BY OTHERS.
2. GC IS TO COORDINATE WITH FURNITURE VENDOR ANY ELETRICAL OR PLUMBING ROUGH INS.
3. GC IS TOO COORDINATE WITH THE OWNER THE STORAGE OF EXISTING FURNITURE TO BE REUSED.

SEATING

TYPE	COUNT
BOOTH SEATING	42
HIGH SEATING	28
HIGH SEATING - EXISTING	24
LOW SEATING	32
LOW SEATING - EXISTING	77
SOFT SEATING - EXISTING	12
NEW ADDITION	
BOOTH SEATING	6
HIGH SEATING	72
HIGH SEATING - EXISTING	12
LOW SEATING	32
LOW SEATING - EXISTING	7
	344

FURNITURE - BOOTH/BANQUET - SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL	SUPPLIER	FINISH				COUNT	COMMENTS
					SEAT	SEAT BACK	SEAT BASE	LEGS		
B-01	BOOTH SEATING	SEATING CONCEPTS							19	SEE ELEVATION FOR FABRIC LOCATIONS

FURNITURE - TABLE - SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL	SUPPLIER	DIMENSIONS				FINISH			COUNT
					WIDTH	DEPTH	HEIGHT	DIAMETER	TABLE TOP	TABLE EDGE	TABLE BASE	
T-01	TABLE	SEATING CONCEPTS			62"	30"	29"		BUTCHER BLOCK TOP	BUTCHER BLOCK	SPIDER BASE: BLACK	5
T-02	TABLE	SEATING CONCEPTS			36"	36"	29"		BUTCHER BLOCK TOP	BUTCHER BLOCK	SPIDER BASE: BLACK	20
T-03	TABLE	SEATING CONCEPTS			24"	30"	29"		BUTCHER BLOCK TOP	BUTCHER BLOCK	SPIDER BASE: BLACK	6
T-04												19

FURNITURE - SEAT - SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL	SUPPLIER	FINISH			COUNT	COMMENTS
					SEAT	SEAT BACK	CHAIR FRAME		
C-01	CHAIR	INDUSTRY WEST	PUBLIC CHAIR, GUNMETAL					36	
C-02	CHAIR	SEATING CONCEPTS	SEASIDE CHAIR					28	
CE-01	CHAIR - EXISTING							84	
S-01	STOOL	INDUSTRY WEST	OCTANE BARSTOOL, GUNMETAL					36	
S-02	STOOL	INDUSTRY WEST	PUBLIC BARSTOOL, YELLOW					42	
SE-01	STOOL - EXISTING							36	EXISTING
SSE-01	SOFT SEATING - EXISTING							12	EXISTING

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
820 Fairview Road, Suite 100, Charlotte, NC 28210
P 704 409 0101 F 704 409 0106 • VISIONBUILDERSUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

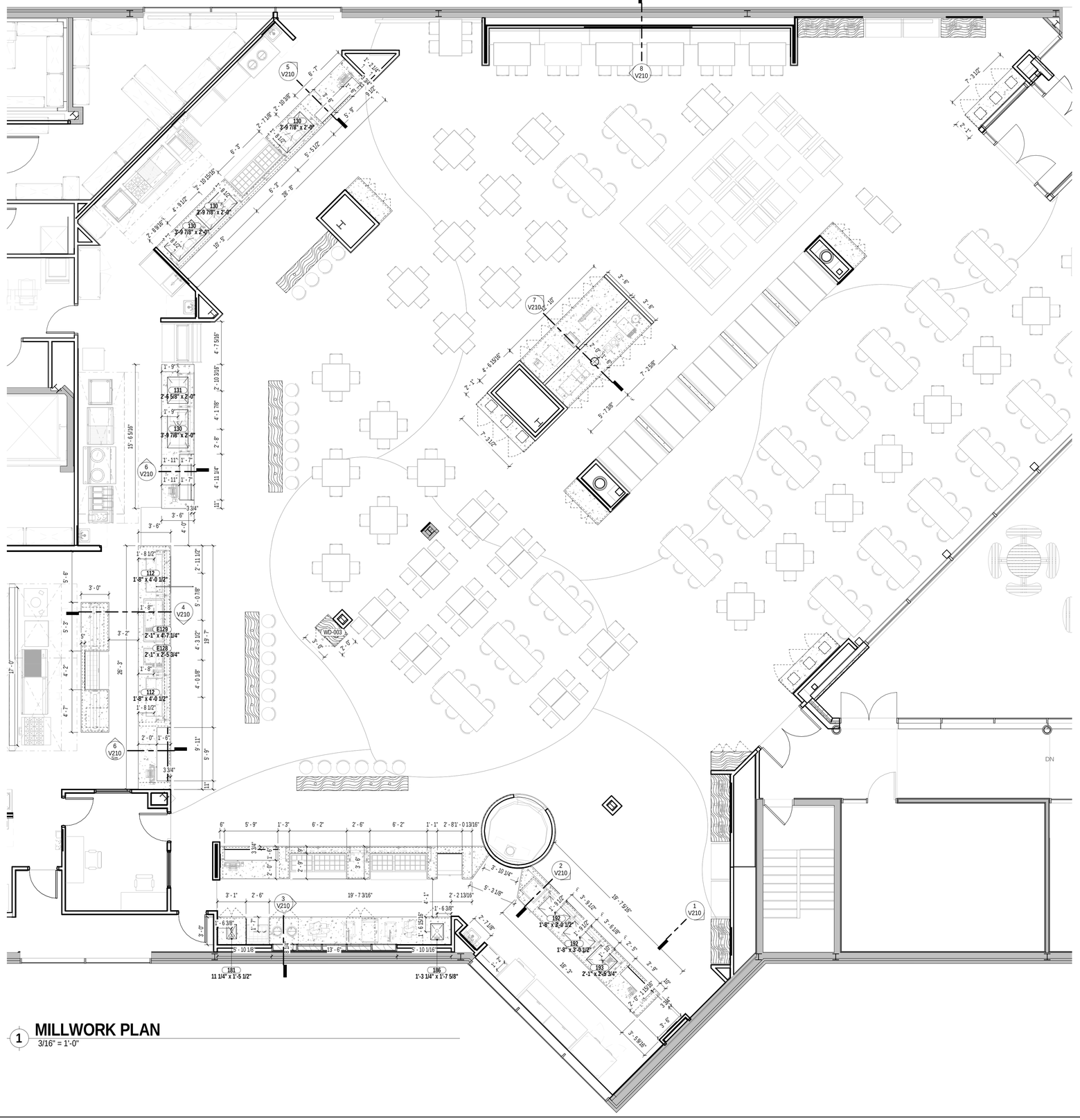
SEAL:

ISSUED FOR: BID
ISSUED DATE: 02/16/2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

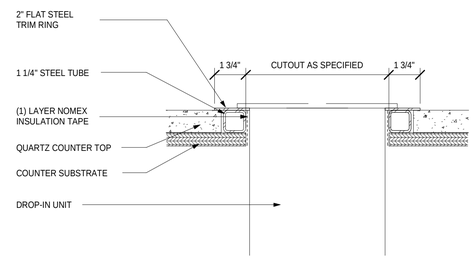
DRAWING NAME:
FURNITURE PLAN

DRAWING NO.
V113

Plot Date: 2/20/2018 5:18:59 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



1 **MILLWORK PLAN**
3/16" = 1'-0"



2 **MILLWORK BEAUTY / HEAT RING DETAIL**
3" = 1'-0"

MILLWORK LEGEND

GENERAL NOTES:

- REFER TO FINISHES SCHEDULE FOR ALL FINISHES.
- MILLWORK CONTRACTOR TO SITE VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- DRAWINGS TO BE READ IN CONJUNCTION WITH EQUIPMENT SCHEDULE & ASSOCIATED DOCUMENTATION SUBMITTED BY VISIONBUILDERS & DESIGN.
- MILLWORK CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION / FABRICATION FOR DESIGNER'S APPROVAL.
- UNLESS OTHERWISE NOTED, ALL INTERIOR KNEEWALL SURFACES AND CABINET INTERIORS TO RECEIVE WHITE PLASTIC LAMINATE FINISH.
- UNLESS OTHERWISE NOTED, THE UNDERSIDE OF THE COUNTERTOP SUBSTRATE IS TO RECEIVE A WHITE LAMINATE FINISH
- ALL SURFACES TO BE FINISHED. NO EXPOSED SURFACES WILL BE ACCEPTED.
- MILLWORK CONTRACTOR TO ENSURE COUNTER FITS SNUG WITH SURROUNDING SITE AND MILLWORK CONDITIONS. IF NECESSARY SCRIBE COUNTER ON SITE.
- WHERE COUNTERTOP SUBSTRATE INTERFERES WITH UNDERCOUNTER EQUIPMENT CLEARANCES, STEEL FLAT BARS SHALL BE USED TO SUPPORT THE COUNTERTOP AS NEEDED.
- MILLWORK CONTRACTOR TO ENSURE ALL SPECIFIED/PROVIDED EQUIPMENT FITS INTO COUNTER AS NOTED. CHECK ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO FABRICATION.
- MILLWORK CONTRACTOR TO LIASE WITH KEC TO COORDINATE ADEQUATE MILLWORK REINFORCEMENT TO SUPPORT SPECIFIED/PROVIDED EQUIPMENT AT FULL CAPACITY.
- MILLWORK CONTRACTOR TO CLEAN AND SEAL AROUND ALL COUNTERTOP CUTOUTS FOR EQUIPMENT, TRASH DROPS, ETC.
- ANY SUPPORT LEGS INDICATED ON THE DRAWINGS ARE SUGGESTED PLACEMENT. QUANTITY OF SUPPORT LEGS SHALL BE DETERMINED BY MILLWORK CONTRACTOR AND KEC.
- MILLWORK CONTRACTOR TO PROVIDE ADEQUATE VENTILATION IN COUNTERS FOR REQUIRED EQUIPMENT. CHECK ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO FABRICATION.
- ALL CONSTRUCTION TO BE 3/4" C-3 GRADE PLYWOOD OR APPROVED EQUAL, FINISH AS SPECIFIED.
- UNLESS OTHERWISE DETAILED, LOUVERED MILLWORK DOORS SHALL HAVE 1/2" VENTILATION SLOTS ROUTED INTO THE ENTIRE DOOR @ 1 1/2" OC. VENTILATION SLOTS SHALL STOP MIN. 3" ON ALL SIDES. INSIDE OF SLOT TO BE PAINTED BLACK WITH WATERPROOF SEALANT.
- CUSTOMER SIDE OF ALL SERVING COUNTERS SHALL NOT EXCEED 34" ABOVE FINISHED FLOOR

NOTE:
MILLWORK SECTIONS ARE SHOWN AS A GENERAL REPRESENTATION OF PROFILE AND MATERIAL PLACEMENT. MILLWORK SECTIONS ARE NOT TO BE CONSTRUED AS A MEANS AND METHODS FOR CONSTRUCTION/FABRICATION.

MILLWORK CUTOUTS INDICATED ARE BASED ON EQUIPMENT SPECIFICED IN THE DESIGN DEVELOPMENT DOCUMENTS. ANY SUBSTITUTIONS OR ALTERATIONS TO SPECIFIED EQUIPMENT RENDERS CUTOUT INFORMATION NULL AND VOID

SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL.

XX — ITEM NUMBER
0' 0" x 0' 0" — CUTOUT SIZE

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

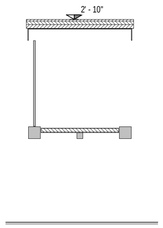
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

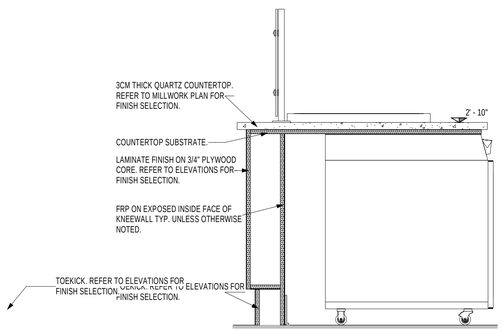
DRAWING NAME:
MILLWORK PLAN

DRAWING NO.
V114

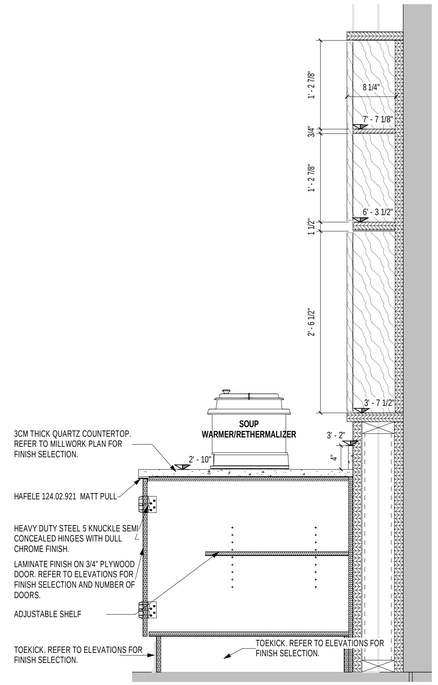
Plot Date: 2/20/2018 5:19:10 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



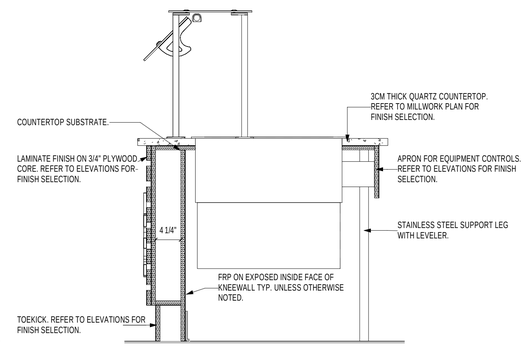
1 QUEUE RETAIL
1" = 1'-0"



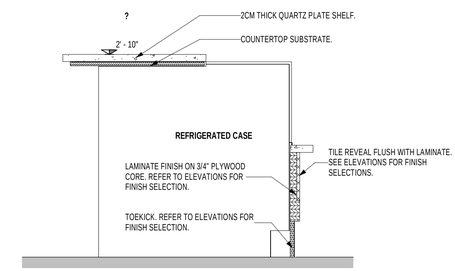
2 PIZZA COUNTER
1" = 1'-0"



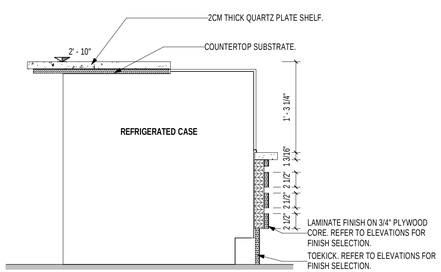
3 DELI AND SHELVING
1" = 1'-0"



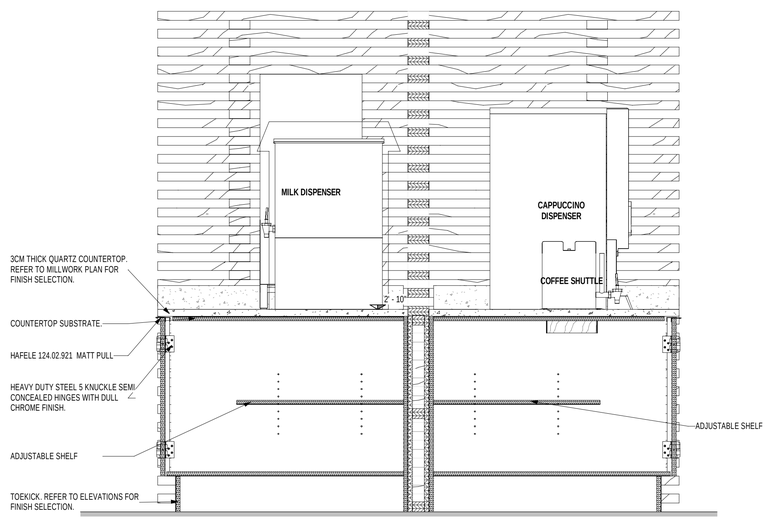
4 OPEN KITCHEN COUNTER
1" = 1'-0"



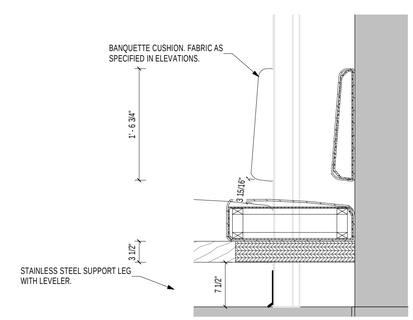
5 SALAD COUNTER
1" = 1'-0"



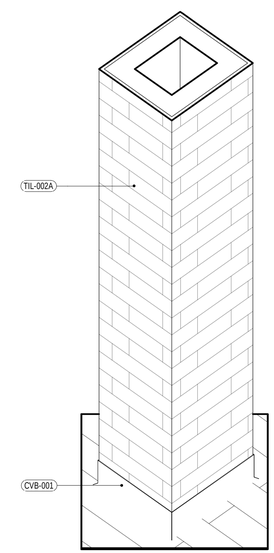
6 FLEXI KITCHEN
1" = 1'-0"



7 BEVERAGES
1" = 1'-0"



8 BOOTH
1" = 1'-0"



9 3D - TYPICAL COLUMN

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
820 Fairlie Ave, Suite 100, Charlotte, NC 28203
P 704 400 3101 F 704 400 3106 W VISIONBUILDERSUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

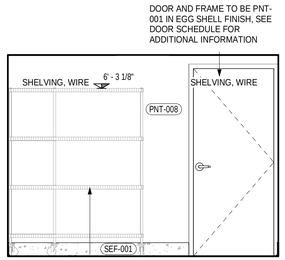
SEAL:

ISSUED FOR: BID
ISSUED DATE: 02/16/2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

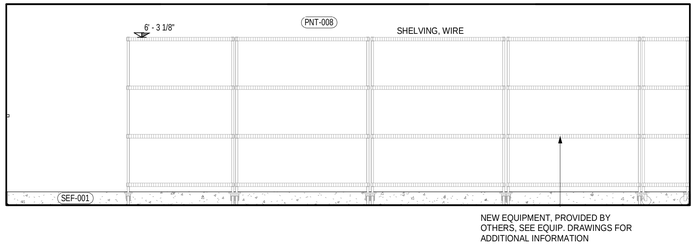
DRAWING NAME:
MILLWORK SECTIONS

DRAWING NO.
V210

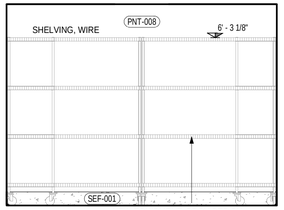
Plot Date: 2/20/2018 5:19:15 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



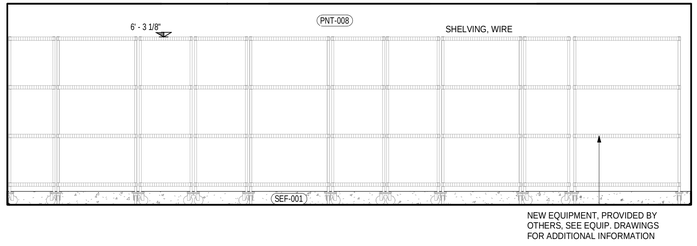
1 PAPER STORAGE A
3/8" = 1'-0"



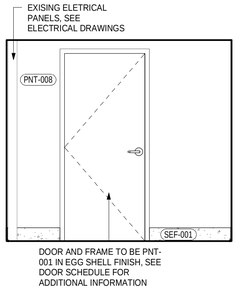
2 PAPER STORAGE B
3/8" = 1'-0"



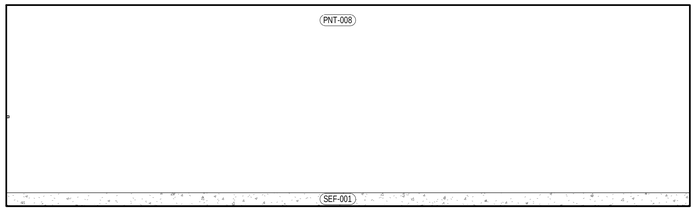
3 PAPER STORAGE C
3/8" = 1'-0"



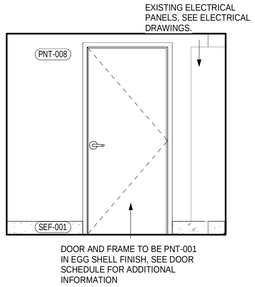
4 PAPER STORAGE D
3/8" = 1'-0"



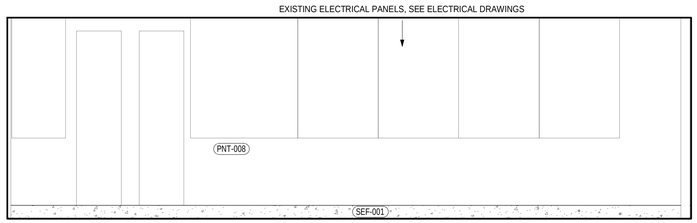
5 LOCKER ROOM A
3/8" = 1'-0"



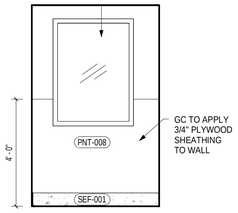
6 LOCKER ROOM B
3/8" = 1'-0"



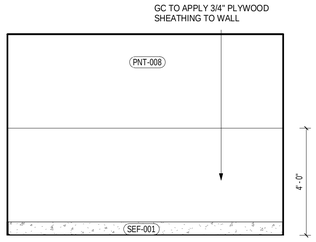
7 LOCKER ROOM C
3/8" = 1'-0"



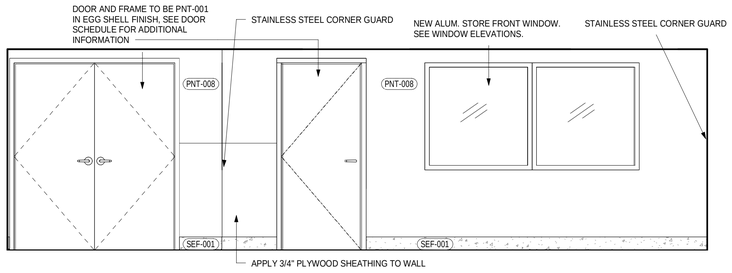
8 LOCKER ROOM D
3/8" = 1'-0"



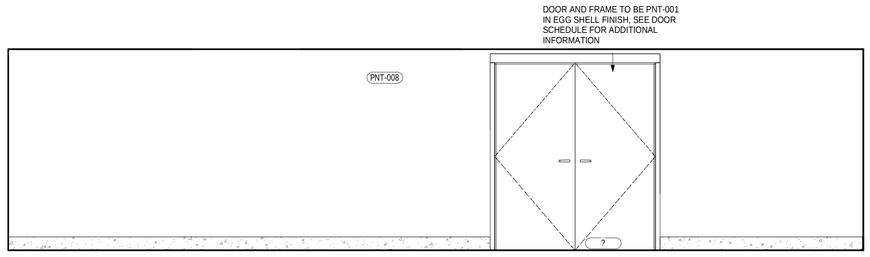
9 R.A. WINDOW
3/8" = 1'-0"



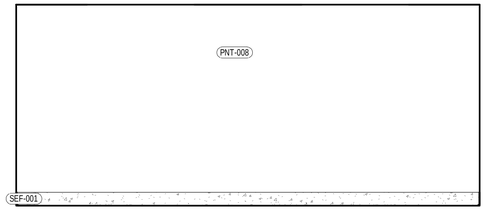
10 RECEIVING AREA WALL
3/8" = 1'-0"



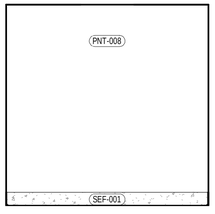
11 RECEIVING OFFICE ENTRANCE
3/8" = 1'-0"



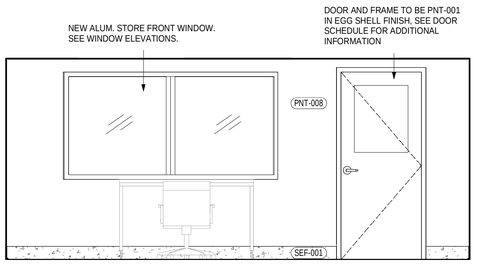
12 DRY STORAGE B ENTRANCE
3/8" = 1'-0"



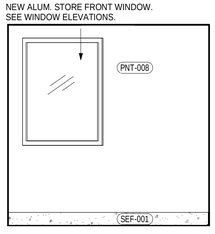
13 RECEIVING OFFICE A
3/8" = 1'-0"



14 RECEIVING OFFICE B
3/8" = 1'-0"



15 RECEIVING OFFICE C
3/8" = 1'-0"



16 RECEIVING OFFICE D
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
820 Fairview Ave, Suite 100, Charlotte, NC 28203
P 704 400 3101 F 704 400 3106 • VISIONBUILDERSUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

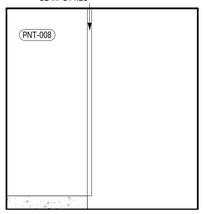
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

DRAWING NAME:
INTERIOR ELEVATIONS I

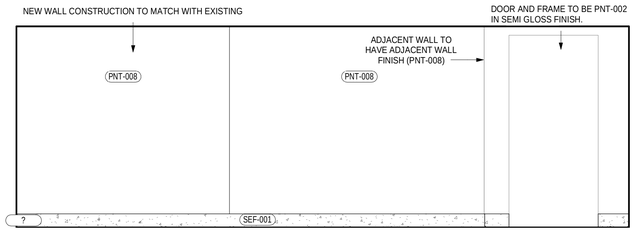
DRAWING NO.
V300

Plot Date: 2/20/2018 5:19:24 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt

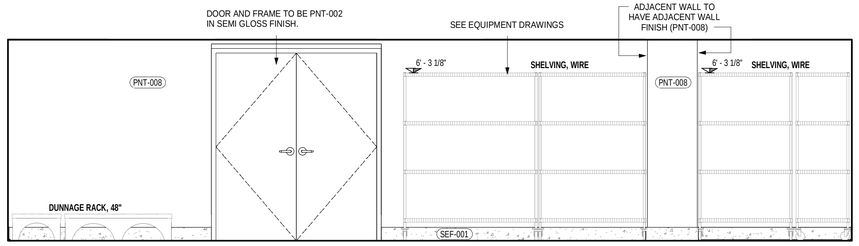


1 CORRIDOR A
3/8" = 1'-0"

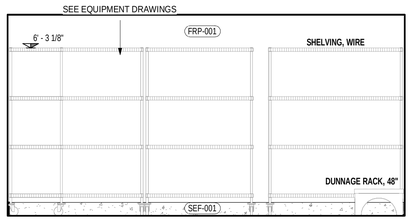
2 CORRIDOR B
3/8" = 1'-0"



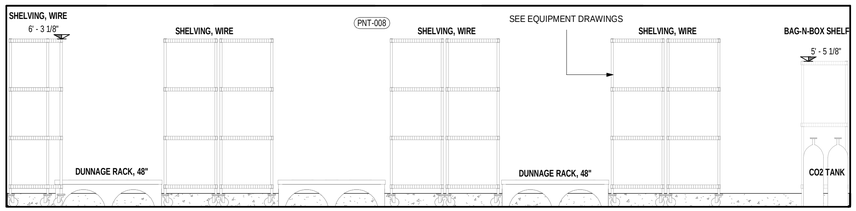
3 CORRIDOR C
3/8" = 1'-0"



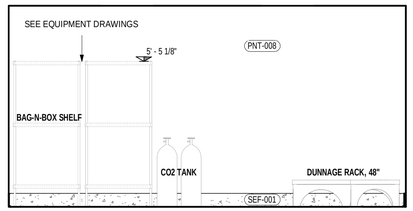
4 DRY STORAGE B A
3/8" = 1'-0"



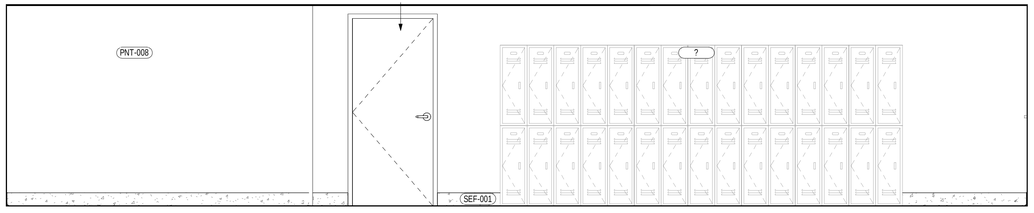
5 DRY STORAGE B B
3/8" = 1'-0"



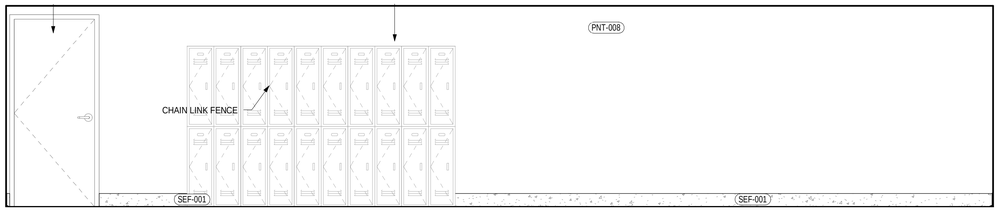
6 DRY STORAGE B C
3/8" = 1'-0"



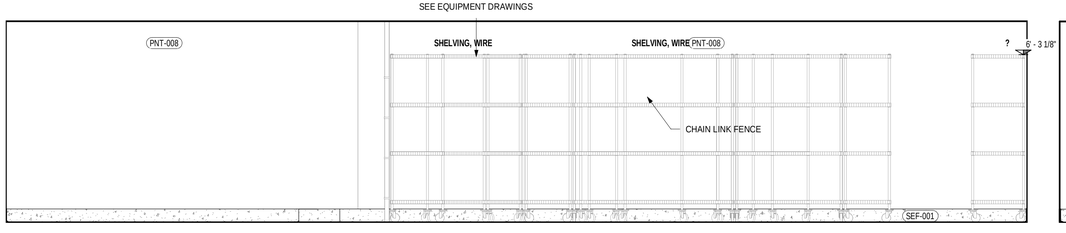
7 DRY STORAGE B D
3/8" = 1'-0"



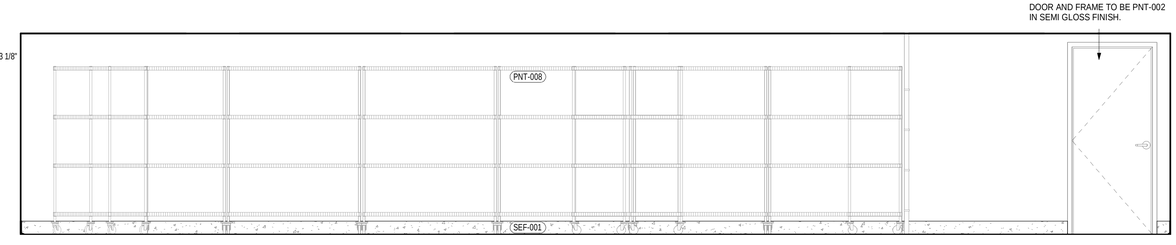
8 BASEMENT STORAGE A
3/8" = 1'-0"



9 BASEMENT STORAGE B
3/8" = 1'-0"



10 BASEMENT STORAGE C
3/8" = 1'-0"



11 BASEMENT STORAGE D
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
ARCHITECTURE
820 Fairview Ave, Suite 100, Charlotte, NC 28203
P 704 409 0101 F 704 995 0106 ▪ VISIONBUILDERUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

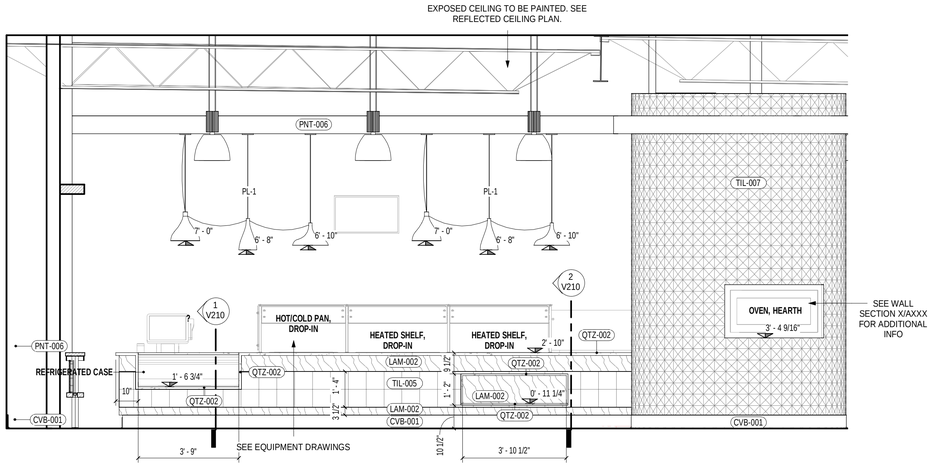
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

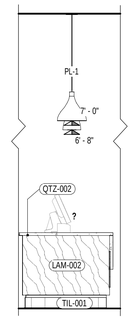
DRAWING NAME:
INTERIOR ELEVATIONS II

DRAWING NO.
V301

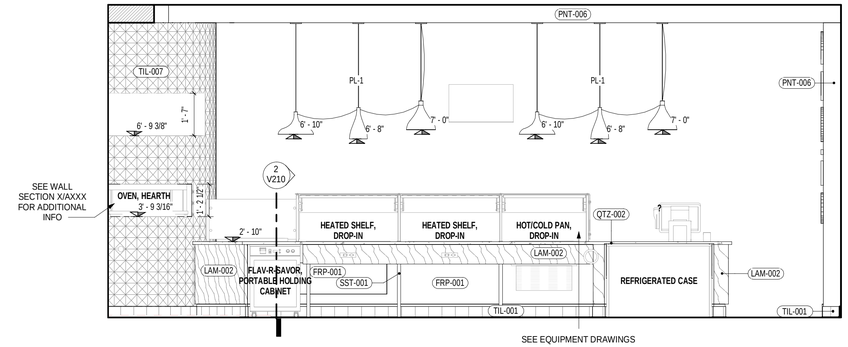
Plot Date: 2/20/2018 5:19:37 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



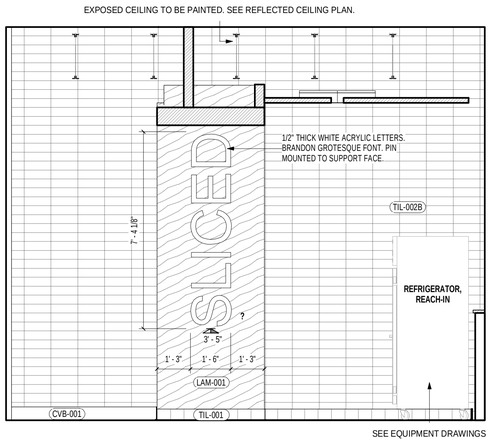
1 PIZZA FRONT COUNTER
3/8" = 1'-0"



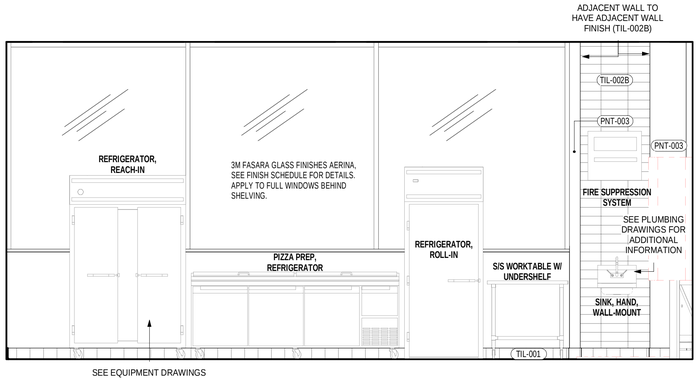
2 PIZZA SIDE
3/8" = 1'-0"



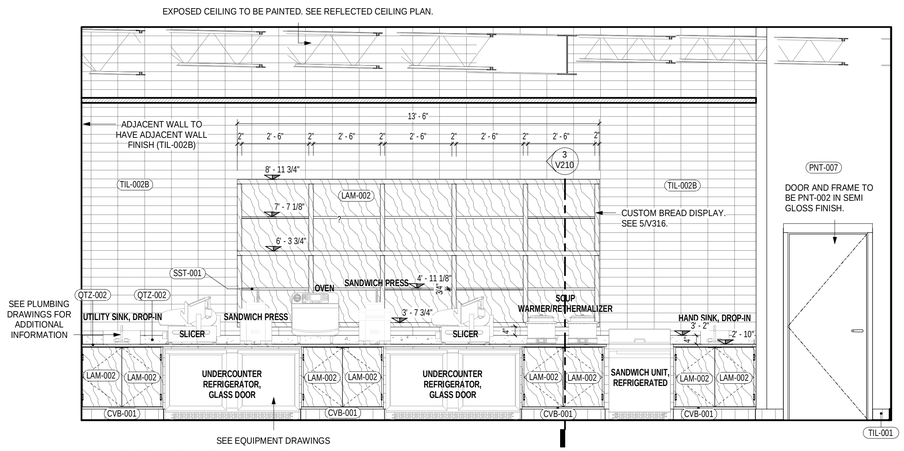
3 PIZZA FRONT LINE
3/8" = 1'-0"



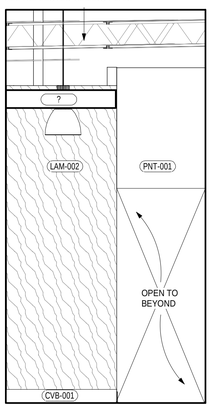
4 PIZZA WALL
3/8" = 1'-0"



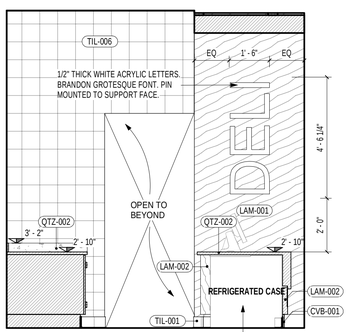
5 PIZZA BACK LINE
3/8" = 1'-0"



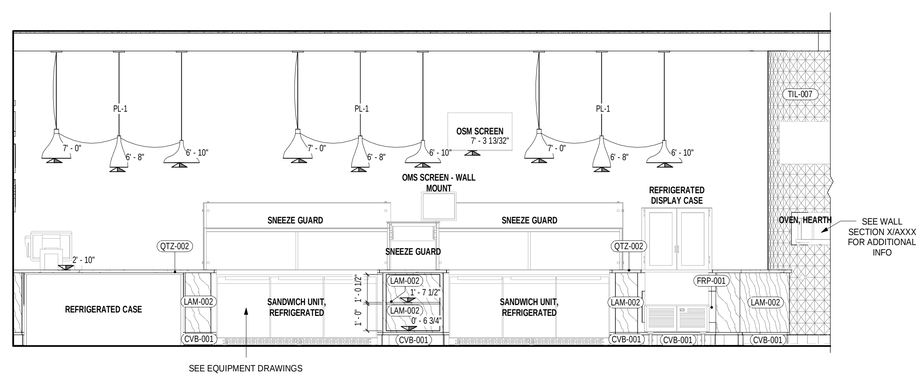
6 DELI BACK LINE
3/8" = 1'-0"



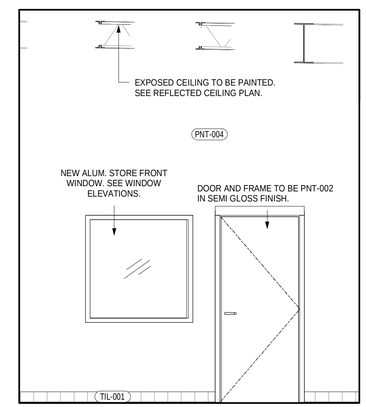
7 DELI SIDE
3/8" = 1'-0"



8 DELI INTERNAL WALL
3/8" = 1'-0"



9 DELI FRONT LINE
3/8" = 1'-0"



10 CHEF OFFICE DOOR
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

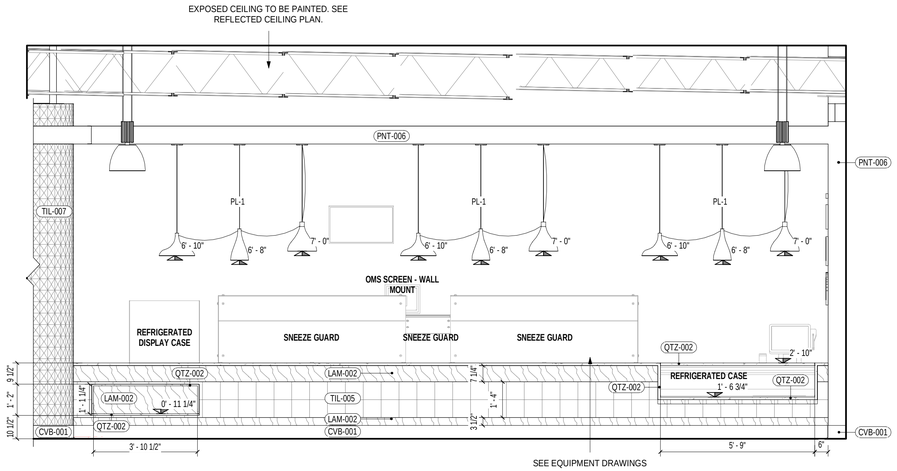
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

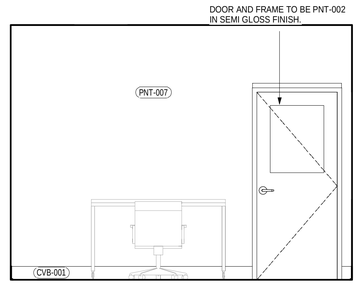
DRAWING NAME:
INTERIOR ELEVATIONS III

DRAWING NO.
V310

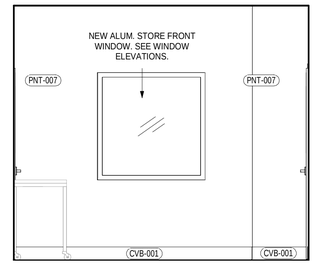
Plot Date: 2/20/2018 5:19:52 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



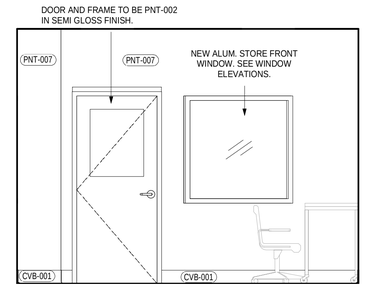
1 DELI FRONT COUNTER
3/8" = 1'-0"



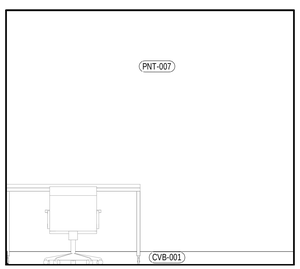
2 CHEF OFFICE A
3/8" = 1'-0"



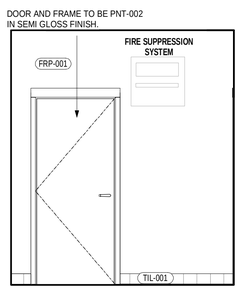
3 CHEF OFFICE B
3/8" = 1'-0"



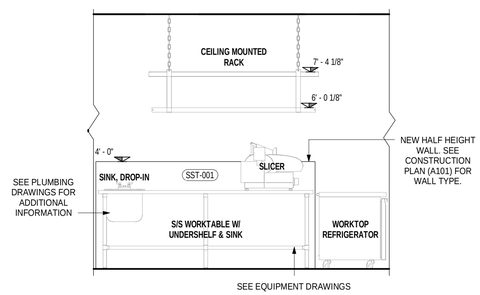
4 CHEF OFFICE C
3/8" = 1'-0"



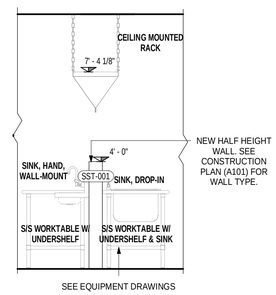
5 CHEF OFFICE D
3/8" = 1'-0"



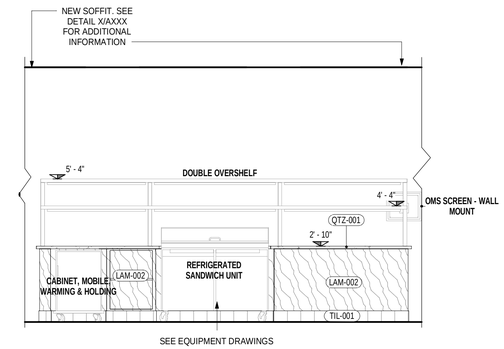
6 CHEF OFFICE BACK
3/8" = 1'-0"



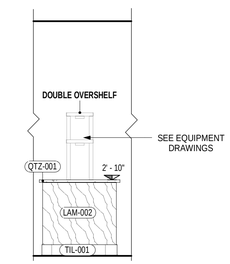
7 CATERING PREP FRONT
3/8" = 1'-0"



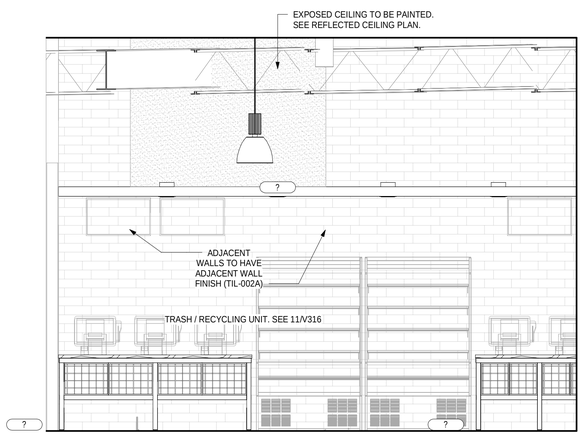
8 CATERING PREP
3/8" = 1'-0"



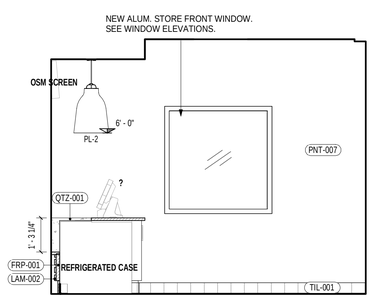
9 OPEN KITCHEN PREP ISLAND FRONT
3/8" = 1'-0"



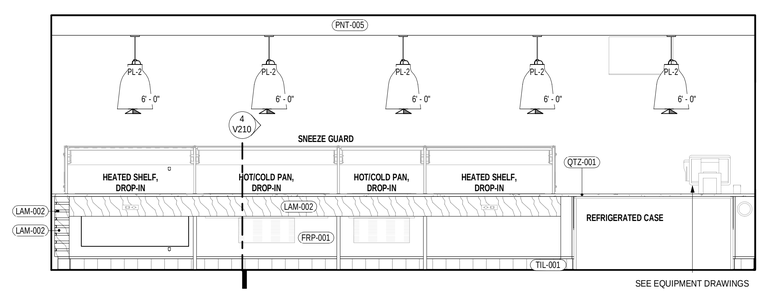
10 PREP A
3/8" = 1'-0"



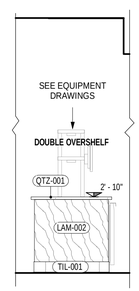
11 MAIN WALL
3/8" = 1'-0"



12 OPEN KITCHEN WALL
3/8" = 1'-0"



13 OPEN KITCHEN FRONT LINE
3/8" = 1'-0"



14 PREP B
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

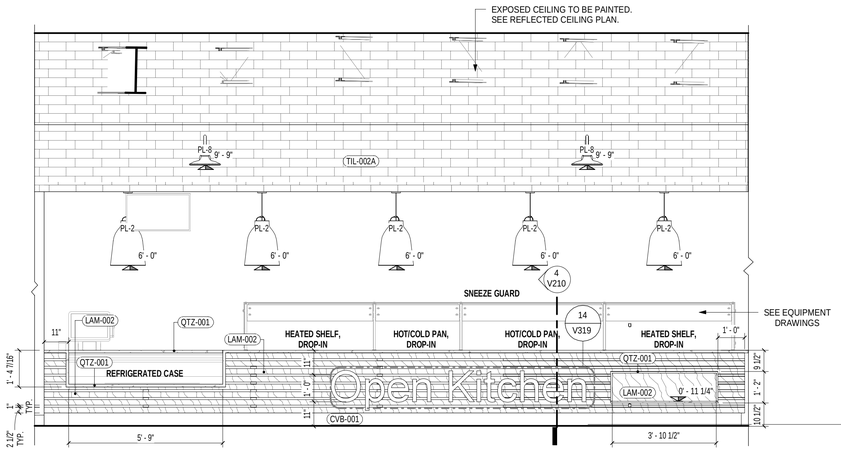
SEAL:

ISSUED FOR: BID
ISSUED DATE: 02/16/2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

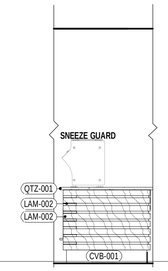
DRAWING NAME:
INTERIOR ELEVATIONS IV

DRAWING NO.
V311

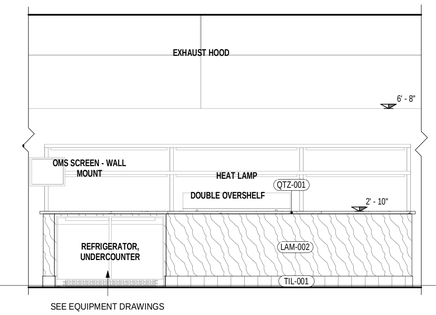
Plot Date: 2/20/2018 5:20:07 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



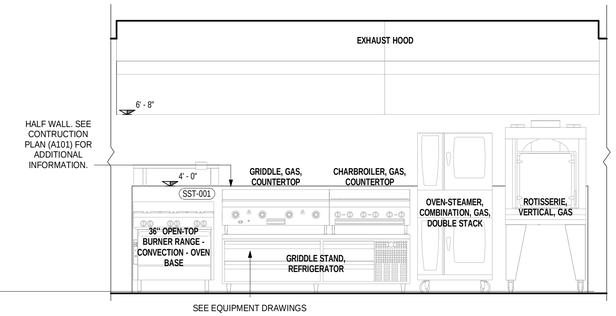
1 OPEN KITCHEN FRONT COUNTER
3/8" = 1'-0"



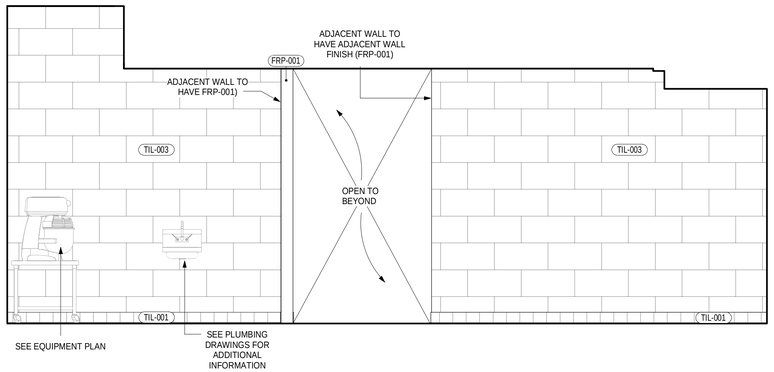
2 O.K. SIDE
3/8" = 1'-0"



3 OPEN KITCHEN PREP ISLAND BACK
3/8" = 1'-0"

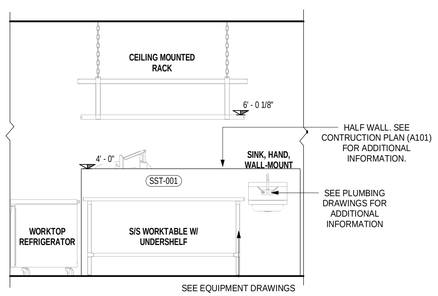


4 OPEN KITCHEN BACK LINE A
3/8" = 1'-0"

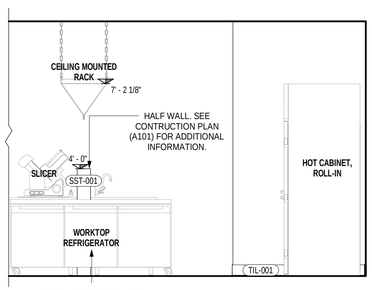


5 PREP AREA C
3/8" = 1'-0"

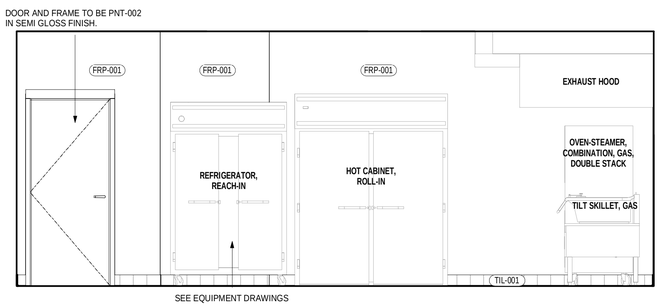
6 CATERING PREP AREA A
3/8" = 1'-0"



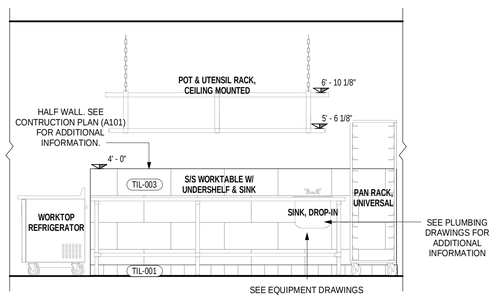
7 CATERING PREP AREA B
3/8" = 1'-0"



8 CATERING PREP AREA C
3/8" = 1'-0"



9 CATERING PREP AREA D
3/8" = 1'-0"



10 PREP AREA B
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

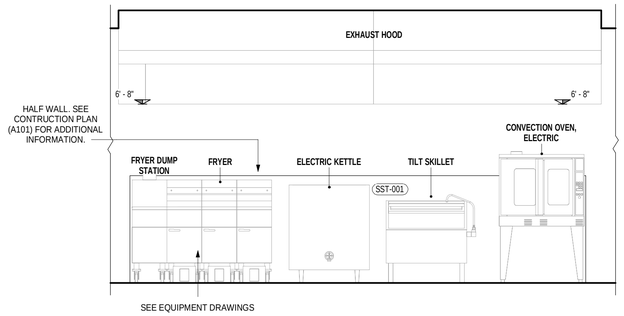
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

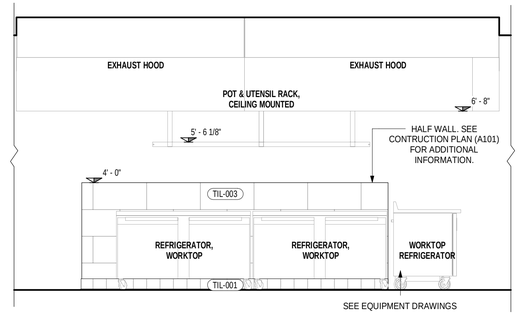
DRAWING NAME:
INTERIOR ELEVATIONS V

DRAWING NO.
V312

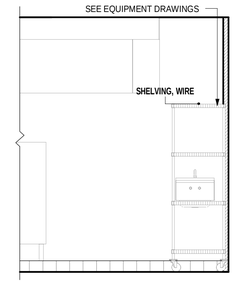
Plot Date: 2/20/2018 5:20:18 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



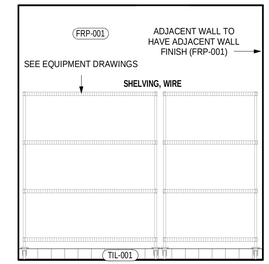
1 OPEN KITCHEN BACK LINE B
3/8" = 1'-0"



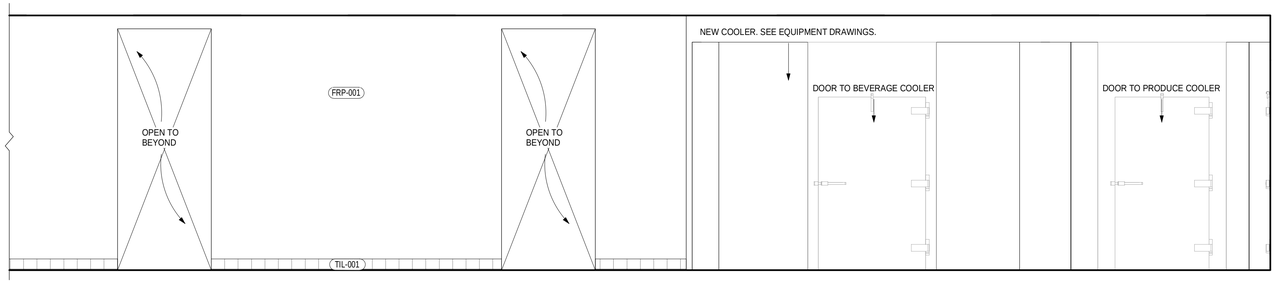
2 PREP AREA A
3/8" = 1'-0"



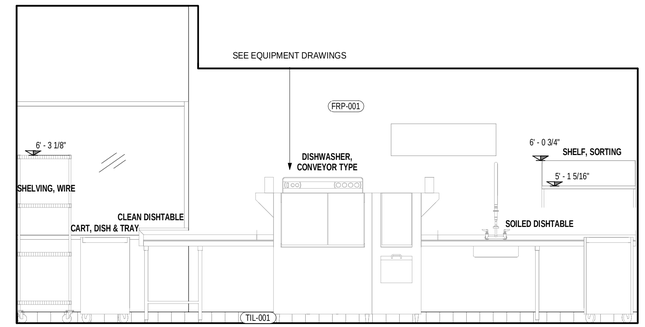
3 RECEIVING AREA A
3/8" = 1'-0"



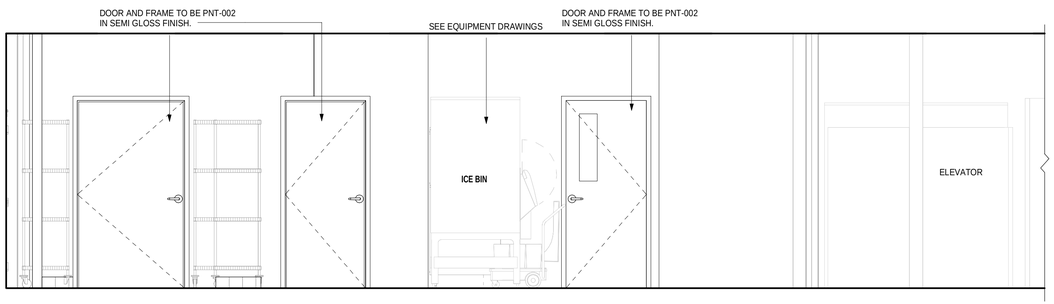
4 RECEIVING AREA B
3/8" = 1'-0"



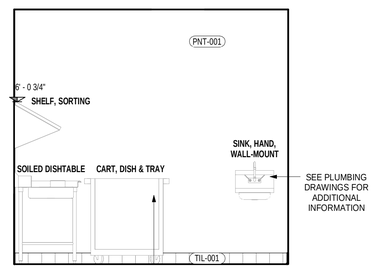
5 DISH ROOM ENTRANCE
3/8" = 1'-0"



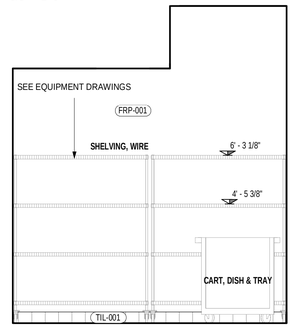
6 DISH ROOM A
3/8" = 1'-0"



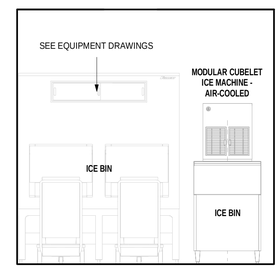
7 CORRIDOR SIDE
3/8" = 1'-0"



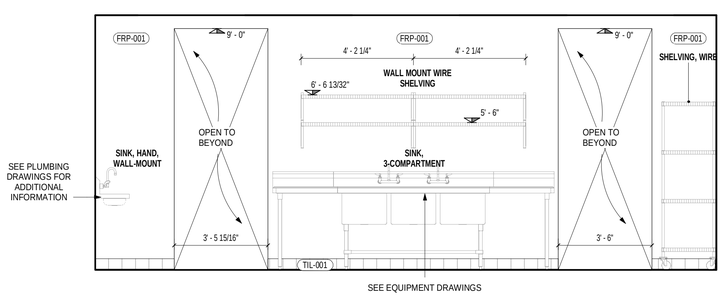
8 DISH ROOM B
3/8" = 1'-0"



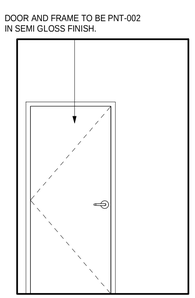
9 DISH ROOM D
3/8" = 1'-0"



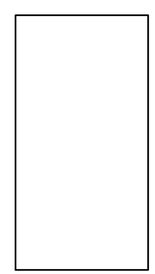
16 ICE MACHINE
3/8" = 1'-0"



10 DISH ROOM C
3/8" = 1'-0"

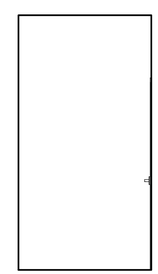


11 ELEC. PANEL A
3/8" = 1'-0"

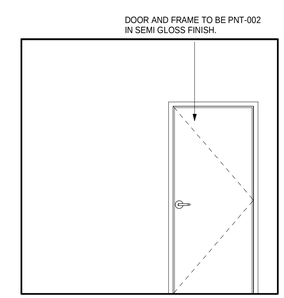


12 ELEC. PANEL B
3/8" = 1'-0"

13 ELEC. PANEL C
3/8" = 1'-0"



14 ELEC. PANEL D
3/8" = 1'-0"



15 ELEC. PANEL ENTRY
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

PROJECT:

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

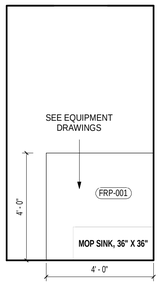
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

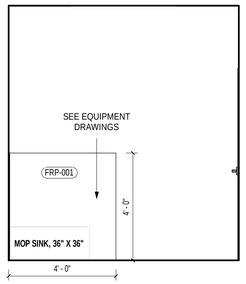
DRAWING NAME:
INTERIOR ELEVATIONS VI

DRAWING NO.
V313

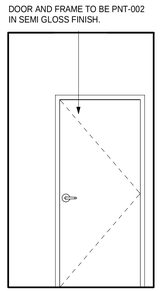
Plot Date: 2/20/2018 5:20:28 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



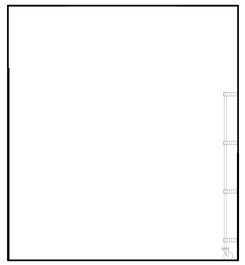
1 **JANITOR A**
3/8" = 1'-0"



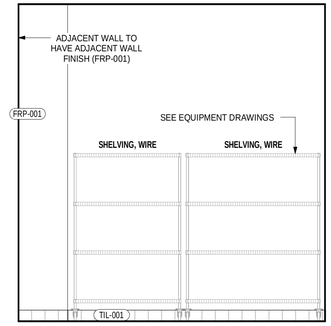
2 **JANITOR B**
3/8" = 1'-0"



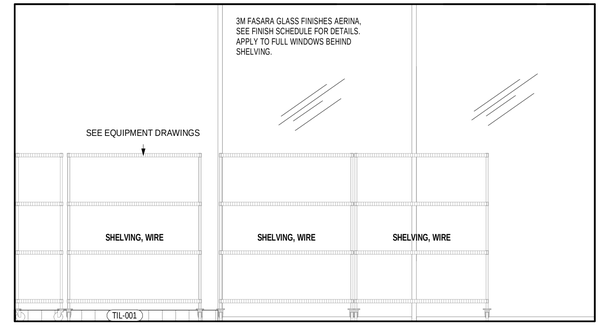
3 **JANITOR C**
3/8" = 1'-0"



4 **JANITOR D**
3/8" = 1'-0"

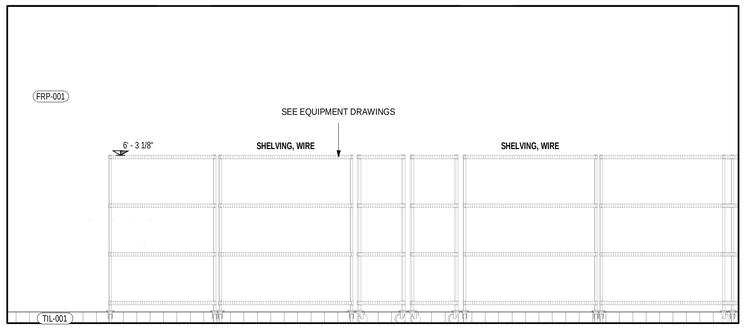


5 **DRY STORAGE A**
3/8" = 1'-0"

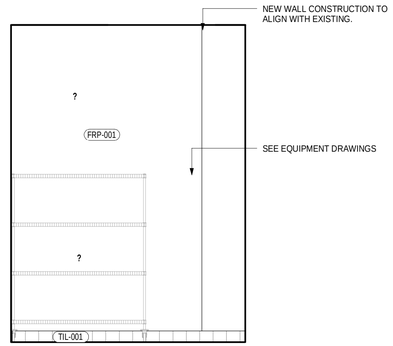


6 **DRY STORAGE B**
3/8" = 1'-0"

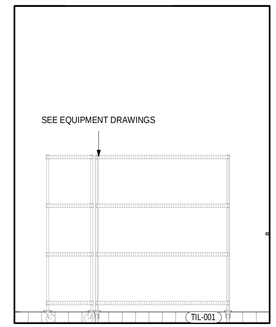
?



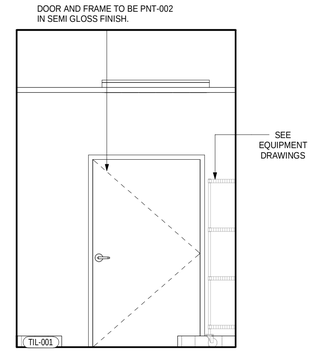
7 **DRY STORAGE C**
3/8" = 1'-0"



8 **DRY STORAGE D**
3/8" = 1'-0"

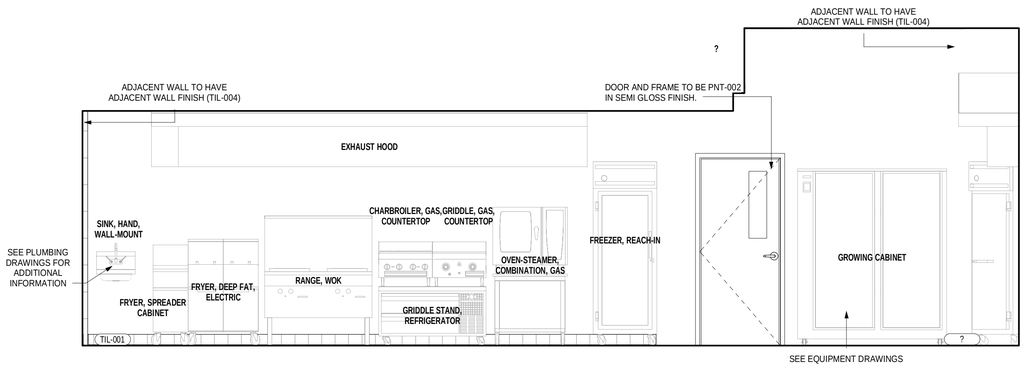


9 **DRY STORAGE E**
3/8" = 1'-0"

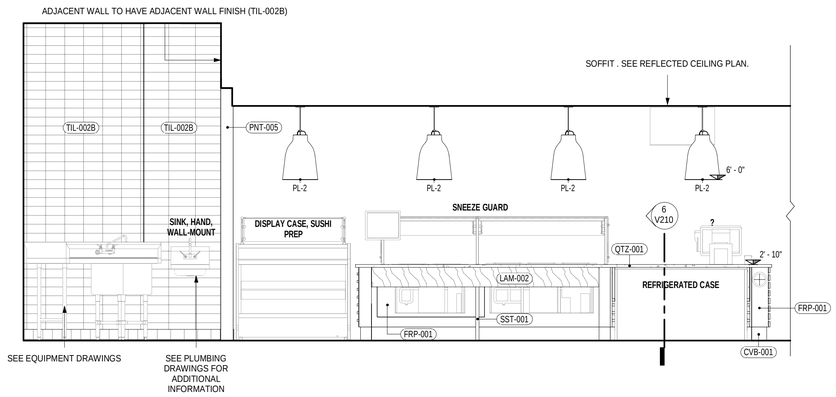


10 **DRY STORAGE ENTRY**
3/8" = 1'-0"

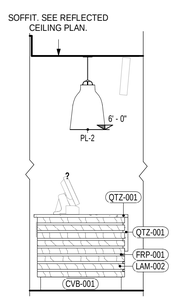
?



11 **FLEXI BACK LINE**
3/8" = 1'-0"



12 **FLEXI FRONT LINE**
3/8" = 1'-0"



13 **FLEXI SIDE**
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
ARCHITECTS
825 Fairview Ave, Suite 100, Charlotte, NC 28203
P 704 409 0101 F 704 909 0106 W VISIONBUILDERSUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

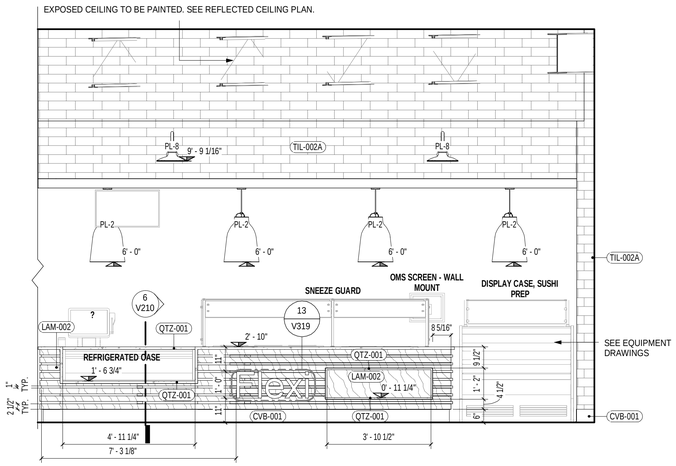
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

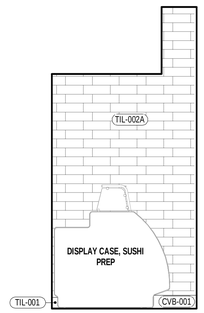
DRAWING NAME:
INTERIOR
ELEVATIONS VII

DRAWING NO.
V314

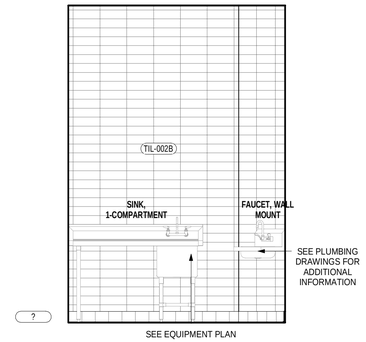
Plot Date: 2/20/2018 5:20:40 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



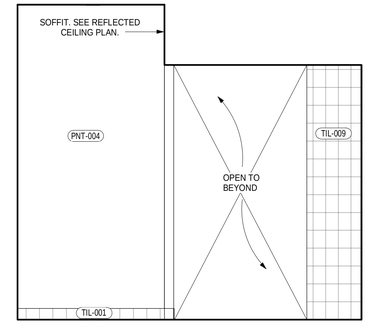
1 **FLEXI FRONT COUNTER**
3/8" = 1'-0"



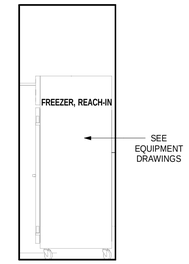
2 **FLEXI SIDE WALL**
3/8" = 1'-0"



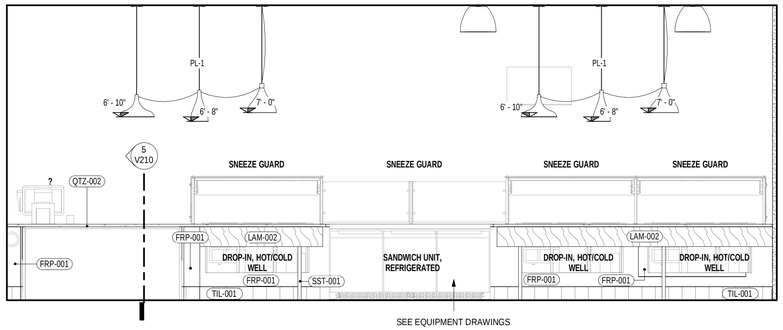
3 **ROOTED SINKS**
3/8" = 1'-0"



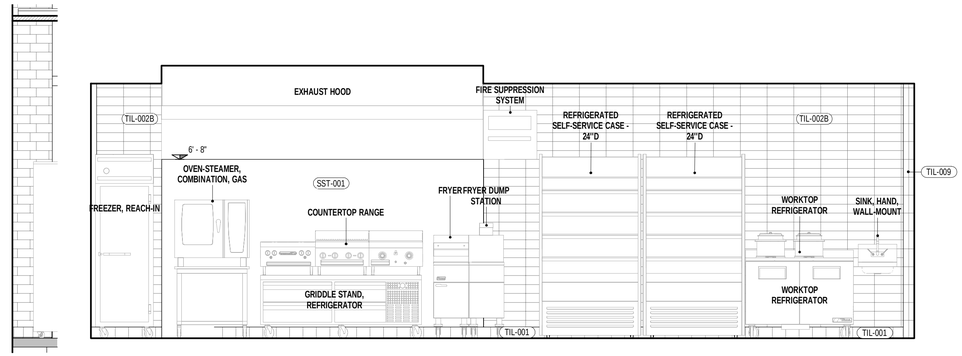
4 **SALAD SIDE**
3/8" = 1'-0"



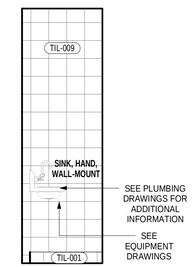
5 **ROOTED BACK A**
3/8" = 1'-0"



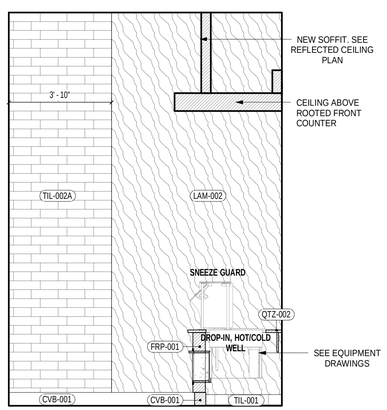
6 **ROOTED FRONT LINE**
3/8" = 1'-0"



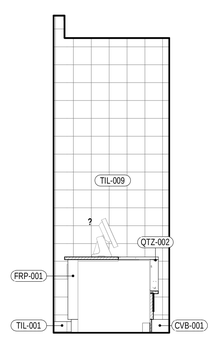
7 **ROOTED BACK LINE**
3/8" = 1'-0"



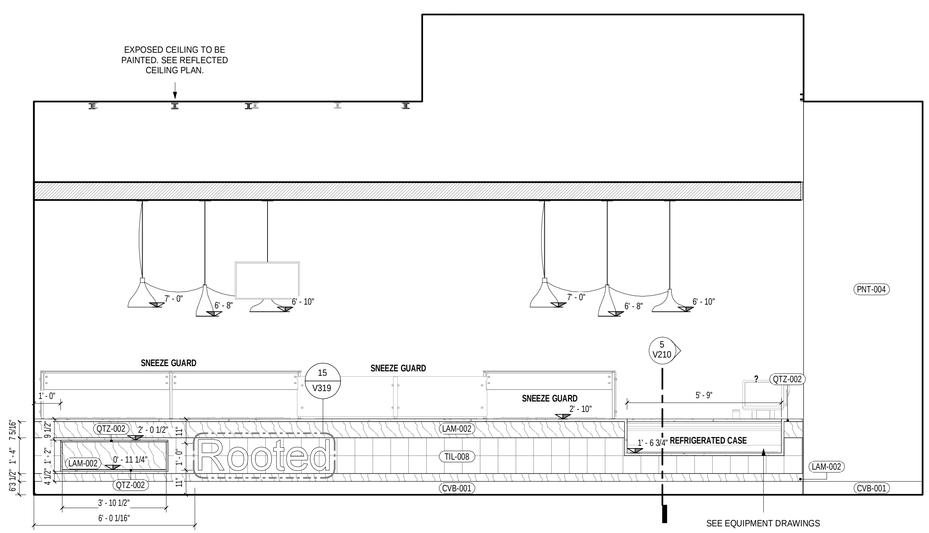
8 **ROOTED BACK B**
3/8" = 1'-0"



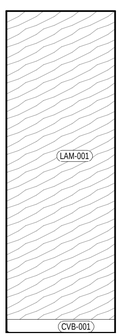
9 **ROOTED SIDE A**
3/8" = 1'-0"



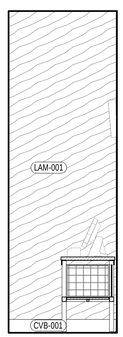
10 **ROOTED SIDE B**
3/8" = 1'-0"



11 **ROOTED FRONT COUNTER**
3/8" = 1'-0"



12 **BANQ. A**
3/8" = 1'-0"



13 **BANQ. B**
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

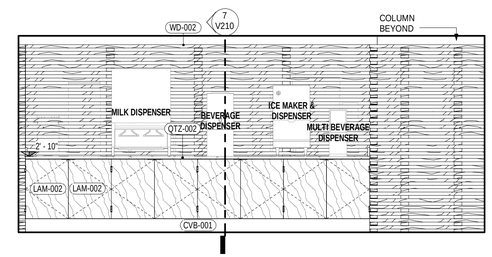
SEAL:

ISSUED FOR: BID
ISSUED DATE: 02/16/2018
DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

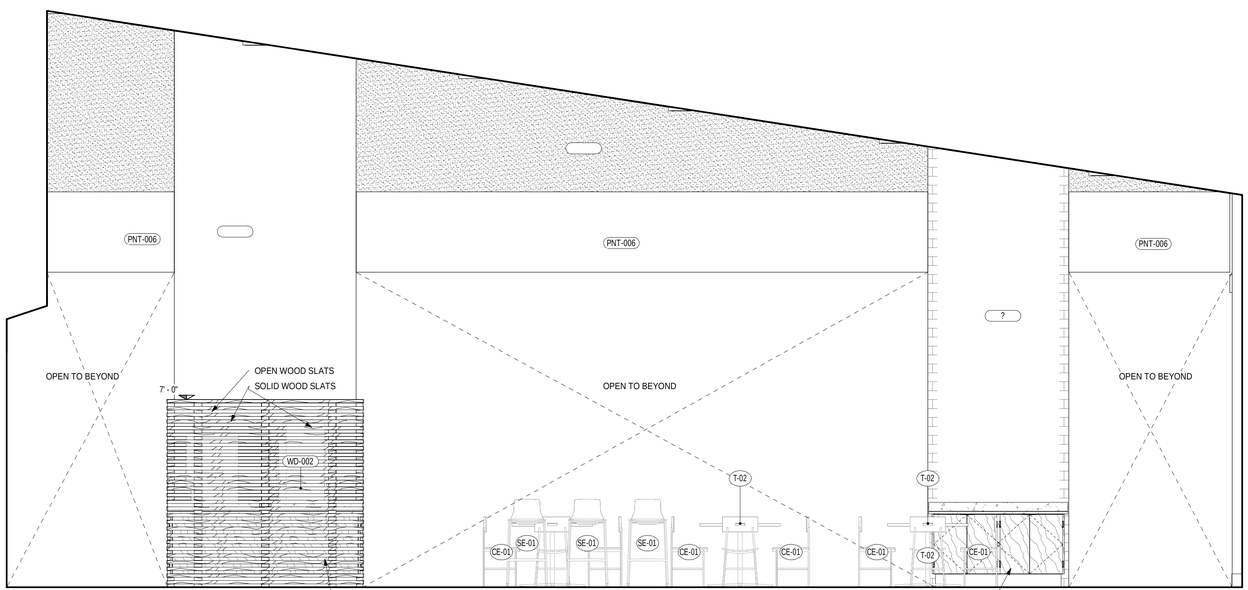
DRAWING NAME:
INTERIOR ELEVATIONS VIII

DRAWING NO.
V315

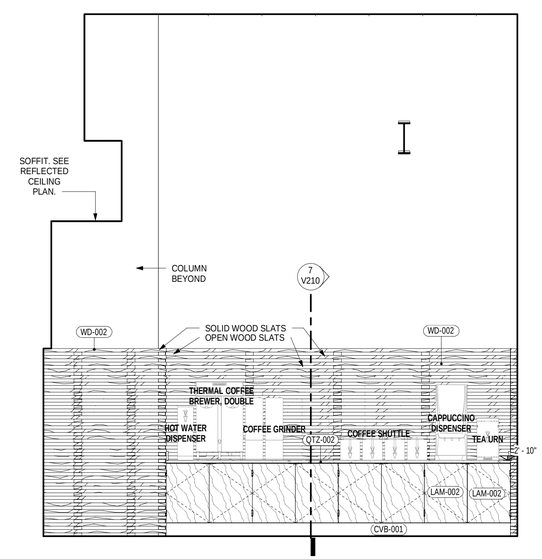
Plot Date: 2/20/2018 5:20:53 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



1 BEVERAGE COUNTER BACK
3/8" = 1'-0"



2 CONDIMENTS
3/8" = 1'-0"



3 BEVERAGE COUNTER FRONT
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
ARCHITECTS
820 Fairview Ave, Suite 100, Charlotte, NC 28203
P 704 400 3101 F 704 995 5106 W VISIONBUILDERSUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

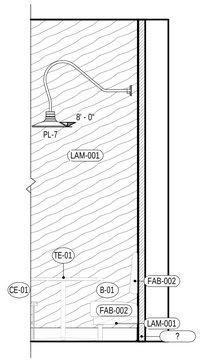
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

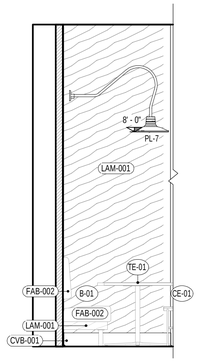
DRAWING NAME:
INTERIOR ELEVATIONS IX

DRAWING NO.
V316

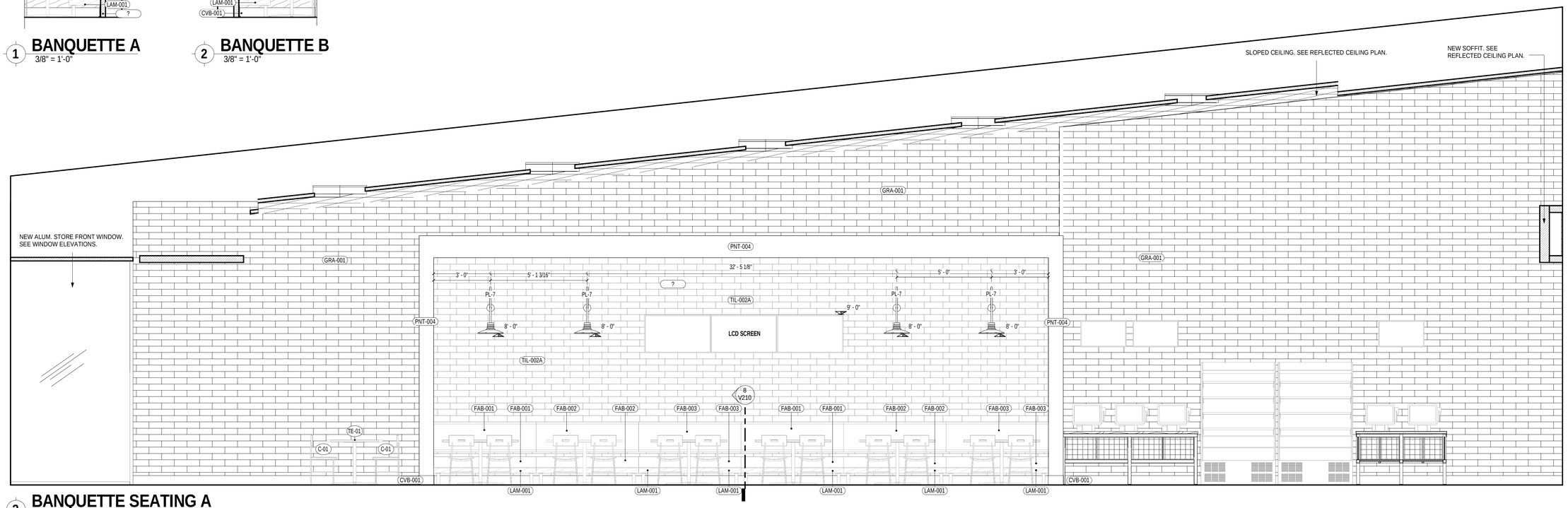
Plot Date: 2/20/2018 5:21:06 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



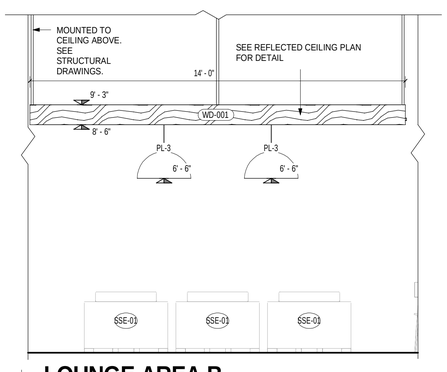
1 **BANQUETTE A**
3/8" = 1'-0"



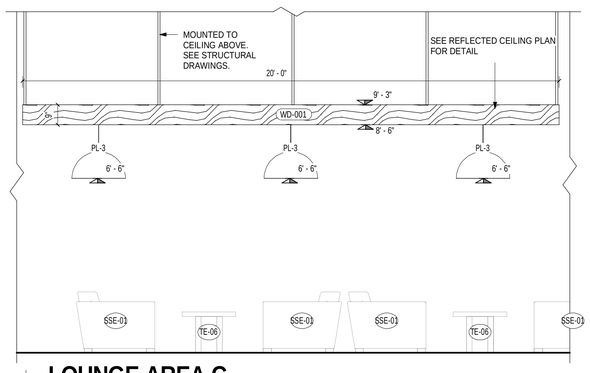
2 **BANQUETTE B**
3/8" = 1'-0"



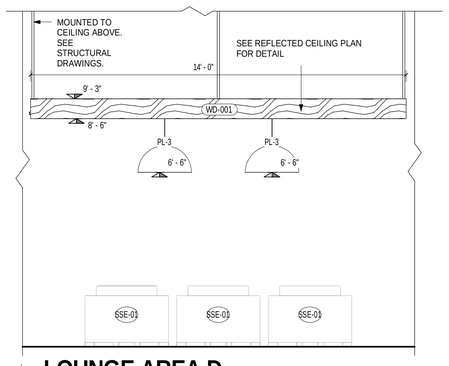
3 **BANQUETTE SEATING A**
3/8" = 1'-0"



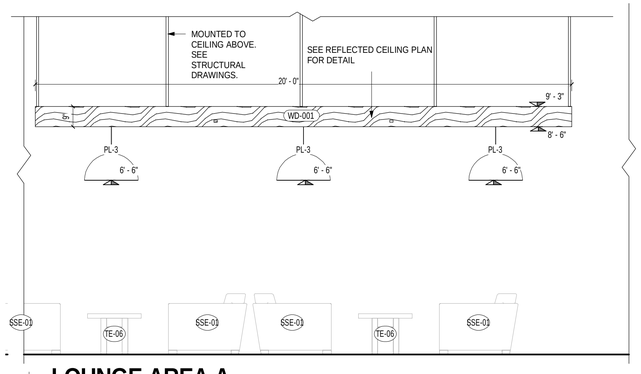
4 **LOUNGE AREA B**
3/8" = 1'-0"



5 **LOUNGE AREA C**
3/8" = 1'-0"



6 **LOUNGE AREA D**
3/8" = 1'-0"



7 **LOUNGE AREA A**
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
MEP ENGINEERS
820 Fairlie Ave, Suite 100, Charlotte, NC 28203
P 704 400 3161 F 704 995 5186 W VISIONBUILDERSUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

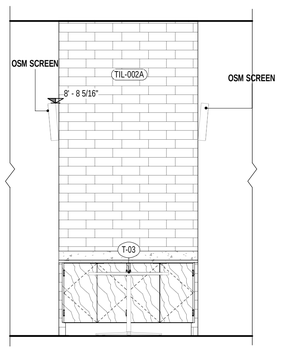
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

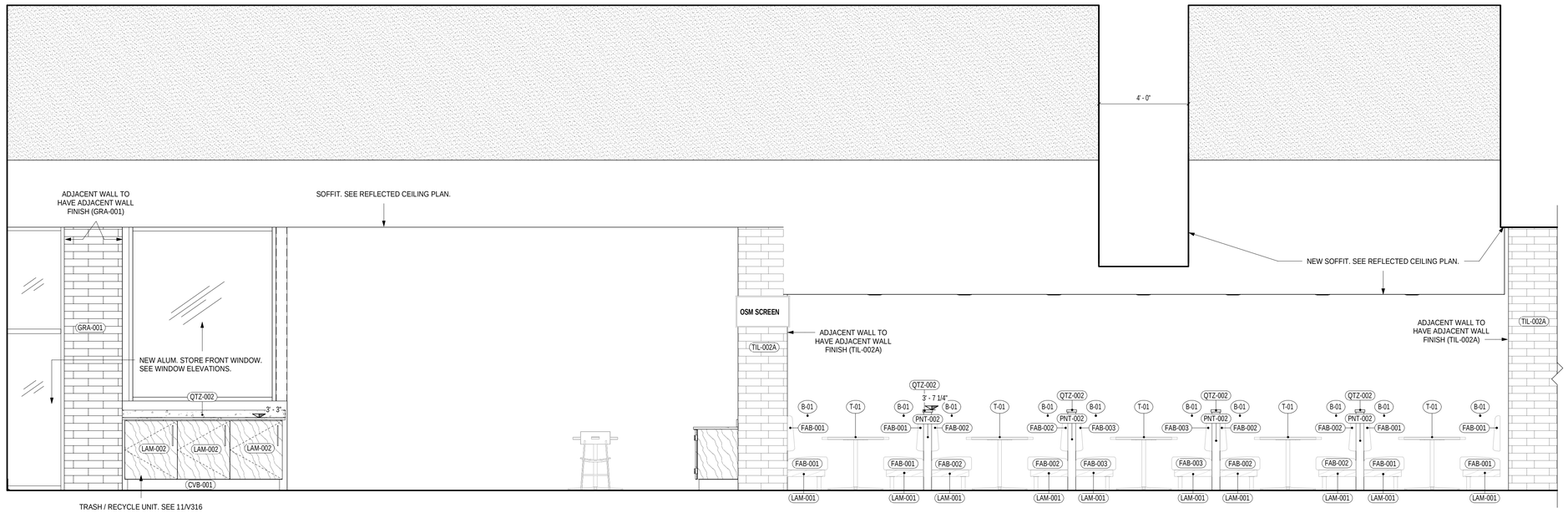
DRAWING NAME:
INTERIOR ELEVATIONS X

DRAWING NO.
V317

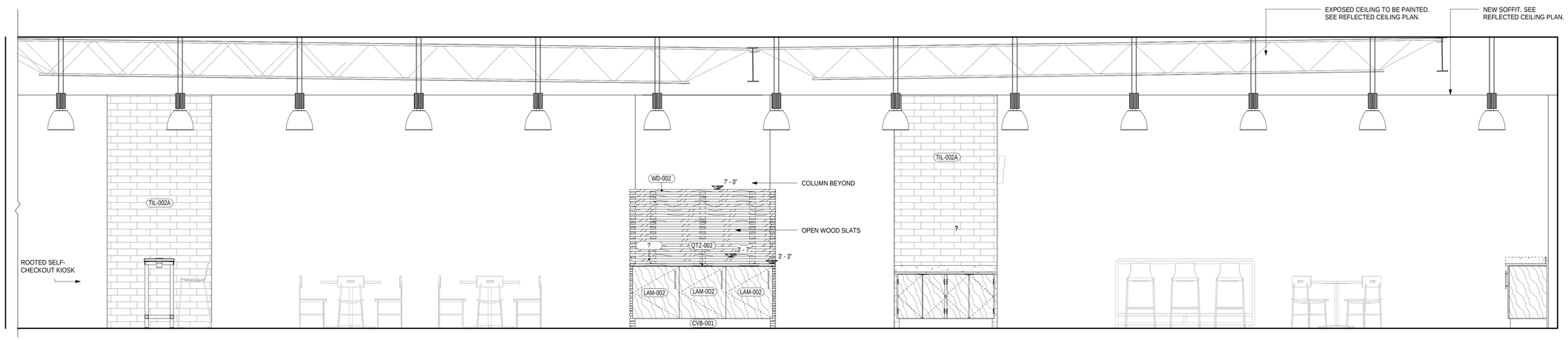
Plot Date: 2/20/2018 5:21:15 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



1 BOOTH SIDE
3/8" = 1'-0"



2 BOOTH SEATING
3/8" = 1'-0"



3 TRASH RECYCLING UNIT
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

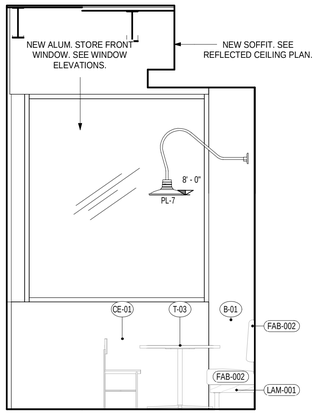
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

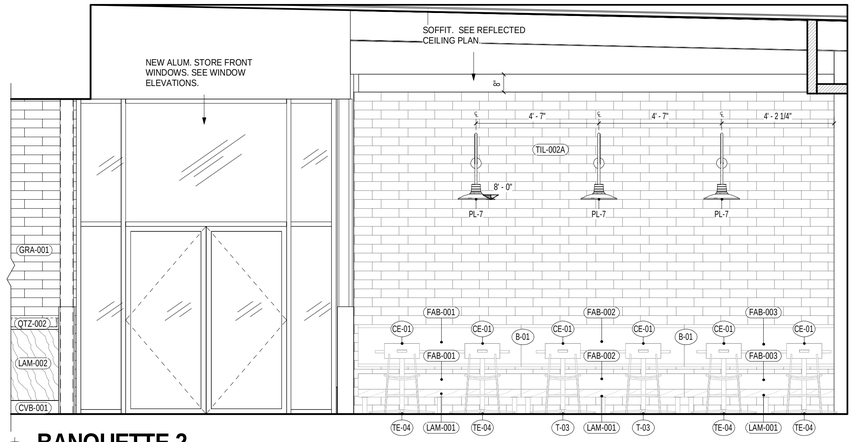
DRAWING NAME:
INTERIOR ELEVATIONS XI

DRAWING NO.
V318

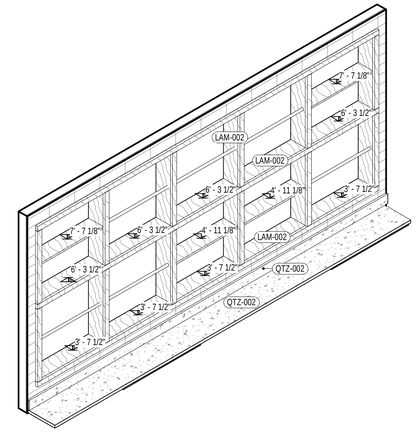
Plot Date: 2/20/2018 5:21:59 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



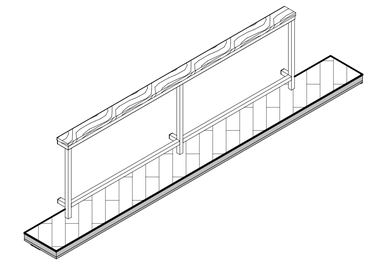
1 **BANQUETTE 2 SIDE A**
3/8" = 1'-0"



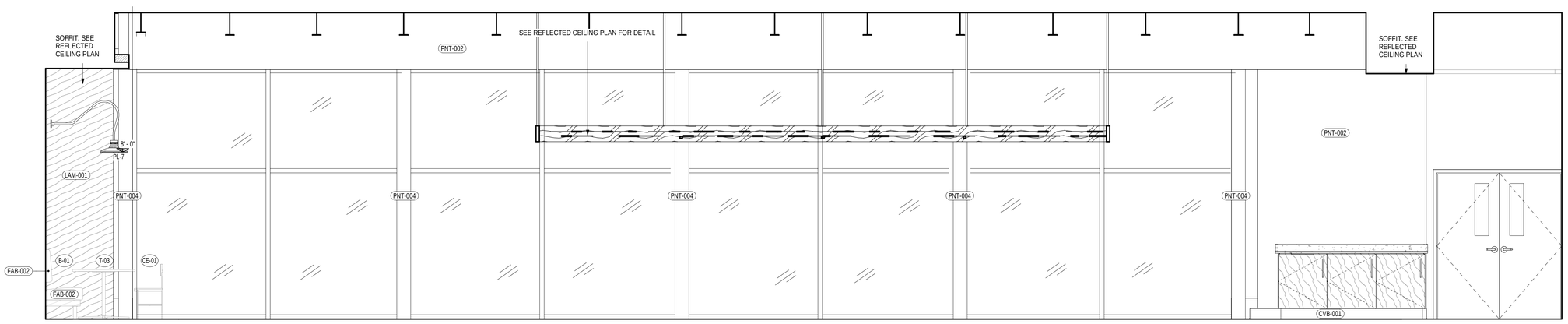
3 **BANQUETTE 2**
3/8" = 1'-0"



5 **3D - CUSTOM BREAD DISPLAY**



10 **3D - QUEUING MERCHANDISER**

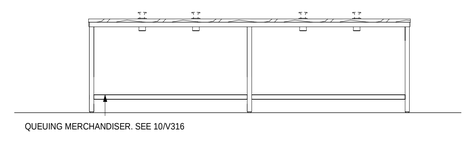


4 **LONG WINDOW WALL**
3/8" = 1'-0"

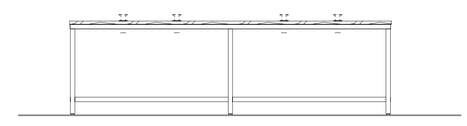
?

7 **QUEUE RETAIL 12' FRONT**
3/8" = 1'-0"

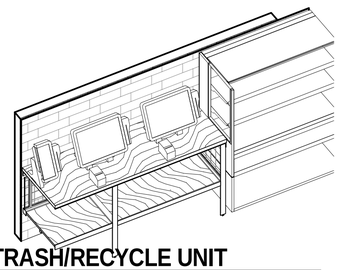
?



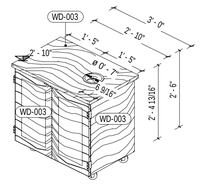
8 **QUEUE RETAIL 16' BACK**
3/8" = 1'-0"



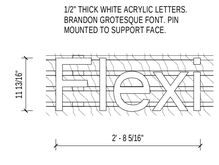
9 **QUEUE RETAIL 16' FRONT**
3/8" = 1'-0"



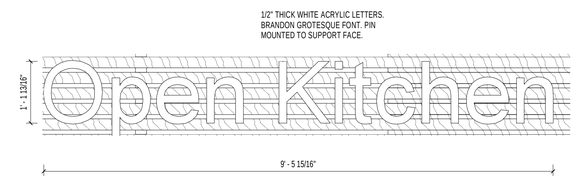
11 **3D - TRASH/RECYCLE UNIT**



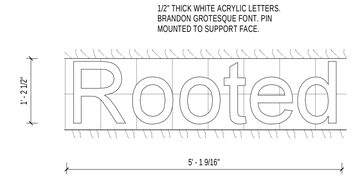
12 **3D - MOBILE CONDIMENT**



13 **FLEXI - SIGNAGE**
3/4" = 1'-0"



14 **OPEN KITCHEN - SIGNAGE**
3/4" = 1'-0"



15 **ROOTED - SIGNAGE**
3/4" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

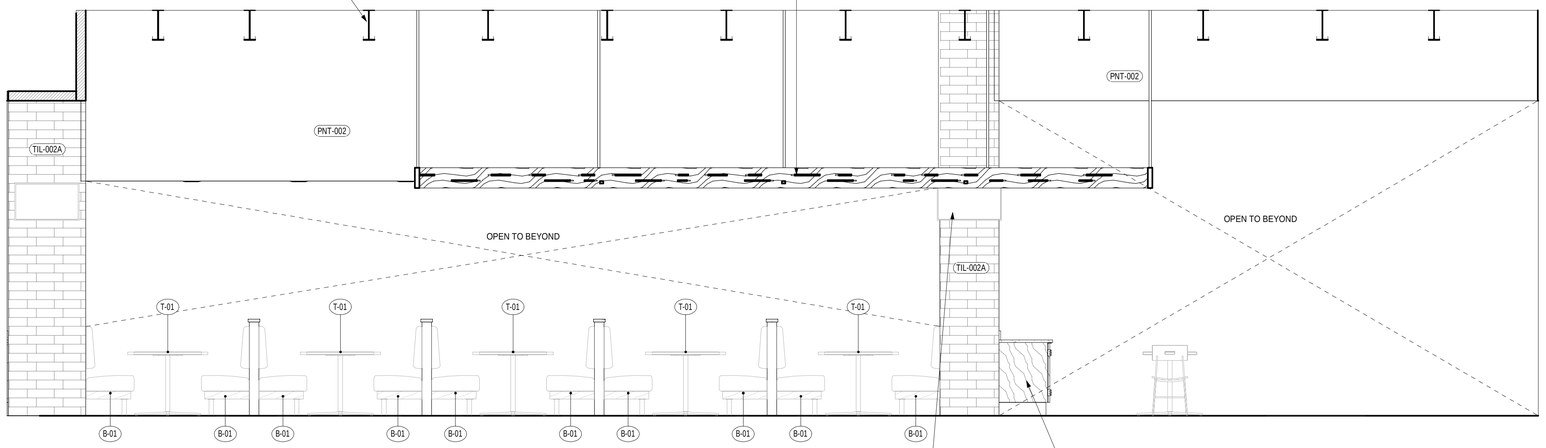
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: JW
CHECKED BY: CM
PROJECT NUMBER: CW-0205.4

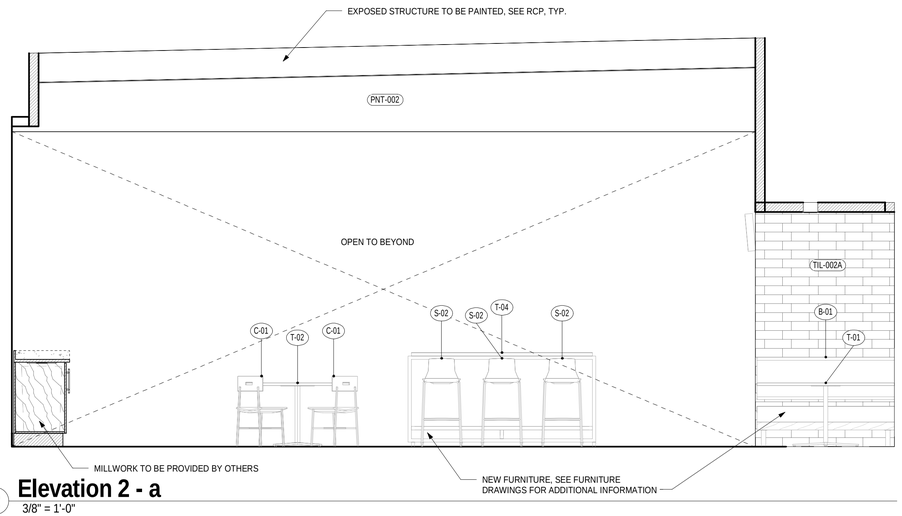
DRAWING NAME:
INTERIOR ELEVATIONS AND DETAILS XII

DRAWING NO.
V319

Plot Date: 2/20/2018 5:22:08 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



1 **Elevation 1 - a**
3/8" = 1'-0"



2 **Elevation 2 - a**
3/8" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

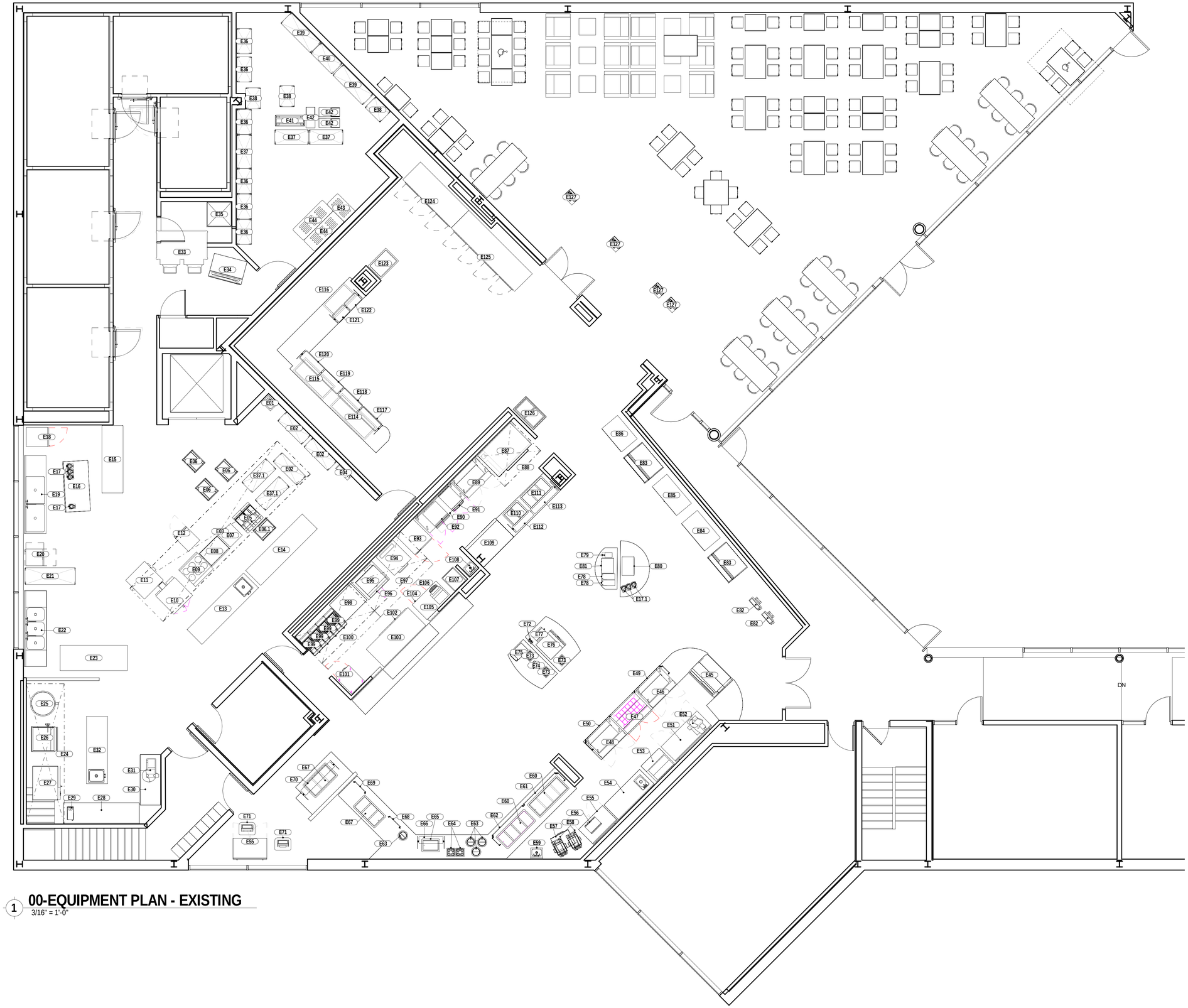
ISSUED FOR: BID
ISSUED DATE: 02/16/2018

DRAWN BY: Author
CHECKED BY: Checker
PROJECT NUMBER: CW-0205.4

DRAWING NAME:
INTERIOR ELEVATIONS XIII

DRAWING NO.
V320

Plot Date: 2/20/2018 5:22:11 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_v2016CD_j_woodworth.rvt



1 **00-EQUIPMENT PLAN - EXISTING**
3/16" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
ARCHITECTURE
820 Fourth Avenue, Suite 100, Charlotte, NC 28203
P 704 400 3321 F 704 400 3106 • VISIONBUILDERUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

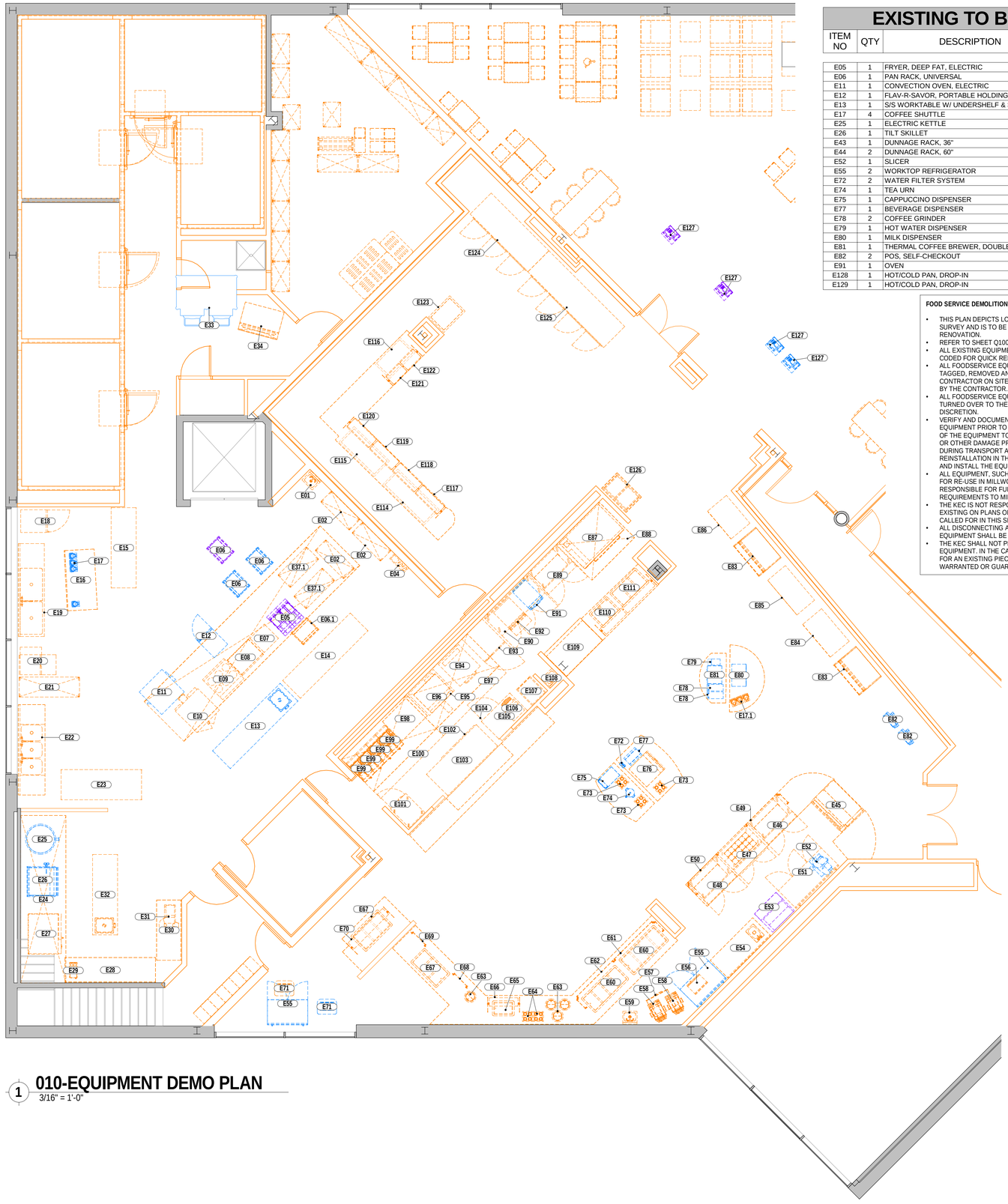
ISSUED FOR: DD REVIEW
ISSUED DATE: 1.19.2017

DRAWN BY: R.Schneider
CHECKED BY: KPF
PROJECT NUMBER: CW-0205-4

DRAWING NAME:
EXISTING EQUIPMENT LAYOUT

DRAWING NO.
Q001

Plot Date: 2/20/2018 5:10:43 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_FS_v2016CD_j_woodworth.rvt



1 **010-EQUIPMENT DEMO PLAN**
3/16" = 1'-0"

EXISTING TO BE RELOCATED

ITEM NO	QTY	DESCRIPTION	EQUIPMENT REMARKS
E05	1	FRYER, DEEP FAT, ELECTRIC	EXISTING TO BE RELOCATED
E06	1	PAN RACK, UNIVERSAL	EXISTING TO BE RELOCATED
E11	1	CONVECTION OVEN, ELECTRIC	EXISTING TO BE RELOCATED
E12	1	FLAV-R-SAVOR, PORTABLE HOLDING CABINET	EXISTING TO BE RELOCATED
E13	1	S/S WORKTABLE W/ UNDERSHELF & SINK	EXISTING TO BE RELOCATED
E17	4	COFFEE SHUTTLE	EXISTING TO BE RELOCATED
E25	1	ELECTRIC KETTLE	EXISTING TO BE RELOCATED
E26	1	TILT SKILLET	EXISTING TO BE RELOCATED
E43	1	DUNNAGE RACK, 36"	EXISTING TO BE RELOCATED
E44	2	DUNNAGE RACK, 60"	EXISTING TO BE RELOCATED
E52	1	SLICER	EXISTING TO BE RELOCATED
E55	2	WORKTOP REFRIGERATOR	EXISTING TO BE RELOCATED
E72	2	WATER FILTER SYSTEM	EXISTING TO BE RELOCATED
E74	1	TEA URN	EXISTING TO BE RELOCATED
E75	1	CAPPUCCINO DISPENSER	EXISTING TO BE RELOCATED
E77	1	BEVERAGE DISPENSER	EXISTING TO BE RELOCATED
E78	2	COFFEE GRINDER	EXISTING TO BE RELOCATED
E79	1	HOT WATER DISPENSER	EXISTING TO BE RELOCATED
E80	1	MILK DISPENSER	EXISTING TO BE RELOCATED
E81	1	THERMAL COFFEE BREWER, DOUBLE	EXISTING TO BE RELOCATED
E82	2	POS, SELF-CHECKOUT	EXISTING TO BE RELOCATED
E91	1	OVEN	EXISTING TO BE RELOCATED
E128	1	HOT/COLD PAN, DROP-IN	EXISTING TO BE RELOCATED
E129	1	HOT/COLD PAN, DROP-IN	EXISTING TO BE RELOCATED

FOOD SERVICE DEMOLITION NOTES:

- THIS PLAN DEPICTS LOCATIONS OF FOODSERVICE EQUIPMENT AT THE TIME OF SURVEY AND IS TO BE USED AS A REFERENCE AND GUIDE TO THE MAIN KITCHEN RENOVATION.
- REFER TO SHEET Q100 FOR PROPOSED OVERALL EQUIPMENT PLAN.
- ALL EXISTING EQUIPMENT SCHEDULED FOR REUSE IN THE FACILITY IS COLOR-CODED FOR QUICK REFERENCE.
- ALL FOODSERVICE EQUIPMENT THAT IS SCHEDULED FOR REUSE SHALL BE TAGGED, REMOVED AND STORED IN A LOCATION PROVIDED BY THE GENERAL CONTRACTOR ON SITE. TRANSPORTATION OF EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR.
- ALL FOODSERVICE EQUIPMENT THAT IS SCHEDULED FOR REMOVAL SHALL BE TURNED OVER TO THE OWNER FOR DISPOSAL OR STORAGE AT THEIR DISCRETION.
- VERIFY AND DOCUMENT THE OPERATING CONDITION OF ALL RELOCATED EQUIPMENT PRIOR TO ITS BEING DISCONNECTED. DOCUMENT THE CONDITION OF THE EQUIPMENT TO NOTE ANY DENTS, SCRATCHES, BROKEN COMPONENTS OR OTHER DAMAGE PRIOR TO PLACING IT IN STORAGE. PROTECT EQUIPMENT DURING TRANSPORT AND STORAGE, AND ASSUME RESPONSIBILITY FOR ITS REINSTALLATION IN THE CONDITION VIEWED PRIOR TO REMOVAL. TRANSPORT AND INSTALL THE EQUIPMENT IN ACCORDANCE WITH ITEM SPECIFICATIONS.
- ALL EQUIPMENT, SUCH AS DROP-IN UNITS AND SNEEZE GUARDS, SCHEDULED FOR RE-USE IN MILLWORK COUNTERS SHALL BE FIELD VERIFIED BY KEC. KEC IS RESPONSIBLE FOR FURNISHING THE CORRECT PLACEMENT AND CUTOUT REQUIREMENTS TO MILLWORK CONTRACTOR FOR COMPLETE COORDINATION.
- THE KEC IS NOT RESPONSIBLE FOR REFURBISHING EQUIPMENT NOTED AS EXISTING ON PLANS OR SPECIFICATIONS UNLESS WORK IS SPECIFICALLY CALLED FOR IN THIS SECTION.
- ALL DISCONNECTING AND RECONNECTING OF SERVICES TO EXISTING EQUIPMENT SHALL BE PERFORMED BY RELATED TRADES.
- THE KEC SHALL NOT PROVIDE A WARRANTY OR GUARANTEE ON EXISTING EQUIPMENT. IN THE CASE OF A NEW COMPONENT BEING PROVIDED BY THE KEC FOR AN EXISTING PIECE OF EQUIPMENT, THE COMPONENT SHALL BE WARRANTED OR GUARANTEED AS SPECIFIED HEREIN BEFORE.

DEMOLITION EQUIPMENT LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING TO BE RELOCATED

EXISTING TO BE DEMOLISHED

ITEM NO	QTY	DESCRIPTION	EQUIPMENT REMARKS
E01	1	HAND SINK	EXISTING TO BE DEMOLISHED
E02	3	SHELVING, WIRE	EXISTING TO BE DEMOLISHED
E03	1	EXHAUST HOOD	EXISTING TO BE DEMOLISHED
E04	1	FIRE SUPPRESSION SYSTEM	EXISTING TO BE DEMOLISHED
E06.1	1	PAN RACK, UNIVERSAL	EXISTING TO BE DEMOLISHED
E07	1	S/S WORKTABLE W/ UNDERSHELF	EXISTING TO BE DEMOLISHED
E08	1	GRIDDLE RANGE	EXISTING TO BE DEMOLISHED
E09	1	36" RANGE - FRENCH PLATE - STANDARD OVEN	EXISTING TO BE DEMOLISHED
E10	1	CONVECTION OVEN - ELECTRIC - SINGLE DECK	EXISTING TO BE DEMOLISHED
E14	1	S/S WORKTABLE W/ UNDERSHELF	EXISTING TO BE DEMOLISHED
E15	1	S/S WORKTABLE W/ UNDERSHELF & SINK	EXISTING TO BE DEMOLISHED
E16	1	S/S WORKTABLE W/ UNDERSHELF & BACKSPLASH	EXISTING TO BE DEMOLISHED
E17.1	3	COFFEE SHUTTLE	EXISTING TO BE DEMOLISHED
E18	1	MERCHANDISER, REFRIGERATOR	EXISTING TO BE DEMOLISHED
E19	1	FAUCET, WALL MOUNT	EXISTING TO BE DEMOLISHED
E19	1	SINK, 2-COMPARTMENT	EXISTING TO BE DEMOLISHED
E20	1	UNDER COUNTER DISHMACHINE	EXISTING TO BE DEMOLISHED
E21	1	SHELVING, WIRE	EXISTING TO BE DEMOLISHED
E22	1	3-COMPARTMENT SINK	EXISTING TO BE DEMOLISHED
E23	1	S/S WORKTABLE W/ UNDERSHELF	EXISTING TO BE DEMOLISHED
E24	1	EXHAUST HOOD	EXISTING TO BE DEMOLISHED
E27	1	ELECTRIC CONVECTION OVEN	EXISTING TO BE DEMOLISHED
E28	1	S/S WORKTABLE W/ UNDERSHELF & BACKSPLASH	EXISTING TO BE DEMOLISHED
E29	1	COFFEE BREWER, AIRPOT	EXISTING TO BE DEMOLISHED
E30	1	S/S WORKTABLE W/ UNDERSHELF & BACKSPLASH	EXISTING TO BE DEMOLISHED
E31	1	FOOD CUTTER	EXISTING TO BE DEMOLISHED
E32	1	S/S WORKTABLE W/ UNDERSHELF & SINK	EXISTING TO BE DEMOLISHED
E34	1	ICE BIN	EXISTING TO BE DEMOLISHED
E36	6	SHELVING, WIRE	EXISTING TO BE DEMOLISHED
E37	3	SHELVING, WIRE	EXISTING TO BE DEMOLISHED
E37.1	2	SHELVING, WIRE	EXISTING TO BE DEMOLISHED
E38	3	SHELVING, WIRE	EXISTING TO BE DEMOLISHED
E39	2	SHELVING, WIRE	EXISTING TO BE DEMOLISHED
E40	1	SHELVING, WIRE	EXISTING TO BE DEMOLISHED
E41	1	TRUCK, PLATFORM	EXISTING TO BE DEMOLISHED
E42	3	BIN, INGREDIENT	EXISTING TO BE DEMOLISHED
E45	1	REFRIGERATED DELI CASE	EXISTING TO BE DEMOLISHED
E46	1	SANDWICH MAKE TABLE	EXISTING TO BE DEMOLISHED
E47	1	PREP TABLE, MEGA TOP	EXISTING TO BE DEMOLISHED
E48	1	SANDWICH MAKE TABLE	EXISTING TO BE DEMOLISHED
E49	1	VERTICAL SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E50	1	VERTICAL SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E51	1	WORKTOP REFRIGERATOR	EXISTING TO BE DEMOLISHED
E54	1	WORKTABLE, CABINET BASE, HINGED DOORS	EXISTING TO BE DEMOLISHED
E56	1	MICROWAVE OVEN	EXISTING TO BE DEMOLISHED
E57	1	BUILT-IN DRAWER WARMER	EXISTING TO BE DEMOLISHED
E58	2	SANDWICH PRESS	EXISTING TO BE DEMOLISHED
E59	1	HAND SINK	EXISTING TO BE DEMOLISHED
E60	1	COLD PAN	EXISTING TO BE DEMOLISHED
E60	1	HOT PAN ELECTRICALLY HEATED-SINGLE CONTROL	EXISTING TO BE DEMOLISHED
E61	1	VERTICAL SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E62	1	VERTICAL SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E63	4	SOUP WELL, DROP-IN, INDUCTION	EXISTING TO BE DEMOLISHED
E64	2	CUP DISPLAY	EXISTING TO BE DEMOLISHED
E65	1	COLD PAN	EXISTING TO BE DEMOLISHED
E66	1	SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E67	1	COLD PAN	EXISTING TO BE DEMOLISHED
E67	1	COLD PAN, REFRIGERATED 9-3/4" FULL DEPTH SELF-CONTAINED	EXISTING TO BE DEMOLISHED
E68	1	VERTICAL SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E69	1	VERTICAL SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E70	1	SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E71	1	IPAD NUTRITION KIOSK	EXISTING TO BE DEMOLISHED
E73	3	CUP DISPLAY	EXISTING TO BE DEMOLISHED
E76	1	PEPSI SODA DISPENSER	EXISTING TO BE DEMOLISHED
E83	2	AIRSCREEN	EXISTING TO BE DEMOLISHED
E84	1	GLASS DOOR MERCHANDISER SLIDE DOOR REFRIGERATOR	EXISTING TO BE DEMOLISHED
E85	1	REACH-IN REFRIGERATOR	EXISTING TO BE DEMOLISHED
E86	1	GLASS DOOR MERCHANDISER SLIDE DOOR REFRIGERATOR	EXISTING TO BE DEMOLISHED
E87	1	DECK OVEN, PIZZA, ELECTRIC	EXISTING TO BE DEMOLISHED
E88	1	EXHAUST HOOD	EXISTING TO BE DEMOLISHED
E89	1	SANDWICH MAKE TABLE	EXISTING TO BE DEMOLISHED
E90	1	WORKTOP SOLID DOOR REFRIGERATOR	EXISTING TO BE DEMOLISHED
E92	1	CONVECTION OVEN, ELECTRIC, COUNTERTOP	EXISTING TO BE DEMOLISHED
E93	1	REFRIGERATOR, ROLL IN	EXISTING TO BE DEMOLISHED
E94	1	INFRARED BROILER - SINGLE DECK WITH WARMER	EXISTING TO BE DEMOLISHED
E95	1	EQUIPMENT STAND	EXISTING TO BE DEMOLISHED
E96	1	ULTRA-MAX ELECTRIC GRIDDLES	EXISTING TO BE DEMOLISHED
E97	1	EXHAUST HOOD	EXISTING TO BE DEMOLISHED
E98	1	DUMP STATION	EXISTING TO BE DEMOLISHED
E99	4	FRYER, 30 LB	EXISTING TO BE DEMOLISHED
E100	1	EXHAUST HOOD	EXISTING TO BE DEMOLISHED
E101	1	FREEZER, REACH-IN	EXISTING TO BE DEMOLISHED
E102	1	GRIDDLE STAND, REFRIGERATOR	EXISTING TO BE DEMOLISHED
E103	1	S/S WORKTABLE	EXISTING TO BE DEMOLISHED
E104	1	UNDERCOUNTER REFRIGERATOR	EXISTING TO BE DEMOLISHED
E105	1	S/S WORKTABLE W/ UNDERSHELF	EXISTING TO BE DEMOLISHED
E106	1	QCS3 SERIES HIGH VOLUME CONVEYOR TOASTERS	EXISTING TO BE DEMOLISHED
E107	1	CABINET, MOBILE, WARMING & HOLDING	EXISTING TO BE DEMOLISHED
E108	1	HAND SINK	EXISTING TO BE DEMOLISHED
E109	1	REFRIGERATED DELI CASE	EXISTING TO BE DEMOLISHED
E110	1	DROPIN HOT WELL	EXISTING TO BE DEMOLISHED
E111	1	DROPIN HOT WELL	EXISTING TO BE DEMOLISHED
E112	1	SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E113	1	SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E114	1	HOT/COLD WELL, DROP-IN	EXISTING TO BE DEMOLISHED
E115	1	HOT/COLD WELL, DROP-IN	EXISTING TO BE DEMOLISHED
E116	1	HOT/COLD WELL, DROP-IN	EXISTING TO BE DEMOLISHED
E117	1	SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E118	1	SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E119	1	SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E120	1	SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E121	1	SNEEZE GUARD	EXISTING TO BE DEMOLISHED
E122	1	SNEEZE GUARD	EXISTING TO BE DEMOLISHED

EXISTING TO BE USED LATER

ITEM NO	QTY	DESCRIPTION	EQUIPMENT REMARKS
E01	1	BOTTLE BEVERAGE COOLER	EXISTING TO BE DEMOLISHED
E02	4	FREEZER, ICE CREAM	EXISTING TO BE DEMOLISHED

E05	1	FRYER, DEEP FAT, ELECTRIC	FUTURE
E06	1	PAN RACK, UNIVERSAL	FUTURE
E53	1	REFRIGERATOR, SANDWICH/SALAD PREP	FUTURE
E127	2	P.O.S.	FUTURE

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
820 Fairview Road, Suite 200, Charlotte, NC 28210
P 704 409 3151 F 704 943 5150 W VISIONBUILDERSUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

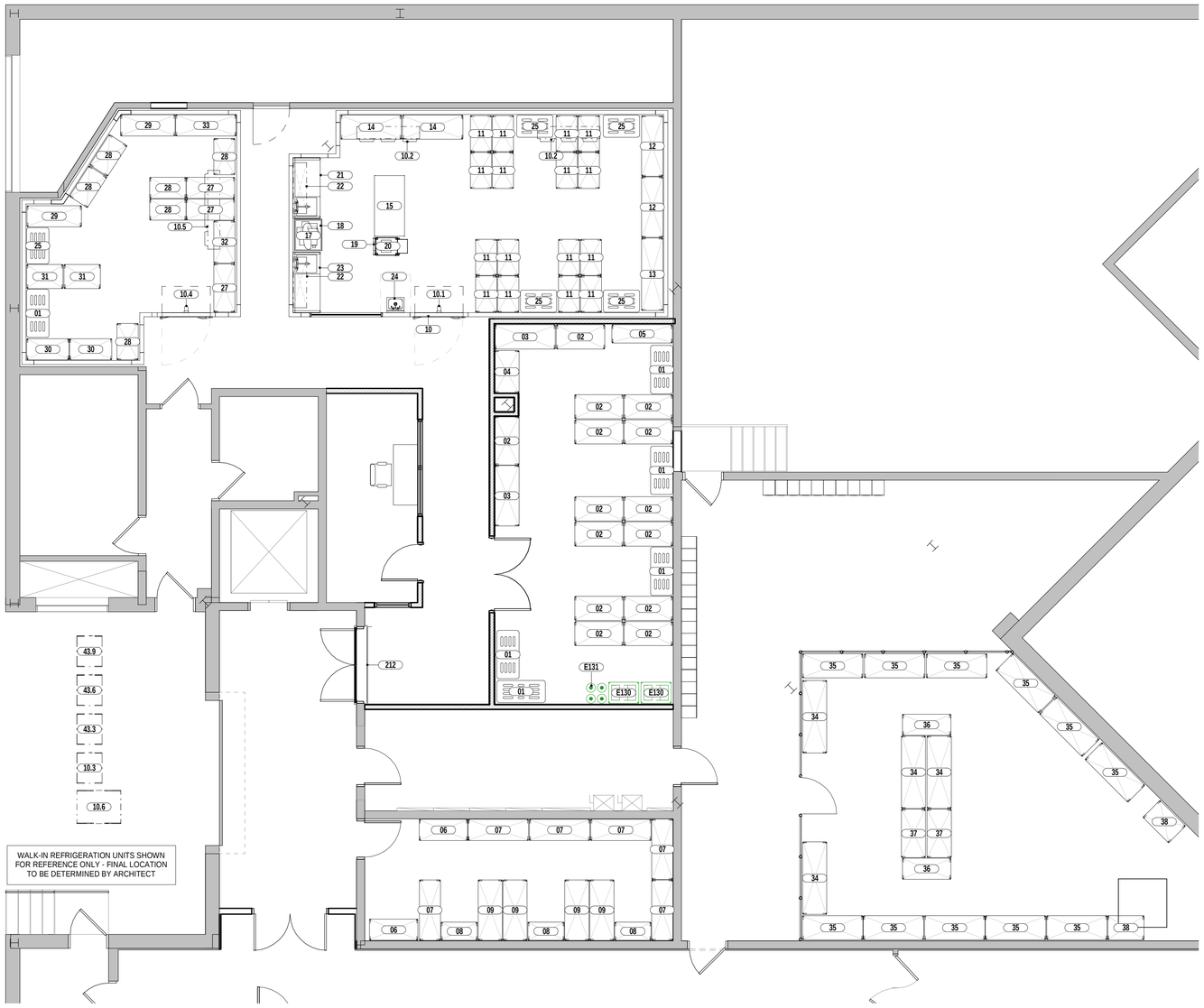
ISSUED FOR: DD REVIEW
ISSUED DATE: 1.19.2017

DRAWN BY: R.Schneider
CHECKED BY: KPF
PROJECT NUMBER: CW-0205-4

DRAWING NAME:
EQUIPMENT DEMO LAYOUT

DRAWING NO.
Q010

Plot Date: 2/20/2018 5:10:50 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_FS_v2016CD_j_woodworth.rvt



1 00 - BASEMENT LEVEL FOODSERVICE EQUIPMENT PLAN

3/16" = 1'-0"

EXISTING EQUIPMENT LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE RELOCATED

REMOTE REFRIGERATION CONDENSING UNITS SHOWN FOR INFORMATIONAL PURPOSES ONLY. ACTUAL LOCATION TO BE DETERMINED BY FIELD CONDITIONS AND BUILDING STRUCTURE IN KEEPING WITH ALL REQUIREMENTS OF SPECIFICATIONS.

FOODSERVICE GENERAL NOTES:

- ALL ITEMS OF FOODSERVICE EQUIPMENT SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE LATEST STANDARDS PUBLISHED BY THE NATIONAL SANITATION FOUNDATION (NSF), OR THE EQUIVALENT; AND IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE AND/OR LOCAL CODES AND STANDARDS.
- WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF APPLICABLE CODES, ORDINANCES, AND REGULATIONS, INCLUDING BUT NOT LIMITED TO THOSE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, STATE FIRE MARSHALL, STATE BOARD OF HEALTH, LOCAL HEALTH CODES, ETC.
- ELECTRICALLY OPERATED AND/OR HEATED EQUIPMENT, FABRICATED OR OTHERWISE, SHALL CONFORM TO THE LATEST STANDARDS OF NATIONAL ELECTRIC MANUFACTURERS ASSOCIATION AND OF UNDERWRITERS LABORATORIES, INC., AND SHALL BEAR THE U.L. LABEL
- ALL STANDARD STEAM-HEATED EQUIPMENT SHALL BE MANUFACTURED IN ACCORDANCE WITH A.S.M.E. CODE REQUIREMENTS AND CARRY THE A.S.M.E. STAMP.
- NO EXTRA CHARGE WILL BE PAID FOR FURNISHING ITEMS REQUIRED BY THE REGULATIONS, BUT NOT SPECIFIED OR SHOWN ON THE DRAWINGS.
- RULINGS AND INTERPRETATIONS OF ENFORCING AGENCIES SHALL BE CONSIDERED PART OF REGULATIONS.
- GENERAL CONTRACTOR TO SITE VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

DISCLAIMER:

- THE FOODSERVICE EQUIPMENT PLANS AND SPECIFICATIONS ARE INTENDED TO ILLUSTRATE TYPES AND ARRANGEMENTS, INCLUDING SPACE AND UTILITY REQUIREMENTS, OF EQUIPMENT REQUIRED FOR THIS PROJECT REGARDING THE DESIRED FUNCTION AND PRODUCT FLOW, AND TO SERVE AS A REFERENCE TO THE LICENSED PROFESSIONAL ARCHITECT AND/OR ENGINEERS IN THE PREPARATION OF THEIR RESPECTIVE BID AND CONSTRUCTION DOCUMENTS. NO ARCHITECTURAL OR ENGINEERING DESIGN SERVICES ARE INTENDED OR ASSUMED.

ERRORS AND OMISSIONS:

- DESIGN DOCUMENTS INCLUDE DRAWINGS AND SPECIFICATIONS, WHICH SHOULD BE REASONABLY CORRECT, HOWEVER THEIR ACCURACY IS NOT GUARANTEED. SHOULD DISCREPANCIES OCCUR THEY SHALL BE BROUGHT TO THE ATTENTION OF THE FOODSERVICE CONSULTANT AND/OR PROJECT ARCHITECT IN ORDER FOR THE CONFLICT TO BE CLARIFIED IN AN OFFICIAL REQUEST FOR INFORMATION.
- IT SHALL BE THE RESPONSIBILITY OF THE FOODSERVICE EQUIPMENT BIDDERS TO INFORM THE FOODSERVICE CONSULTANT OF ANY DISCREPANCIES FOUND WITHIN THESE DOCUMENTS TO INCLUDE: WRITTEN SPECIFICATIONS, DRAWINGS OR SCHEDULES, TO ALLOW AN OPPORTUNITY FOR THE CONSULTANT TO PREPARE AN ADDENDUM TO CORRECT SUCH DISCREPANCIES. BIDDING ON A KNOWN DISCREPANCY WITH THE INTENTION OF EQUIPMENT SUBSTITUTION OR PRICE GOUGING THROUGH CHANGE ORDERS WILL NOT BE TOLERATED.

EXISTING EQUIPMENT:

- APPRORIATE TRADES TO DISCONNECT FOODSERVICE EQUIPMENT ALLOCATED FOR RELOCATION OR REMOVAL.
- ALL EXISTING H.V.A.C., SPRINKLERS AND OTHER SERVICES TO BE RELOCATED AS REQUIRED BY MECHANICAL AND ELECTRICAL ENGINEERS SHALL MEET ALL STANDARDS, CODES AND BYLAWS SET FORTH BY LOCAL GOVERNING AUTHORITIES.
- FOOD SERVICE EQUIPMENT CONTRACTOR TO MOVE & SET IN PLACE THOSE ITEMS INDICATED AS RELOCATED.
- ALL FOODSERVICE EQUIPMENT THAT IS SCHEDULED FOR REMOVAL SHALL BE TURNED OVER TO THE OWNER FOR DISPOSAL OR STORAGE AT THEIR DISCRETION.
- THE DATA ON EXISTING EQUIPMENT IS THE BEST AVAILABLE AT THE TIME THESE DRAWINGS WHERE PREPARED, AND IS OFFERED FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL DATA PRIOR TO ROUGHING-IN UTILITIES FOR EXISTING EQUIPMENT.
- EXISTING VENTILATORS MUST BE VERIFIED THEY WILL PERFORM PROPERLY FOR NEW EQUIPMENT INDICATED.
- EXISTING FIRE SUPPRESSION SYSTEM MUST BE RECONFIGURED AS REQUIRED TO SUIT NEW COOKING EQUIPMENT INDICATED.

11400: WORK INCLUDED IN THIS SECTION

A. Furnish all labor, material, services, and specified equipment, necessary for the complete installation of foodservice equipment in strict accordance with specifications, applicable drawings and local codes, including that which is reasonably inferred, with all related items necessary to complete work shown on contract drawings and/or required by these specifications.
B. Deliver all equipment on schedule. The Foodservice Equipment Contractor shall be responsible for coordinating all aspects of their work as it relates to the General Contractor, Subcontractors, the Owner, or any other Trades as may be dictated by the Owner, Architect, or Consultant.
C. The Foodservice Equipment Contractor shall be fully responsible for verifying all field dimensions as they pertain to the work in this section.
D. Cutting of holes in equipment for pipes, drains, electric outlets, etc., as required for this installation. Work shall conform to the highest standards of workmanship and shall include welded sleeves, collars, ferrules or escutcheons. Foodservice Equipment Contractor to completely coordinate all aspects of installation with all trades for a complete and thorough installation.
E. All wall sleeves, chrome plated cover plates, vermin proofing, and sealing of wall sleeves Foodservice Equipment Contractor to provide vermin proofing for all floor sleeves he uses.
F. All work involved in making stands and supports for all specified equipment requiring them.
G. Repair all damage to the premises as a result of this installation and daily removal of all debris left by the Foodservice Equipment Contractor.
H. The Foodservice Equipment Contractor shall be responsible for keeping their area orderly during the entire time of installation. Foodservice equipment and fixtures shall be cleaned thoroughly and ready for operation at the time the building is turned over to the owner.
I. Become familiar with and accepts responsibility for compliance with all applicable codes and regulations. If authorities having jurisdiction require any portion of the equipment to be inspected, tested, or approved, the Foodservice Equipment Contractor and/or their equipment supplier shall bear all costs of such inspections, tests or approvals.

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS
820 Fairer Ave, Suite 100, Charlotte, NC 28209
P 704 489 3161 F 704 489 3186 W VISIONBUILDERSUSA.COM

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

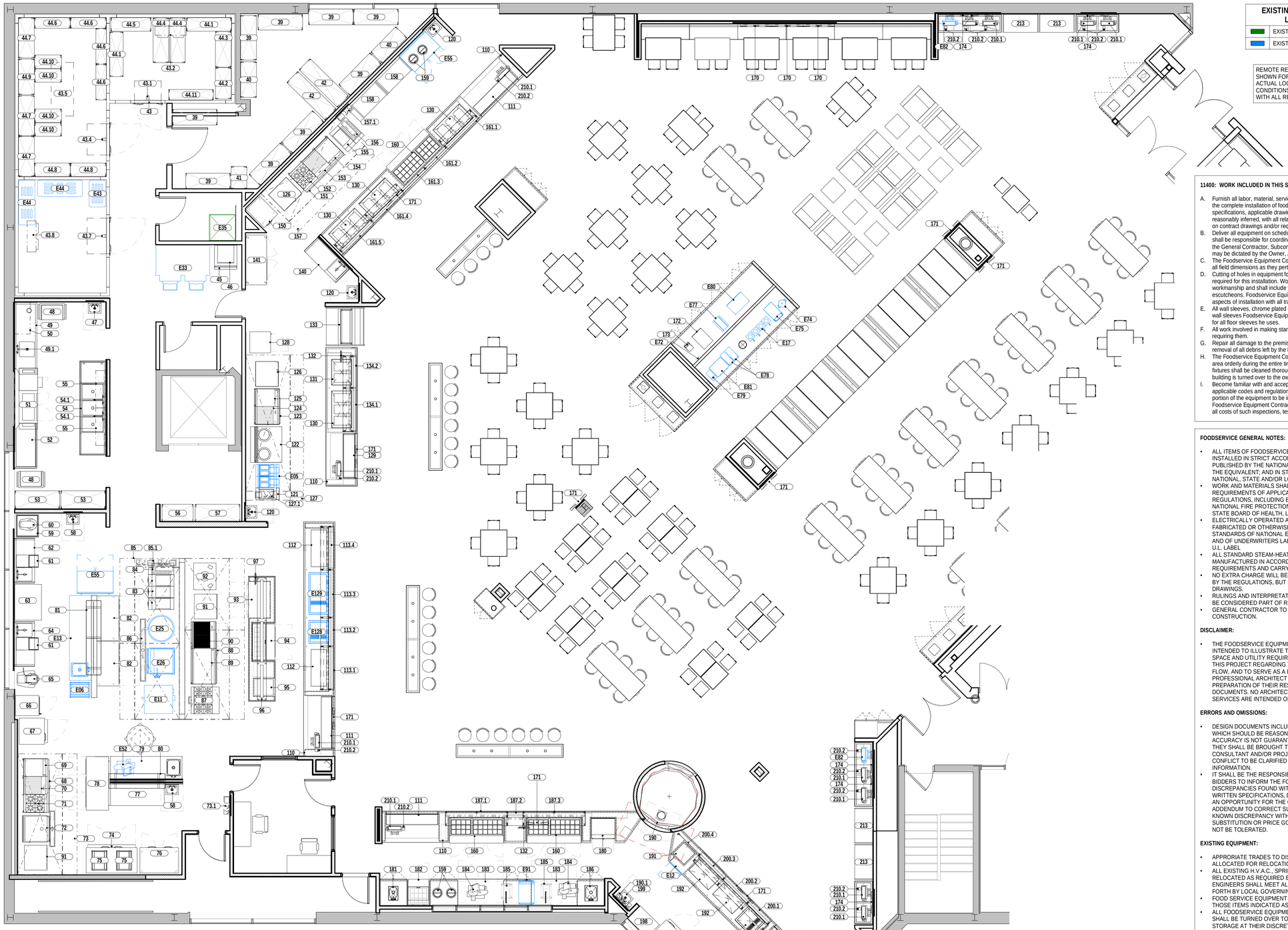
ISSUED FOR: DD REVIEW
ISSUED DATE: 1.19.2017

DRAWN BY: R.Schneider
CHECKED BY: KPF
PROJECT NUMBER: CW-0205-4

DRAWING NAME:
BASEMENT EQUIPMENT LAYOUT

DRAWING NO.
Q100

Plot Date: 2/20/2018 5:10:55 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_FS_v2016CD_j_woodworth.rvt



1 **01 - FIRST LEVEL FOODSERVICE EQUIPMENT PLAN**
3/16" = 1'-0"

EXISTING EQUIPMENT LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE RELOCATED

REMOTE REFRIGERATION CONDENSING UNITS SHOWN FOR INFORMATIONAL PURPOSES ONLY. ACTUAL LOCATION TO BE DETERMINED BY FIELD CONDITIONS AND BUILDING STRUCTURE IN KEEPING WITH ALL REQUIREMENTS OF SPECIFICATIONS.

11400: WORK INCLUDED IN THIS SECTION

A. Furnish all labor, material, services, and specified equipment, necessary for the complete installation of foodservice equipment in strict accordance with specifications, applicable drawings and local codes, including that which is reasonably inferred, with all related items necessary to complete work shown on contract drawings and/or required by these specifications.
B. Deliver all equipment on schedule. The Foodservice Equipment Contractor shall be responsible for coordinating all aspects of their work as it relates to the General Contractor, Subcontractors, the Owner, or any other Trades as may be dictated by the Owner, Architect, or Consultant.
C. The Foodservice Equipment Contractor shall be fully responsible for verifying all field dimensions as they pertain to the work in this section.
D. Cutting of holes in equipment for pipes, drains, electric outlets, etc., as required for this installation. Work shall conform to the highest standards of workmanship and shall include welded sleeves, collars, ferrules or escutcheons. Foodservice Equipment Contractor to completely coordinate all aspects of installation with all trades for a complete and thorough installation.
E. All wall sleeves, chrome plated cover plates, vermin proofing, and sealing of wall sleeves Foodservice Equipment Contractor to provide vermin proofing for all floor sleeves he uses.
F. All work involved in making stands and supports for all specified equipment requiring them.
G. Repair all damage to the premises as a result of this installation and daily removal of all debris left by the Foodservice Equipment Contractor.
H. The Foodservice Equipment Contractor shall be responsible for keeping their area orderly during the entire time of installation. Foodservice equipment and fixtures shall be cleaned thoroughly and ready for operation at the time the building is turned over to the owner.
I. Become familiar with and accepts responsibility for compliance with all applicable codes and regulations. If authorities having jurisdiction require any portion of the equipment to be inspected, tested, or approved, the Foodservice Equipment Contractor and/or their equipment supplier shall bear all costs of such inspections, tests or approvals.

FOODSERVICE GENERAL NOTES:

- ALL ITEMS OF FOODSERVICE EQUIPMENT SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE LATEST STANDARDS PUBLISHED BY THE NATIONAL SANITATION FOUNDATION (NSF), OR THE EQUIVALENT; AND IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE AND/OR LOCAL CODES AND STANDARDS.
- WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF APPLICABLE CODES, ORDINANCES, AND REGULATIONS, INCLUDING BUT NOT LIMITED TO THOSE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, STATE FIRE MARSHALL, STATE BOARD OF HEALTH, LOCAL HEALTH CODES, ETC.
- ELECTRICALLY OPERATED AND/OR HEATED EQUIPMENT, FABRICATED OR OTHERWISE, SHALL CONFORM TO THE LATEST STANDARDS OF NATIONAL ELECTRIC MANUFACTURERS ASSOCIATION AND OF UNDERWRITERS LABORATORIES, INC., AND SHALL BEAR THE U.L. LABEL
- ALL STANDARD STEAM-HEATED EQUIPMENT SHALL BE MANUFACTURED IN ACCORDANCE WITH A.S.M.E. CODE REQUIREMENTS AND CARRY THE A.S.M.E. STAMP.
- NO EXTRA CHARGE WILL BE PAID FOR FURNISHING ITEMS REQUIRED BY THE REGULATIONS, BUT NOT SPECIFIED OR SHOWN ON THE DRAWINGS.
- RULINGS AND INTERPRETATIONS OF ENFORCING AGENCIES SHALL BE CONSIDERED PART OF REGULATIONS.
- GENERAL CONTRACTOR TO SITE VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

DISCLAIMER:

- THE FOODSERVICE EQUIPMENT PLANS AND SPECIFICATIONS ARE INTENDED TO ILLUSTRATE TYPES AND ARRANGEMENTS, INCLUDING SPACE AND UTILITY REQUIREMENTS, OF EQUIPMENT REQUIRED FOR THIS PROJECT REGARDING THE DESIRED FUNCTION AND PRODUCT FLOW, AND TO SERVE AS A REFERENCE TO THE LICENSED PROFESSIONAL ARCHITECT AND/OR ENGINEERS IN THE PREPARATION OF THEIR RESPECTIVE BID AND CONSTRUCTION DOCUMENTS. NO ARCHITECTURAL OR ENGINEERING DESIGN SERVICES ARE INTENDED OR ASSUMED.

ERRORS AND OMISSIONS:

- DESIGN DOCUMENTS INCLUDE DRAWINGS AND SPECIFICATIONS, WHICH SHOULD BE REASONABLY CORRECT, HOWEVER THEIR ACCURACY IS NOT GUARANTEED. SHOULD DISCREPANCIES OCCUR THEY SHALL BE BROUGHT TO THE ATTENTION OF THE FOODSERVICE CONSULTANT AND/OR PROJECT ARCHITECT IN ORDER FOR THE CONFLICT TO BE CLARIFIED IN AN OFFICIAL REQUEST FOR INFORMATION.
- IT SHALL BE THE RESPONSIBILITY OF THE FOODSERVICE EQUIPMENT BIDDERS TO INFORM THE FOODSERVICE CONSULTANT OF ANY DISCREPANCIES FOUND WITHIN THESE DOCUMENTS TO INCLUDE: WRITTEN SPECIFICATIONS, DRAWINGS OR SCHEDULES, TO ALLOW AN OPPORTUNITY FOR THE CONSULTANT TO PREPARE AN ADDENDUM TO CORRECT SUCH DISCREPANCIES. BIDDING ON A KNOWN DISCREPANCY WITH THE INTENTION OF EQUIPMENT SUBSTITUTION OR PRICE GOUGING THROUGH CHANGE ORDERS WILL NOT BE TOLERATED.

EXISTING EQUIPMENT:

- APPROPRIATE TRADES TO DISCONNECT FOODSERVICE EQUIPMENT ALLOCATED FOR RELOCATION OR REMOVAL.
- ALL EXISTING H.V.A.C., SPRINKLERS AND OTHER SERVICES TO BE RELOCATED AS REQUIRED BY MECHANICAL AND ELECTRICAL ENGINEERS SHALL MEET ALL STANDARDS, CODES AND BYLAWS SET FORTH BY LOCAL GOVERNING AUTHORITIES.
- FOOD SERVICE EQUIPMENT CONTRACTOR TO MOVE & SET IN PLACE THOSE ITEMS INDICATED AS RELOCATED.
- ALL FOODSERVICE EQUIPMENT THAT IS SCHEDULED FOR REMOVAL SHALL BE TURNED OVER TO THE OWNER FOR DISPOSAL OR STORAGE AT THEIR DISCRETION.
- THE DATA ON EXISTING EQUIPMENT IS THE BEST AVAILABLE AT THE TIME THESE DRAWINGS WHERE PREPARED, AND IS OFFERED FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL DATA PRIOR TO ROUGHING-IN UTILITIES FOR EXISTING EQUIPMENT.
- EXISTING VENTILATORS MUST BE VERIFIED THEY WILL PERFORM PROPERLY FOR NEW EQUIPMENT INDICATED.
- EXISTING FIRE SUPPRESSION SYSTEM MUST BE RECONFIGURED AS REQUIRED TO SUIT NEW COOKING EQUIPMENT INDICATED.

ARCHITECT:
phase zero design
www.phasezerodesign.com

Client:
chartwells where hungry minds gather
www.chartwellshighered.com

DESIGN CONSULTANT:
VISIONBUILDERS ARCHITECTS
525 Fairview Road, Suite 100, Charlotte, NC 28226
T 704 405 3142 F 704 405 3186 ■ VISIONBUILDERSLLC.COM

ENGINEER:
KMB DESIGN GROUP
www.kmbdg.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

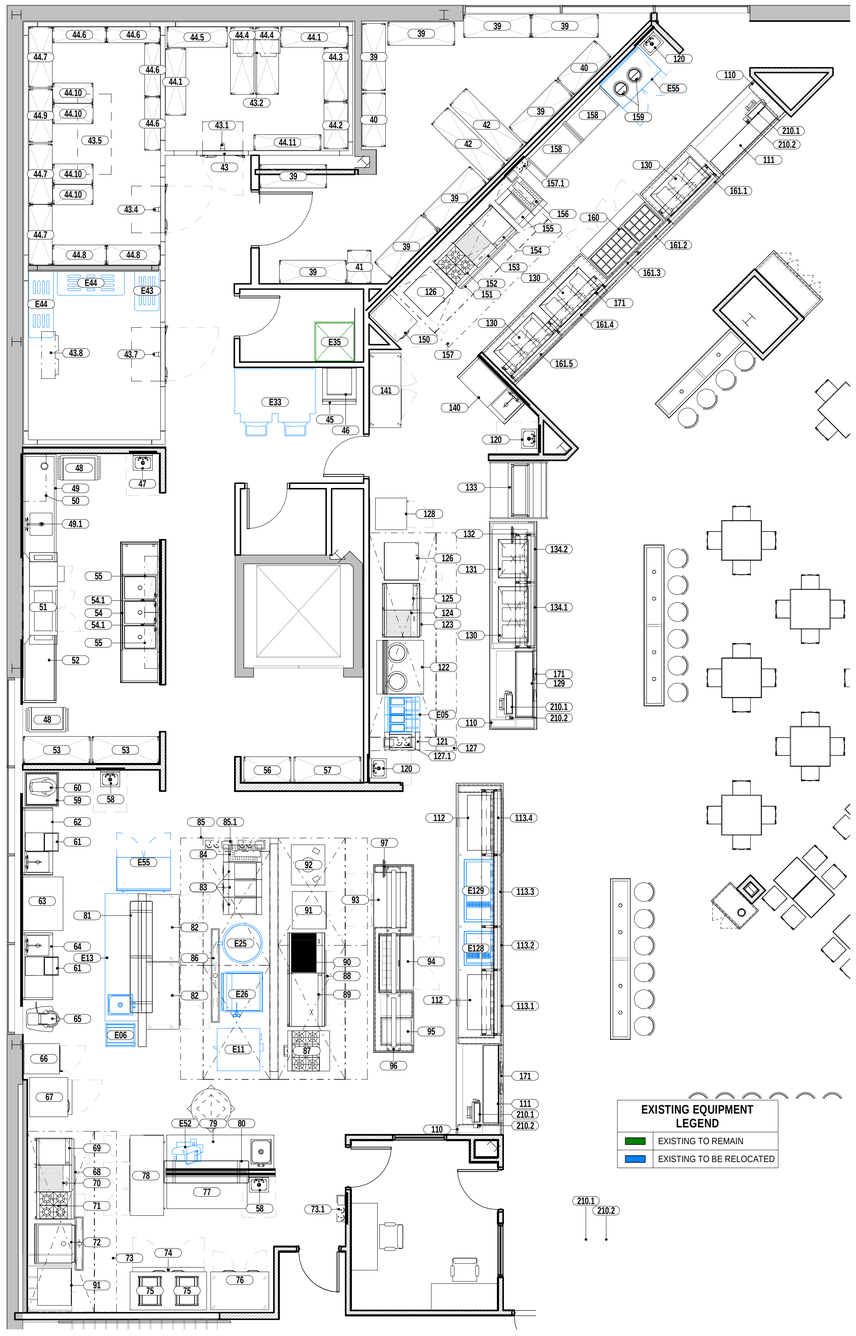
ISSUED FOR: DD REVIEW
ISSUED DATE: 1.19.2017

DRAWN BY: R.Schneider
CHECKED BY: KPF
PROJECT NUMBER: CW-0205-4

DRAWING NAME:
EQUIPMENT LAYOUT - OVERALL LAYOUT

DRAWING NO.
Q110

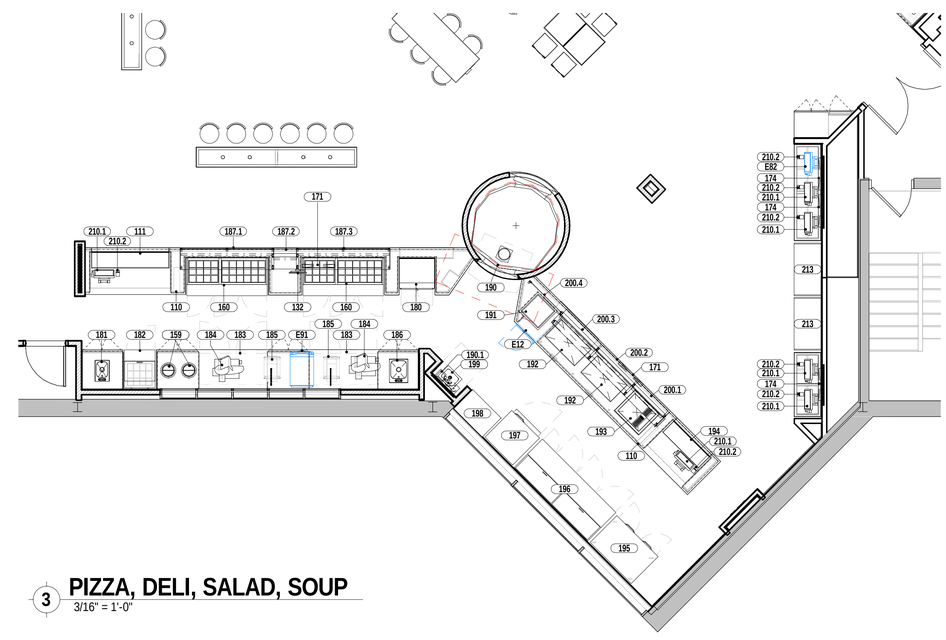
Plot Date: 2/20/2018 5:11:04 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_FS_v2016CD_j_woodworth.rvt



EXISTING EQUIPMENT LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE RELOCATED

4 **OPEN KITCHEN**
3/16" = 1'-0"

5 **BEVERAGE**
3/16" = 1'-0"



3 **PIZZA, DELI, SALAD, SOUP**
3/16" = 1'-0"

ARCHITECT:
PHASE ZERO DESIGN
8 WILCOX STREET
SIMSBURY, CONNECTICT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT:
chartwells
where hungry minds gather
www.chartwellshighered.com

OWNER:
Purchase College
STATE UNIVERSITY OF NEW YORK
www.purchase.edu

CONSULTANT:
VISIONBUILDERS

PROJECT:
SUNY PURCHASE COLLEGE
CAFE ADDITION AND RENOVATION
735 ANDERSON HILL RD
PURCHASE, NY 10577

REVISIONS

NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: DD REVIEW
ISSUED DATE: 1.19.2017

DRAWN BY: R.Schneider
CHECKED BY: KPF
PROJECT NUMBER: CW-0205-4

DRAWING NAME:
FOODSERVICE EQUIPMENT - ENLARGED AREAS

DRAWING NO.
Q111

Plot Date: 2/20/2018 5:11:12 PM Dwg Filename: C:\Users\j_woodworth\Documents\CW-0205-4-NORTH CAMPUS_FS_v2016CD_j_woodworth.rvt